

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 01/12/2020 – DA2020/00717 - 5 HILLVIEW CRESCENT, THE
HILL - DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

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PAGE 21	ITEM-41	Attachment B:	Draft Schedule of Conditions
PAGE 31	ITEM-41	Attachment C:	Processing Chronology

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**DAC 01/12/2020 – DA2020/00717 - 5 HILLVIEW CRESCENT, THE HILL -
DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

ITEM-41 Attachment A: Submitted Plans

DISTRIBUTED UNDER SEPARATE COVER



Steel Bierl Residence

LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300

- 01 SITE ANALYSIS / DEMOLITION PLAN
- 02 PROPOSED SITE PLAN / STORMWATER
- 03 SUB FLOOR PLAN
- 04 GROUND FLOOR PLAN
- 05 FIRST FLOOR PLAN
- 06 SOUTH EAST ELEVATION
- 07 NORTHWEST ELEVATION
- 08 SOUTH WEST ELEVATIONS
- 09 NORTH EAST ELEVATION
- 10 SECTIONS
- 11 SECTIONS
- 12 ROOF PLAN
- 13 BASIX / WINDOW / DOOR SCHEDULE

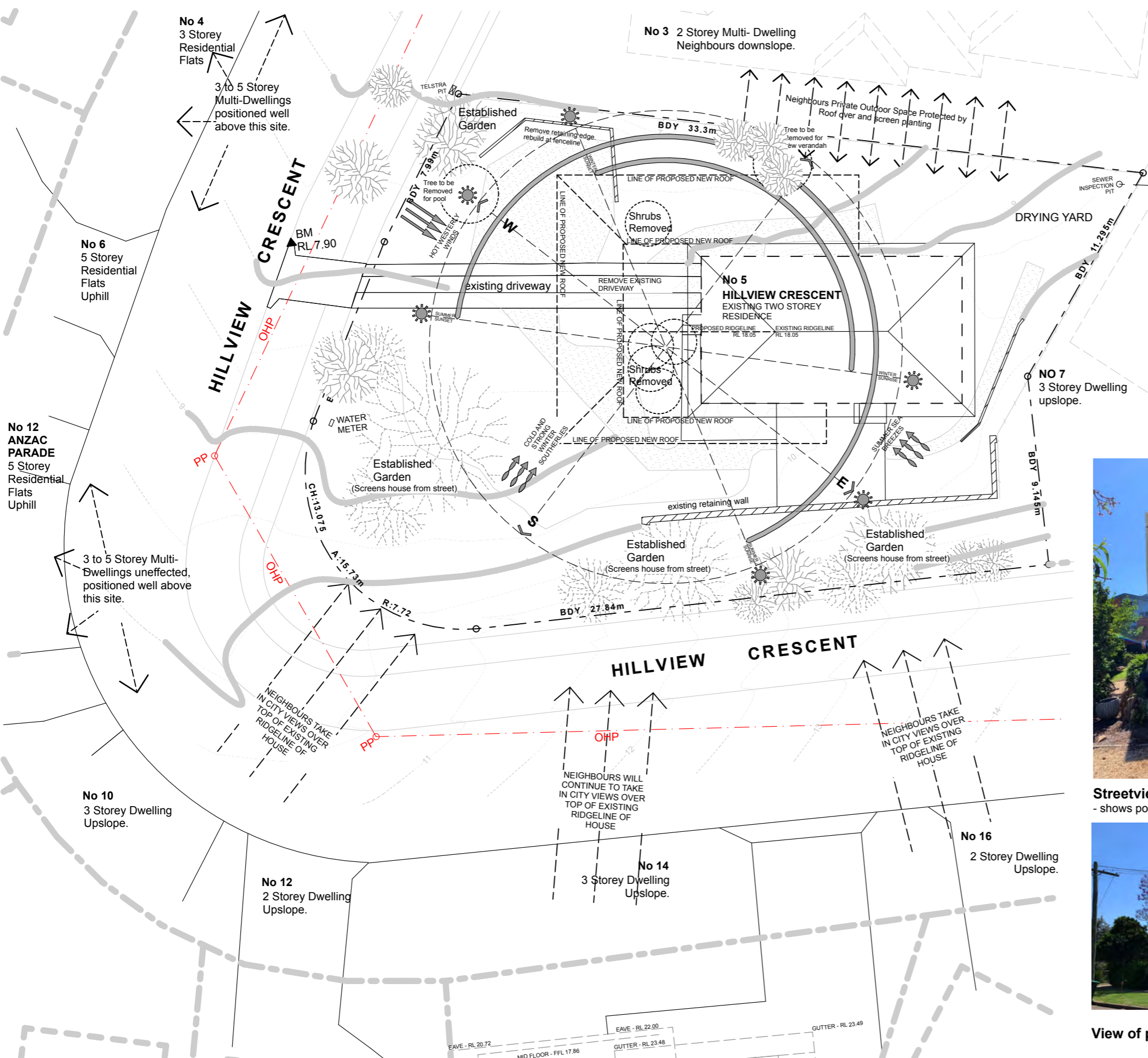


PROPOSED SOUTH WEST STREET VIEW



jodie dixon architect

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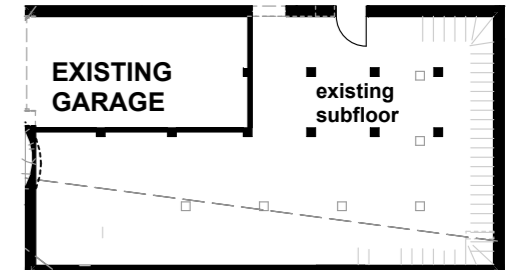
Existing Aerial Image



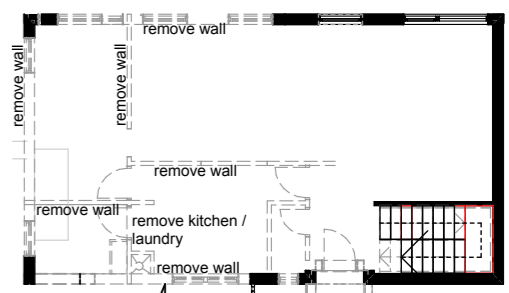
Streetview - shows poor elevation outcome due to hipped roof



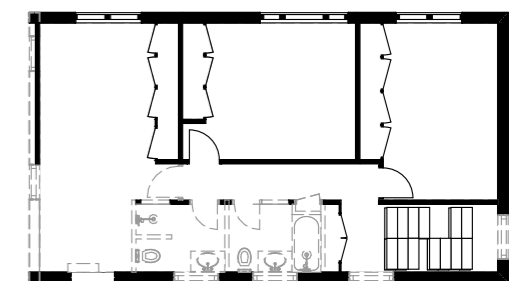
View of property from south



Existing Subfloor Plan



Existing Ground Floor Plan

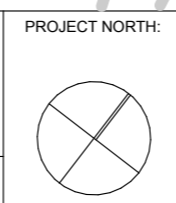


Existing First Floor Plan

REV	PROJECT STATUS	DATE	DRAWN	CHECKED
A	DEVELOPMENT APPLICATION	20-06-20	JD	JD
B	DA - Privacy Screen added	29-09-20	JD	JD
C	Building Height Clarification	22-10-20	JD	JD

Steel Bierl Residence

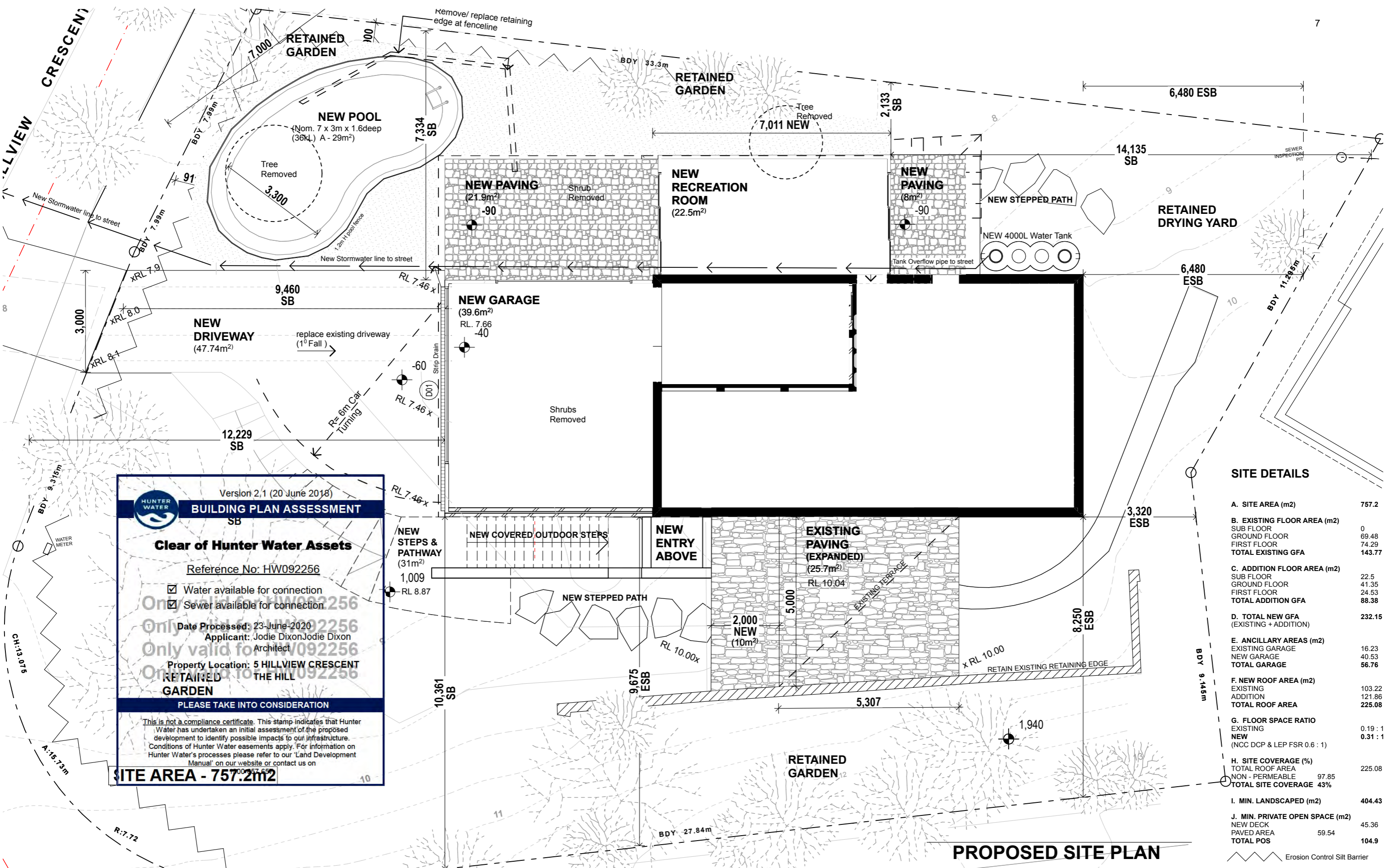
NOTE: Dimensions are in millimetres unless shown otherwise. Do not scale from drawing. Confirm all dimensions on site prior to construction. Bring any discrepancy to the attention of the superintendent. All work to Australian Standards and all relevant Standards.



PROJECT: LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300
 CLIENT: Steel Bierl
 DRAWING TITLE: SITE ANALYSIS / DEMOLITION PLAN

JOB NO: 1911
 DRAWING NUMBER: 01
 SCALE: 1:200





Version 2.1 (20 June 2018)
BUILDING PLAN ASSESSMENT
Clear of Hunter Water Assets
 Reference No: HW092256
 Water available for connection
 Sewer available for connection
 Date Processed: 23-June-2020
 Applicant: Jodie Dixon
 Architect: Jodie Dixon
 Property Location: 5 HILLVIEW CRESCENT
 THE HILL
RETAINED GARDEN
PLEASE TAKE INTO CONSIDERATION
 This is not a compliance certificate. This stamp indicates that Hunter Water has undertaken an initial assessment of the proposed development to identify possible impacts to our infrastructure. Conditions of Hunter Water easements apply. For information on Hunter Water's processes please refer to our 'Land Development Manual' on our website or contact us on 1300 657 657
SITE AREA - 757.2m²

SITE DETAILS

A. SITE AREA (m ²)	757.2
B. EXISTING FLOOR AREA (m ²)	
SUB FLOOR	0
GROUND FLOOR	69.48
FIRST FLOOR	74.29
TOTAL EXISTING GFA	143.77
C. ADDITION FLOOR AREA (m ²)	
SUB FLOOR	22.5
GROUND FLOOR	41.35
FIRST FLOOR	24.53
TOTAL ADDITION GFA	88.38
D. TOTAL NEW GFA (EXISTING + ADDITION)	232.15
E. ANCILLARY AREAS (m ²)	
EXISTING GARAGE	16.23
NEW GARAGE	40.53
TOTAL GARAGE	56.76
F. NEW ROOF AREA (m ²)	
EXISTING	103.22
ADDITION	121.86
TOTAL ROOF AREA	225.08
G. FLOOR SPACE RATIO	
EXISTING	0.19 : 1
NEW (NCC DCP & LEP FSR 0.6 : 1)	0.31 : 1
H. SITE COVERAGE (%)	
TOTAL ROOF AREA	225.08
NON - PERMEABLE	97.85
TOTAL SITE COVERAGE	43%
I. MIN. LANDSCAPED (m ²)	404.43
J. MIN. PRIVATE OPEN SPACE (m ²)	
NEW DECK	45.36
PAVED AREA	59.54
TOTAL POS	104.9

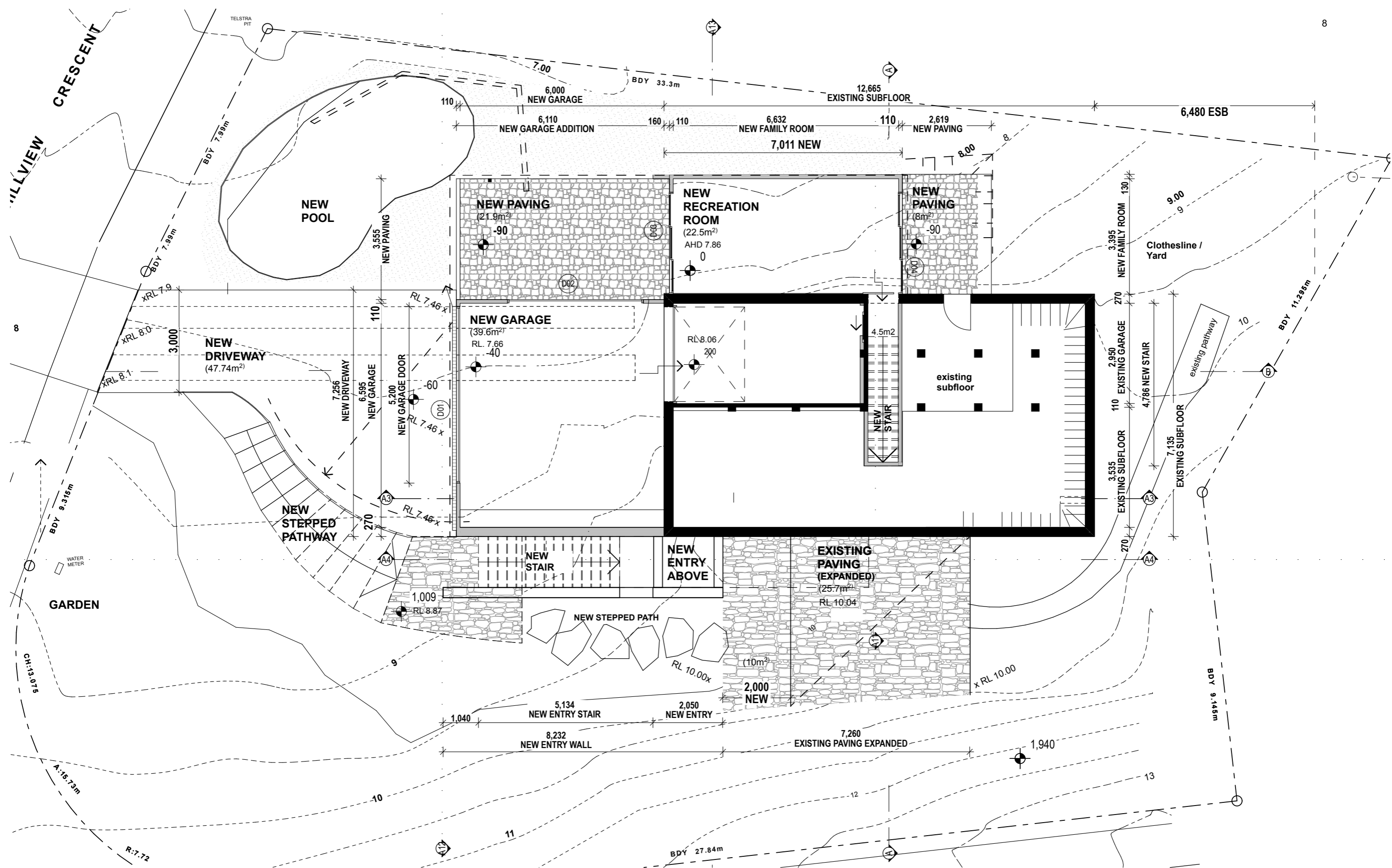
REV	PROJECT STATUS	DATE	DRAWN	CHECKED
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C	Building Height Clarification	22-10-20	JD	JD

Steel Bierl Residence

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PROJECT NORTH: 	PROJECT: LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300	JOB NO: 1911
	CLIENT: Steel Bierl	DRAWING NUMBER: 02
	DRAWING TITLE: PROPOSED SITE PLAN / STORMWATER	SCALE: 1: 200

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www.jodiearchitect.com.au 57 northumberland st murrumbidgee nsw 2203



REV	PROJECT STATUS	DATE	DRAWN	CHECKED
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Steel Bierl Residence

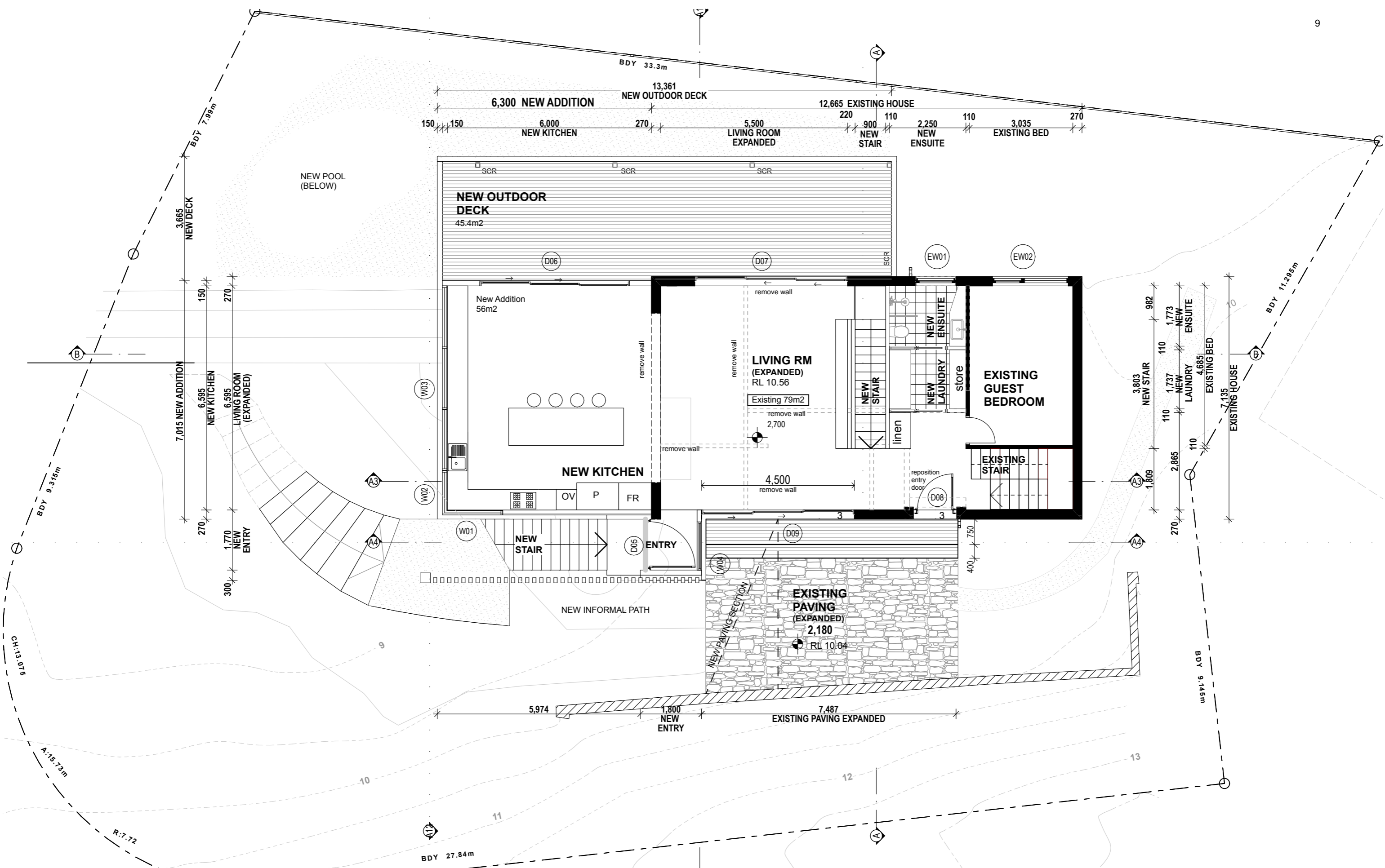
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PROJECT NORTH:
 PROJECT:
LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300
 CLIENT:
Steel Bierl
 DRAWING TITLE:
SUB FLOOR PLAN

JOB NO:
1911
 DRAWING NUMBER:
03
 SCALE:
1: 100

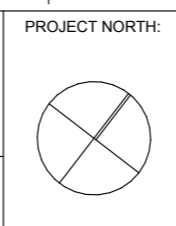




REV	PROJECT STATUS	DATE	DRAWN	CHECKED
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Steel Bierl Residence

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PROJECT: **LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300**

CLIENT: **Steel Bierl**

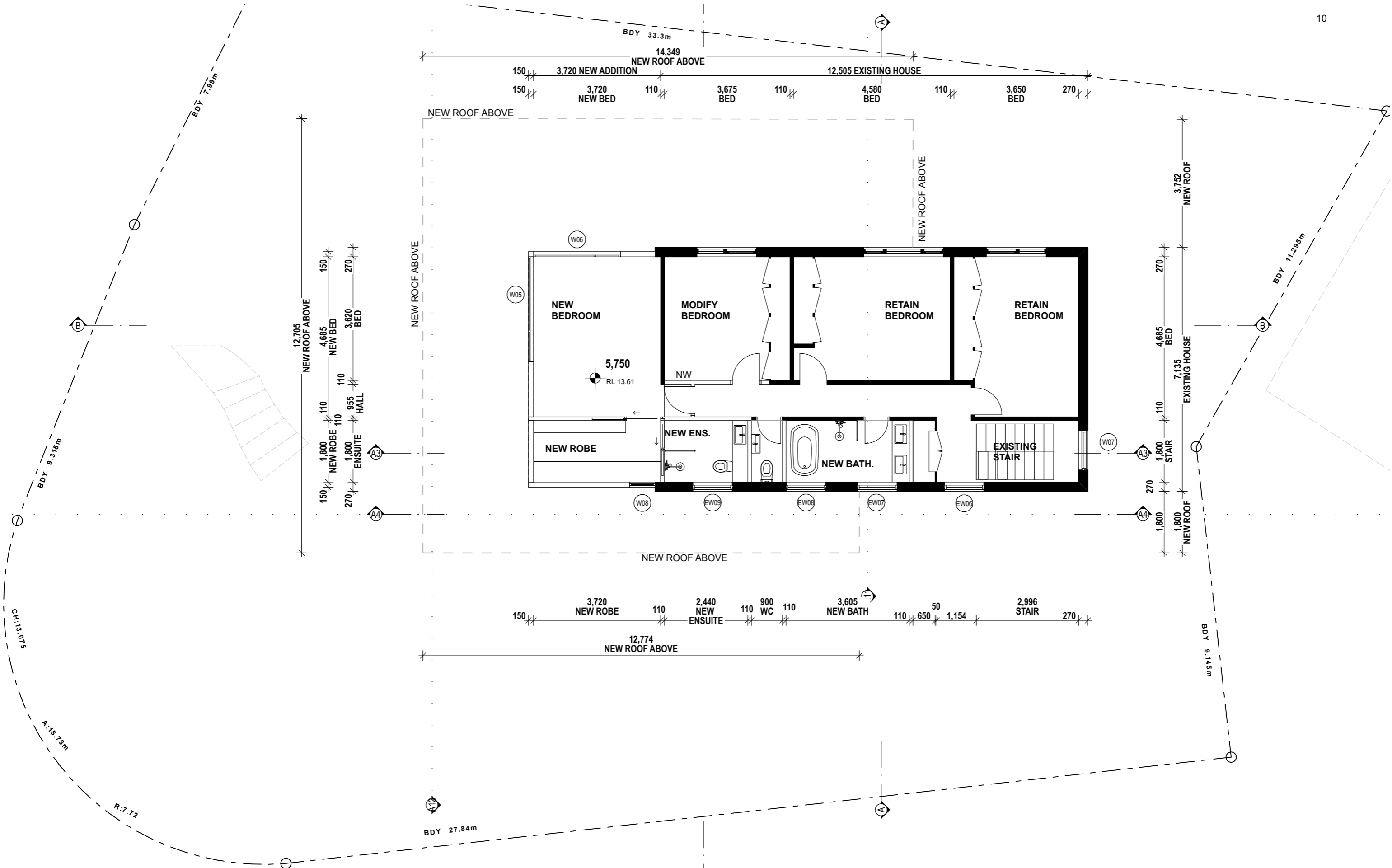
DRAWING TITLE: **GROUND FLOOR PLAN**

JOB NO: **1911**

DRAWING NUMBER: **04**

SCALE: **1: 100**



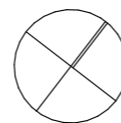


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Steel Bierl Residence

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PROJECT NORTH:



PROJECT:
LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300

CLIENT:
Steel Bierl

DRAWING TITLE:
FIRST FLOOR PLAN

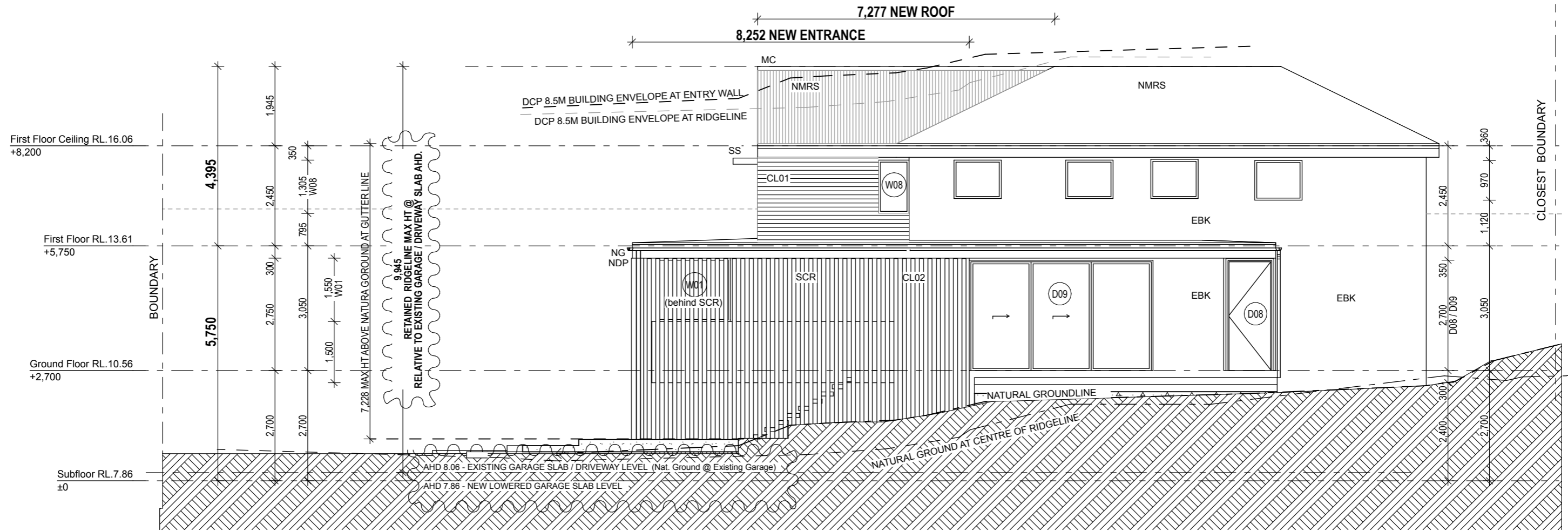
JOB NO:
1911

DRAWING NUMBER:
05

SCALE:
1: 100



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SOUTH-EAST ELEVATION

LEGEND

BDY	boundary	EF	Existing fence	NGT	New gate	NW	New wall	ST	Stovetop
CL01	Weatherboard cladding	EM	Existing masonry	NTF	New timber floor	NWA	New wall above	STC	Steel trowel concrete
CL02	Flat sheet cladding	ERO	Existing roof over	NP	New post	OF	Overflow pipe	SCR	Screen - 25% perforated to meet privacy recommendations
CL03	Metal sheet cladding	ESU	Existing slab under	MC	Metal capping	OHP	Overhead power lines	TD	Timber Deck
CP	Precast/insitu concrete pavers	EW00	Existing window replaced	MRS	Metal roof sheet	PCB	Polycarbonate sheet	W00	Windows
CT	New ceramic tiles	EWB	Existing weatherboard	NBL	New Balustrade	PL	Panel lift garage door	WDP	Waterproof deck (with drainage)
D00	Doors	FW	Floor waste	NDP	New down pipe	PP	Power pole		
DS	Double stud	FG	Fixed glass	NMRS	New metal roof sheet	RH	New Rainhead		
DR	Dryer	GB	Glass balustrade	NF	New fence	RO	New roof over		
EAC	Exposed aggregate concrete	GD	Garage door	NG	New gutter	S	Sink		
EBK	Existing brickwork	MC	Metal capping	NTF	New timber floor	SB	Setback		
ED00	Existing door replaced	MRS	Metal roof sheet	NP	New post	SC	Steel column to engineers spec.		
EDP	Existing down pipe	NDP	New down pipe	NPF	New pool fence built to AS 1926.1- 2012	SCR	New privacy screen		
EG	Existing gutter	NF	New fence	NS	New timber screen	SP	Spout		
EGT	Existing gate	NG	New gutter			SS	External Sunshade		

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Steel Bierl Residence

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PROJECT:
LOT 22 DP 32721 5 Hillview Crescent The Hill
NSW 2300
 CLIENT:
Steel Bierl
 DRAWING TITLE:
SOUTH EAST ELEVATION

JOB NO:
1911

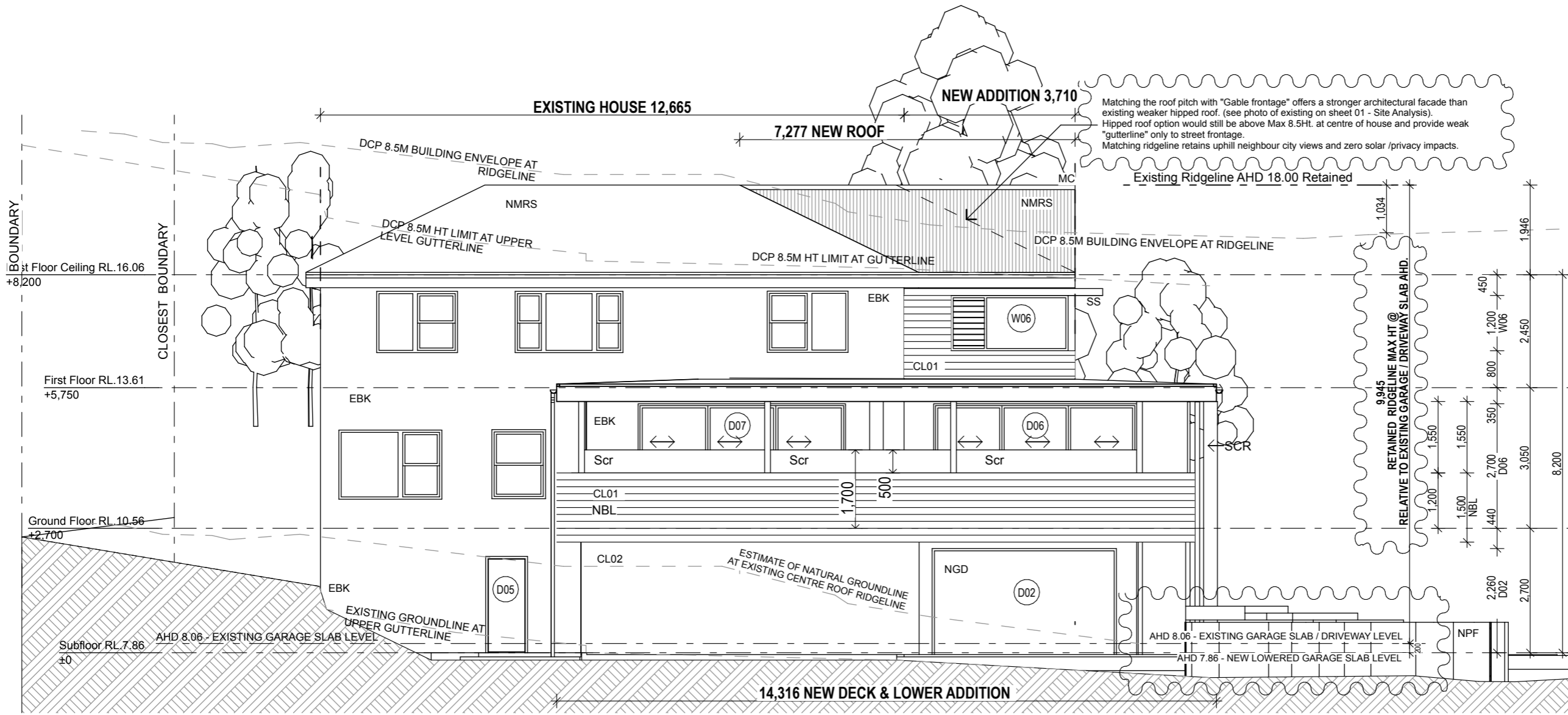
DRAWING NUMBER:
06

SCALE:
1:100



LEGEND

- BDY boundary
- CL01 Weatherboard cladding
- CL02 Flat sheet cladding
- CL03 Metal sheet cladding
- CP Precast/insitu concrete pavers
- CT New ceramic tiles
- DS Double stud
- DR Dryer
- EAC Exposed aggregate concrete
- EBK Existing brickwork
- ED00 Existing door replaced
- EDP Existing down pipe
- EG Existing gutter
- EGT Existing gate
- EF Existing fence
- EM Existing masonry
- ERO Existing roof over
- ESU Existing slab under
- EW00 Existing window replaced
- EWB Existing weatherboard
- FW Floor waste
- FG Fixed glass
- GB Glass balustrade
- GD Garage door
- MC Metal capping
- MRS Metal roof sheet
- NDP New down pipe
- NF New fence
- NG New gutter
- NGT New gate
- NTF New timber floor
- NP New post
- MC Metal capping
- MRS Metal roof sheet
- NBL New Balustrade
- NDP New down pipe
- NMRS New metal roof sheet
- NF New fence
- NG New gate
- NTF New timber floor
- NP New post
- NPF New pool fence built to AS 1926.1- 2012
- NS New timber screen
- NW New wall
- NWA New wall above
- OF Overflow pipe
- OHP Overhead power lines
- PCB Polycarbonate sheet
- PL Panel lift garage door
- PP Power pole
- RH New Rainhead
- RO New roof over
- S Sink
- SB Setback
- SC Steel column to engineers spec.
- SCR New privacy screen
- SP Spout
- SS External Sunshade
- ST Stovetop
- STC Steel trowel concrete
- SCR Screen - 25% perforated to meet privacy recommendations
- TD Timber Deck
- W00 Windows
- WDP Waterproof deck (with drainage)



NORTH-WEST ELEVATION



Privacy Screen



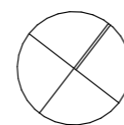
Privacy Screen 2

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Steel Bierl Residence

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PROJECT NORTH:



PROJECT:
LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300

CLIENT:
Steel Bierl

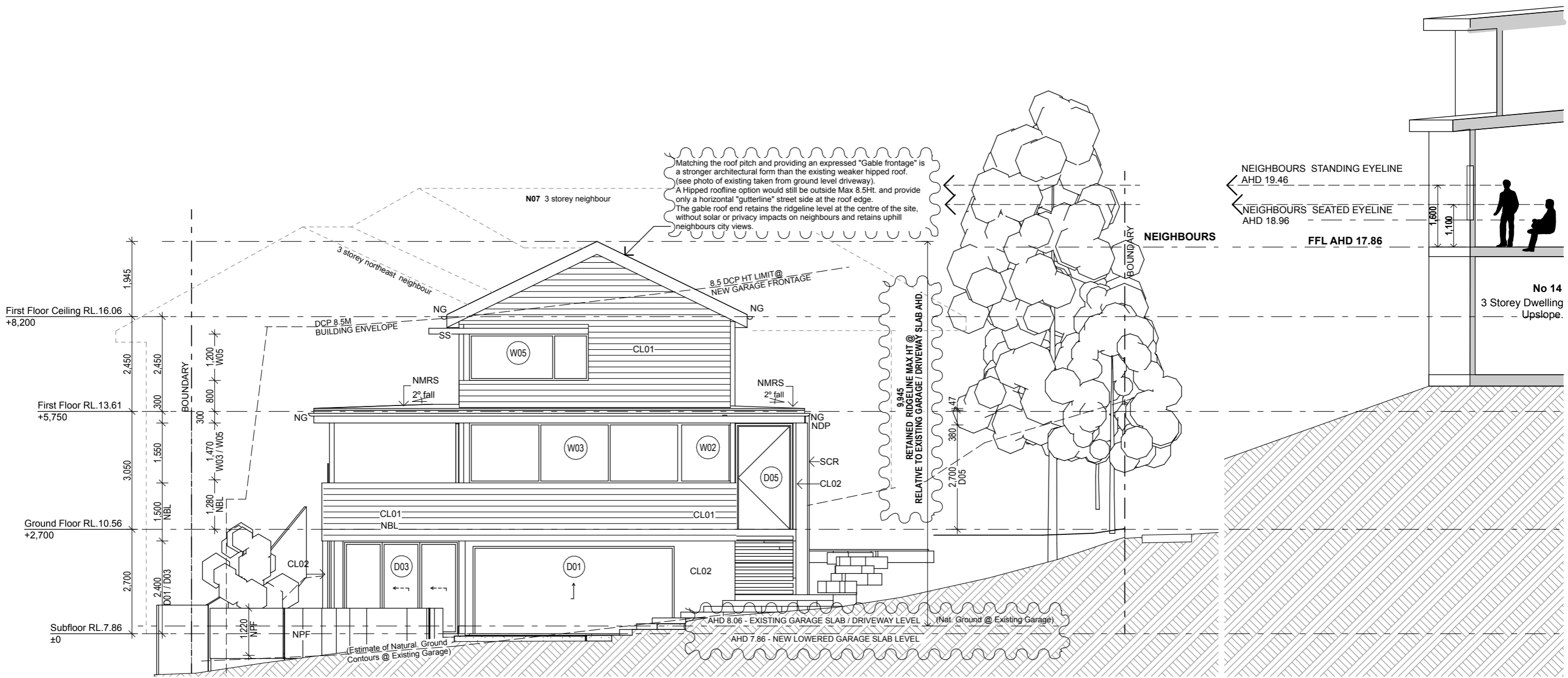
DRAWING TITLE:
NORTHWEST ELEVATION

JOB NO:
1911

DRAWING NUMBER:
07

SCALE:
1: 100





SOUTH-WEST ELEVATION

LEGEND

BDY	boundary	EF	Existing fence	NGT	New gate	NW	New wall	ST	Stovetop
CL01	Weatherboard cladding	EM	Existing masonry	NTF	New timber floor	NWA	New wall above	STC	Steel trowel concrete
CL02	Flat sheet cladding	ERO	Existing roof over	NP	New post	OF	Overflow pipe	SCR	Screen - 25% perforated to meet privacy recommendations
CL03	Metal sheet cladding	ESU	Existing slab under	MC	Metal capping	OHP	Overhead power lines	TD	Timber Deck
CP	Precast/insitu concrete pavers	EW00	Existing window replaced	MRS	Metal roof sheet	PCB	Polycarbonate sheet	W00	Windows
CT	New ceramic tiles	EWB	Existing weatherboard	NBL	New Balustrade	PL	Panel lift garage door	WDP	Waterproof deck (with drainage)
D00	Doors	FW	Floor waste	NDP	New down pipe	PP	Power pole		
DS	Double stud	FG	Fixed glass	NMRS	New metal roof sheet	RH	New Rainhead		
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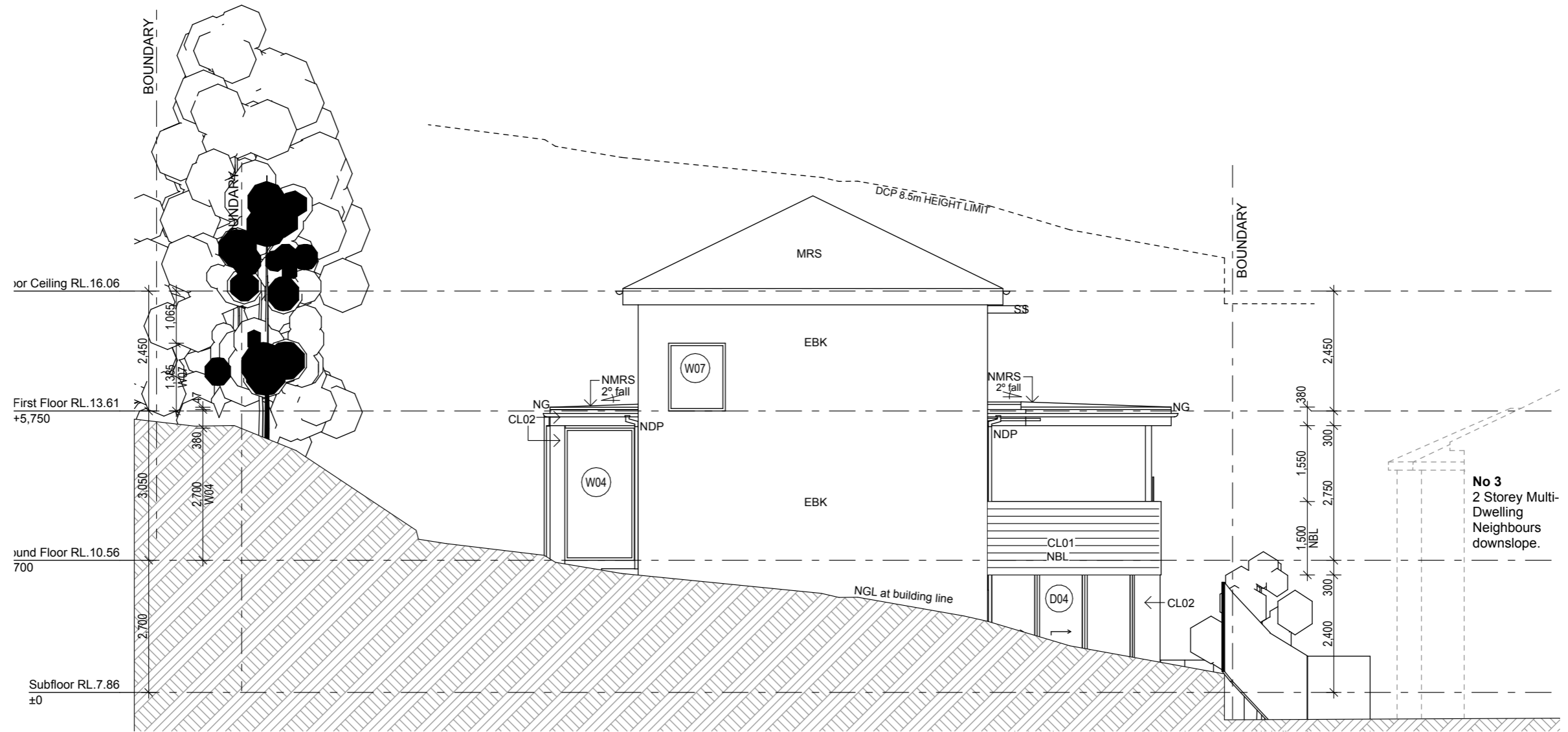
Steel Bierl Residence

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LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300
 CLIENT:
Steel Bierl
 DRAWING TITLE:
SOUTH WEST ELEVATIONS

JOB NO:
1911
 DRAWING NUMBER:
08
 SCALE:
1:100





NORTH-EAST ELEVATION

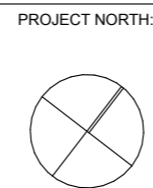
LEGEND

BDY	boundary	EF	Existing fence	NGT	New gate	NW	New wall	ST	Stovetop
CL01	Weatherboard cladding	EM	Existing masonry	NTF	New timber floor	NWA	New wall above	STC	Steel trowel concrete
CL02	Flat sheet cladding	ERO	Existing roof over	NP	New post	OF	Overflow pipe	SCR	Screen - 25% perforated to meet privacy recommendations
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Steel Bierl Residence

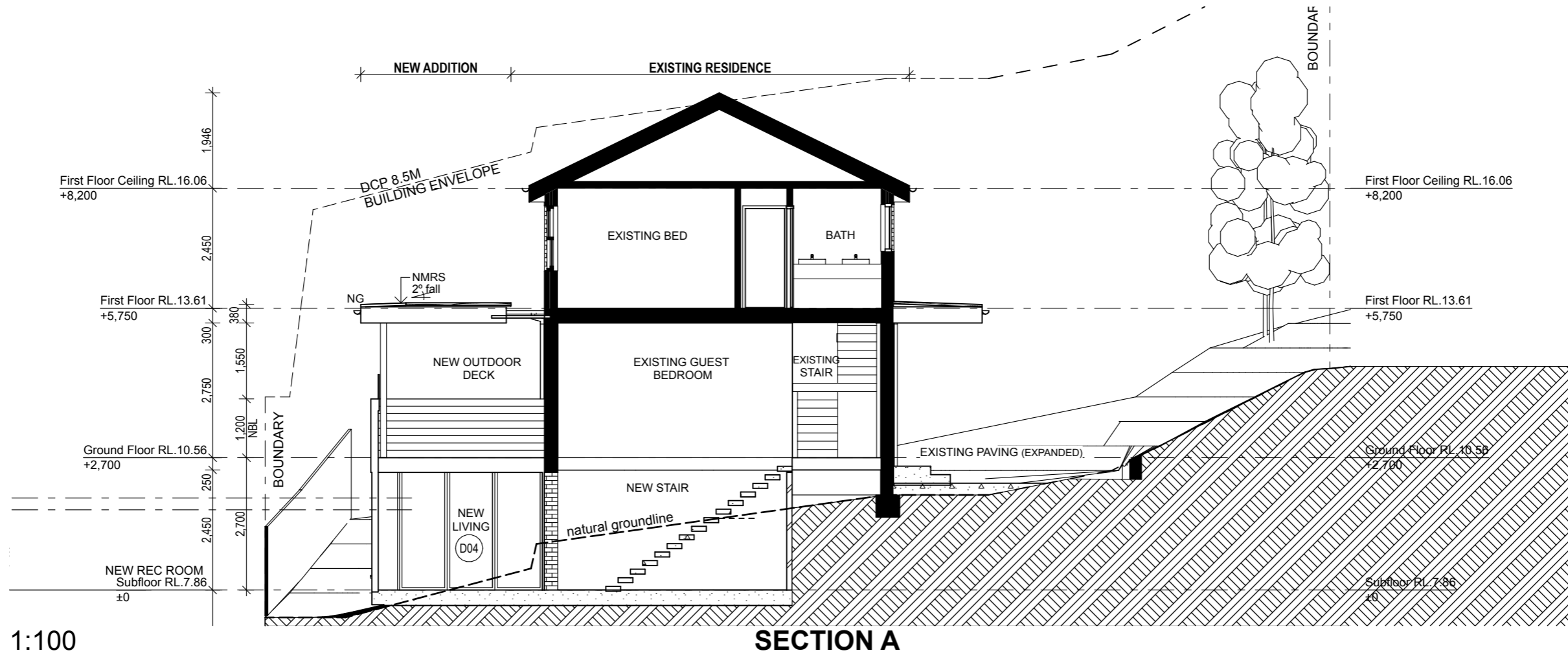
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	CLIENT:
	Steel Bierl
	DRAWING TITLE:
	NORTH EAST ELEVATION

JOB NO:
1911
DRAWING NUMBER:
09
SCALE:
1: 100

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 www.jodiedixonarchitect.com 57 northumberland st marryville, newcastle new 2203



LEGEND

BDY	boundary	EF	Existing fence	NGT	New gate	NW	New wall	ST	Stovetop
CL01	Weatherboard cladding	EM	Existing masonry	NTF	New timber floor	NWA	New wall above	STC	Steel trowel concrete
CL02	Flat sheet cladding	ERO	Existing roof over	NP	New post	OF	Overflow pipe	SCR	Screen - 25% perforated to meet privacy recommendations
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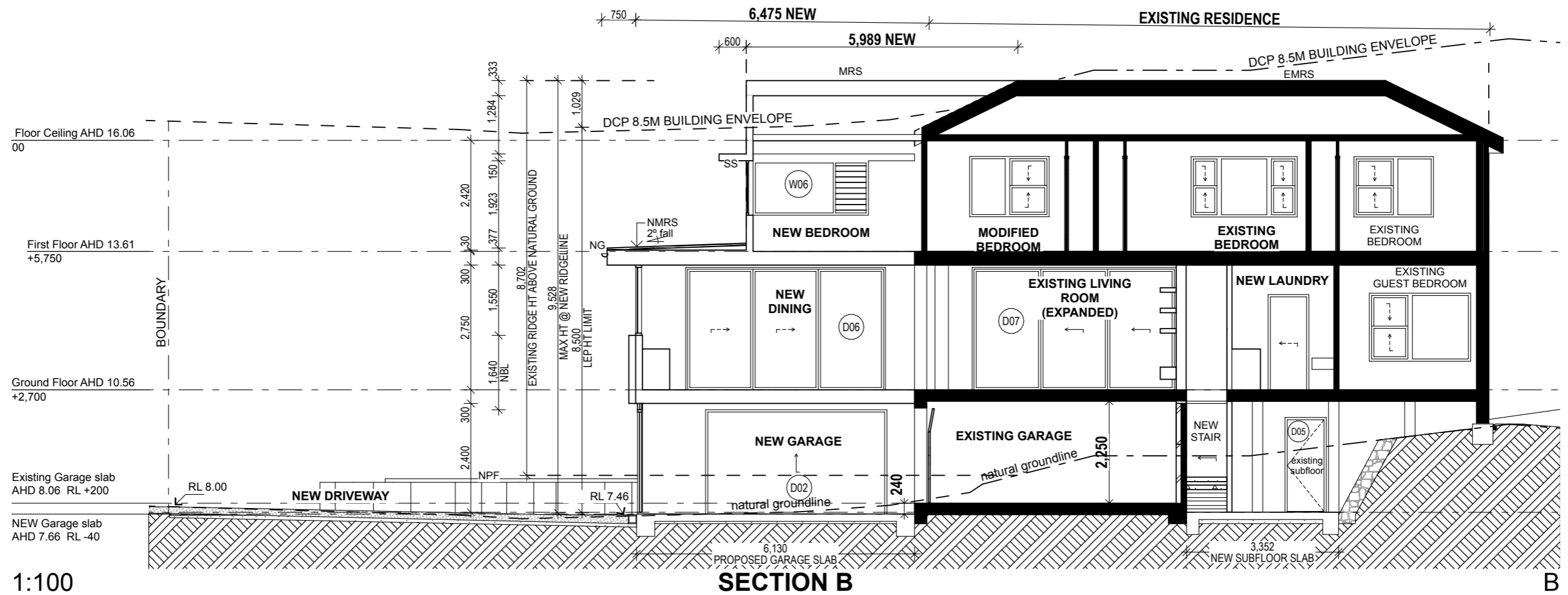
PROJECT:
LOT 22 DP 32721 5 Hillview Crescent The Hill
NSW 2300
 CLIENT:
Steel Bierl
 DRAWING TITLE:
SECTIONS

JOB NO:
1911

DRAWING NUMBER:
10

SCALE:
1:100





1:100

SECTION B

B

LEGEND

BDY	boundary	EF	Existing fence	NGT	New gate	NW	New wall	ST	Stovetop
CL01	Weatherboard cladding	EM	Existing masonry	NTF	New timber floor	NWA	New wall above	STC	Steel trowel concrete
CL02	Flat sheet cladding	ERO	Existing roof over	NP	New post	OF	Overflow pipe	SCR	Screen - 25% perforated to meet privacy recommendations
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EDP	Existing down pipe	NDP	New down pipe	NPF	New pool fence built to AS 1926.1-2012	SCR	New privacy screen		
EG	Existing gutter	NF	New fence	NS	New timber screen	SP	Spout		
EGT	Existing gate	NG	New gutter			SS	External Sunshade		

REV	PROJECT STATUS	DATE	DRAWN	CHECKED
A	DEVELOPMENT APPLICATION	20-06-20	JD	JD
B	DA - Privacy Screen added	29-09-20	JD	JD
C	Building Height Clarification	22-10-20	JD	JD

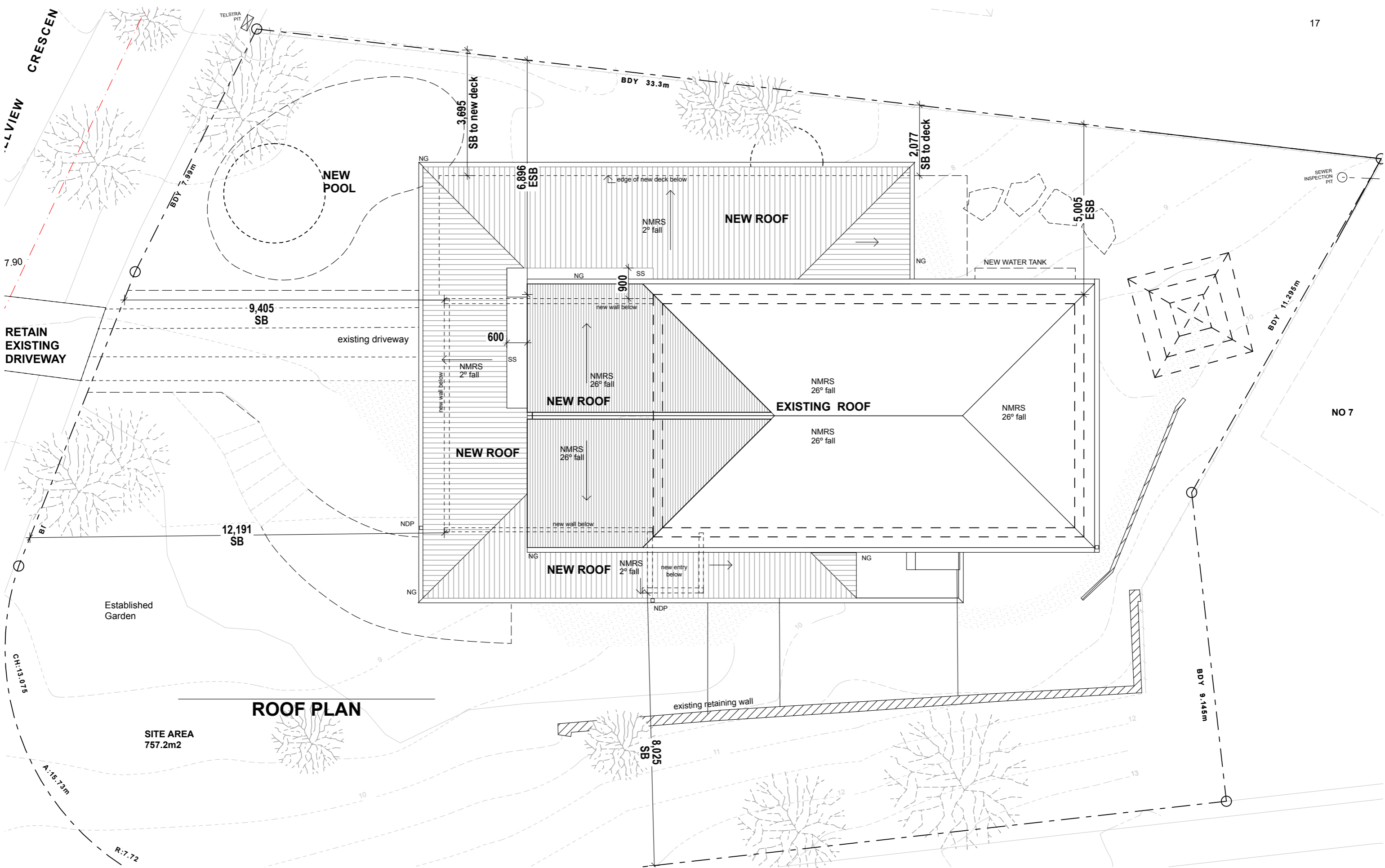
Steel Bierl Residence

NOTE: Dimensions are in millimetres unless shown otherwise. Do not scale from drawing. Confirm all dimensions on site prior to construction. Bring any discrepancy to the attention of the superintendent. All work to Australian Standards and all relevant Standards.



PROJECT NORTH:	PROJECT:	JOB NO:
	LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300	1911
	CLIENT:	DRAWING NUMBER:
	Steel Bierl	11
	DRAWING TITLE:	SCALE:
	SECTIONS	1: 100

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REV	PROJECT STATUS	DATE	DRAWN	CHECKED
A	DEVELOPMENT APPLICATION	20-06-20	JD	JD
B	DA - Privacy Screen added	29-09-20	JD	JD
C	Building Height Clarification	22-10-20	JD	JD

Steel Bierl Residence

NOTE: Dimensions are in millimetres unless shown otherwise. Do not scale from drawing. Confirm all dimensions on site prior to construction. Bring any discrepancy to the attention of the superintendent. All work to Australian Standards and all relevant Standards.



PROJECT NORTH:
 PROJECT: **LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300**
 CLIENT: **Steel Bierl**
 DRAWING TITLE: **ROOF PLAN**

JOB NO:
1911
 DRAWING NUMBER:
12
 SCALE:
1: 200



ID	W01	W02	W03	W04	W05	W06	W07	W08
W x H	1,643x1,550	1,181x1,550	5,434x1,550	1,420x2,700	3,075x1,200	2,544x1,200	1,160x1,385	750x1,305
AREA	2.75	2.03	8.42	3.83	3.69	3.05	1.61	0.98
LOCATION	NEW KITCHEN	NEW KITCHEN	NEW KITCHEN	ENTRY	NEW BEDROOM	NEW BEDROOM	EXISTING STAIR	NEW ROBE
ORIENTATION	SE	SW	SW	NE	SW	NW	NE	SE
SHADING	1920mm roof over	650mm roof over	650mm roof over	4500mm roof over	750mm roof over	750mm roof over	450mm roof over	450mm roof over
ELEVATION								

- GLAZING & WINDOW SPECIFICATION**
- 01 Windows and Glazing to AS 2047 and AS2048 and BASIX Schedule.
 - 02 See Window schedule and BASIX Schedule for sizes and operations.
 - 03 All new window assemblies to be supplied and fitted with flymesh to match window assemblies.
 - 04 Use flashings and weatherings to AS 2904, which are corrosion resistant to other materials in the installation. Flashings, weather bars, drips, storm moulds, caulking and pointing to be installed to prevent water penetrating the building between the window frame and the building structure.
 - Silicone Sealants : Neutral cure silicone.
 - 05 Jointing materials, sealants, mastics primers, gaskets and compressible fillers to be compatible & non-staining.
 - 06 Include structural window tolerances for normal structural movement of the building and local wind terrain ratings.
 - 07 Locate winder controls at low heights for easy use where operating high level windows.
 - 08 Include all accessories, straps anchors and brackets to ensure smooth operation and locking of all window assemblies.
 - 09 Any Steel windows are to be finished in clear seal suitable for long term high coastal exposure.
 - 10 All windows preferably AWS - Commercial Frame sections, Magnum sliders where three door slider doors and fitted with ICON Hardware, typically to all windows. Provide comparison pricing in Timber. On site measure required for all windows prior to fabrication supply and installation.
 - 11 "Altair" - Breezeway Stronghold Louvre System.
 - LV Slider windows
 - SK "Velux Skylight". Final Selection details and accessories to be confirmed by proprietor.
 - D00 Doors
 - W00 Windows

ID
W x H
AREA
LOCATION
ORIENTATION
SHADING
ELEVATION

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A379011

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Sunday, 28 June 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Planning, Industry & Environment

Description of project

Project address	
Project name	1911 Steel Bierl
Street address	5 Hillview Crescent The Hill 2300
Local Government Area	Newcastle City Council
Plan type and number	Deposited Plan 32721
Lot number	22
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name:	Jodie Dixon Architect
ABN (if applicable):	42 083 946 383

Fixtures and systems

	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Construction

Construction	Additional insulation required (R-value)	Other specifications	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
concrete slab on ground floor:	nil		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
suspended floor with enclosed subfloor: framed (R0.7):	R0.60 (down) (or R1.30 including construction)		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
suspended floor above garage: framed (R0.7):	nil		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
external wall: framed (weatherboard, fibro, metal clad):	R1.30 (or R1.70 including construction)		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
flat ceiling, pitched roof:	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Construction

Construction	Additional insulation required (R-value)	Other specifications	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
concrete slab on ground floor:	nil		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
suspended floor with enclosed subfloor: framed (R0.7):	R0.60 (down) (or R1.30 including construction)		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
suspended floor above garage: framed (R0.7):	nil		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
external wall: framed (weatherboard, fibro, metal clad):	R1.30 (or R1.70 including construction)		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
flat ceiling, pitched roof:	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

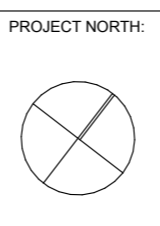
Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
W01	SE	2.75	1.55	1.6	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W02	SW	2.03	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W03	SW	8.42	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W04	NE	3.83	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W05	SW	3.69	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W06	NW	3.05	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W07	NE	1.61	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
W8	SE	0.98	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D03	SW	7.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D04	NE	7.6	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D05	SW	3.78	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D06	NW	11.9	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D07	NW	12.15	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D08	SE	2.97	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
D09	SE	12.15	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

REV	PROJECT STATUS	DATE	DRAWN	CHECKED
A	DEVELOPMENT APPLICATION	20-06-20	JD	JD
B	DA - Privacy Screen added	29-09-20	JD	JD
C	Building Height Clarification	22-10-20	JD	JD

Steel Bierl Residence

NOTE: Dimensions are in millimetres unless shown otherwise. Do not scale from drawing. Confirm all dimensions on site prior to construction. Bring any discrepancy to the attention of the superintendent. All work to Australian Standards and all relevant Standards.



PROJECT NORTH:

PROJECT:
LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300

CLIENT:
Steel Bierl

DRAWING TITLE:
BASIX / WINDOW / DOOR SCHEDULE

JOB NO:
1911

DRAWING NUMBER:
13

SCALE:
-

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www.jodiearchitect.com | 57 northumberland st marryville, newcastle new 2305



Street View



West Corner



East Corner



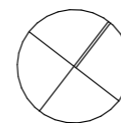
New Entry

REV	PROJECT STATUS	DATE	DRAWN	CHECKED
A	DEVELOPMENT APPLICATION	20-06-20	JD	JD
B	DA - Privacy Screen added	29-09-20	JD	JD
C	Building Height Clarification	22-10-20	JD	JD

Steel Bierl Residence

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PROJECT NORTH:



PROJECT:

LOT 22 DP 32721 5 Hillview Crescent The Hill

NSW 2300

CLIENT:

Steel Bierl

DRAWING TITLE:

IMAGES

JOB NO:

1911

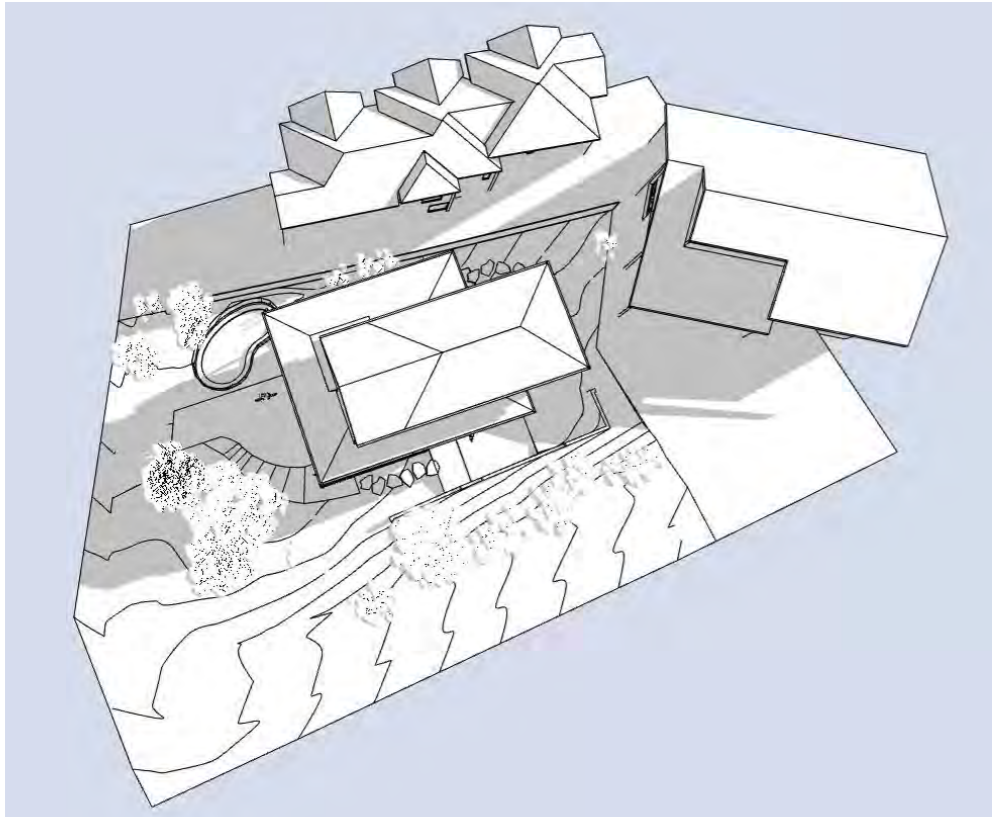
DRAWING NUMBER:

14

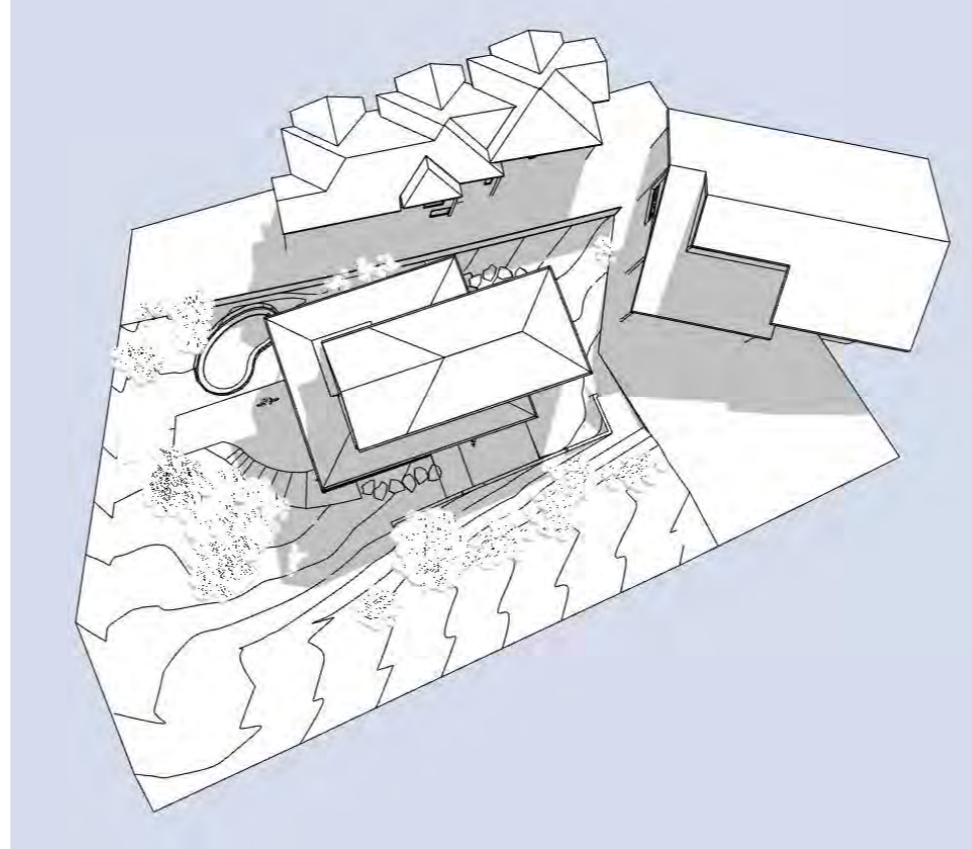
SCALE:

-

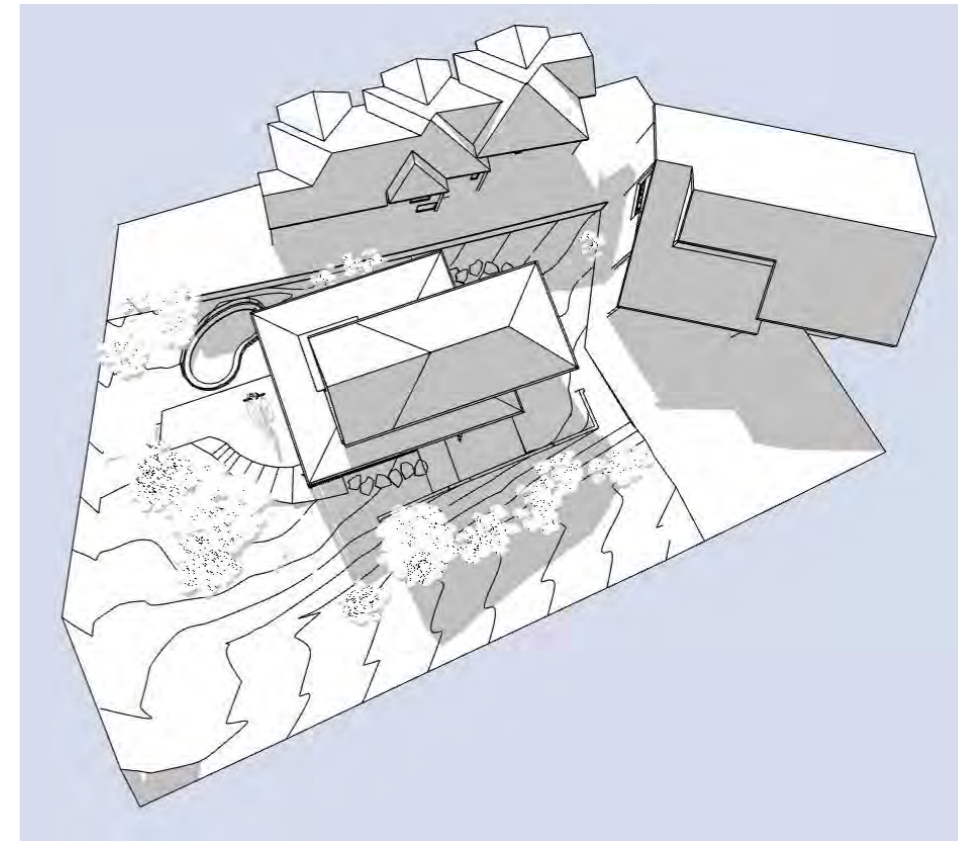




Sunshading 9am Winter



Sunshading 12pm Winter



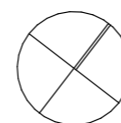
Sunshading 3pm

REV	PROJECT STATUS	DATE	DRAWN	CHECKED
A	DEVELOPMENT APPLICATION	20-06-20	JD	JD
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Steel Bierl Residence

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PROJECT NORTH:



PROJECT:

LOT 22 DP 32721 5 Hillview Crescent The Hill NSW 2300

CLIENT:

Steel Bierl

DRAWING TITLE:

SUN SHADOW DIAGRAMS

JOB NO:

1911

DRAWING NUMBER:

15

SCALE:

1: 200



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ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 01/12/2020 – DA2020/00717 - 5 HILLVIEW CRESCENT, THE
HILL - DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

ITEM-41 Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No:	DA2020/00717
Land:	Lot 22 DP 32721
Property Address:	5 Hillview Crescent The Hill NSW 2300
Proposed Development:	Dwelling house - alterations and additions and swimming pool

SCHEDULE 1**APPROVED DOCUMENTATION**

1. The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site Analysis / Demolition Plan	Dwg No. 01 Rev C	Jodie Dixon	22/10/2020
Proposed Site Plan / Stormwater	Dwg No. 02 Rev C	Jodie Dixon	22/10/2020
Sub Floor Plan	Dwg No. 03 Rev C	Jodie Dixon	22/10/2020
Ground Floor Plan	Dwg No. 04 Rev C	Jodie Dixon	22/10/2020
First Floor Plan	Dwg No. 05 Rev C	Jodie Dixon	22/10/2020
South East Elevation	Dwg No. 06 Rev C	Jodie Dixon	22/10/2020
North West Elevation	Dwg No. 07 Rev C	Jodie Dixon	22/10/2020
South West Elevation	Dwg No. 08 Rev C	Jodie Dixon	22/10/2020
North East Elevation	Dwg No. 09 Rev C	Jodie Dixon	22/10/2020
Sections	Dwg No. 10 Rev C	Jodie Dixon	22/10/2020
Sections	Dwg No. 11 Rev C	Jodie Dixon	22/10/2020
Roof Plan	Dwg No. 12 Rev C	Jodie Dixon	22/10/2020
BASIX / Window & Door Schedule	Dwg No. 13 Rev C	Jodie Dixon	22/10/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. The swimming pool/spa water recirculation and filtration system installation is to comply with *Australian Standard 1926.3:2010 - Swimming pool safety - Water recirculation systems*. Full details are to be included in the documentation for a Construction Certificate application.
3. The construction or erection of swimming pool safety fences and gates and all associated work is to be carried out in accordance with the *Swimming Pools Act 1992* and Regulations. Full details are to be included in the documentation for a Construction Certificate application.
4. Roof water from the proposed new work is to be directed to the proposed water tank with a minimum capacity of 4,000 litres and being reticulated to any new toilet cisterns and cold water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
5. Overflows from the roof water tank and any additional discharge controls (if required) are to be directed to Council's drainage system by means of an underground pipe directly to the street gutter. Full details are to be included in documentation for a Construction Certificate application.
6. Privacy screening is to be constructed along the north-western side of the proposed deck. The privacy screening must be:
 - Of a high-quality presentation style of attractive appearance on both sides,
 - Be permanently fixed and made of durable materials,
 - Be constructed to a height of between 1.7m and 2.2m above finished floor level of the deck,
 - Provide adequate screening to ensure privacy to and from the deck to the neighbouring property to the north-west, and
 - Have a maximum are of 25% openings in accordance with Section 3.02, Single Dwellings, of City of Newcastle Development Control Plan 2012.

Full details are to be included in documentation for a Construction Certificate application.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

7. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
 - a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any

public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

8. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
9. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the City of Newcastle and to the demolisher prior to commencement of work.
 10. Demolition works are to be undertaken in accordance with *Australian Standard 2601:2001 - The Demolition of Structures* and the following requirements:
 - a) Demolition works are to be conducted in accordance with the submitted Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan is to be kept on site for the duration of the proposed development;
 - b) The removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the required class of Asbestos Licence, issued by SafeWork NSW;
 - c) A copy of all waste disposal receipts are to be kept on site for the duration of the proposed development and made available to authorised City of Newcastle officers upon request;
 - d) Seven working days' notice in writing is to be given to the City of Newcastle and the owners/occupiers of neighbouring premises prior to the commencement of any demolition work. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises is also to include City of Newcastle's contact telephone number (4974 2000) and the SafeWork NSW telephone number (4921 2900); and
 - e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
 11. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
 12. Any waste containers used in association with the proposed demolition are to be

located on the site where possible. Where this is not feasible, an application is to be made for the City of Newcastle's approval to position the container on the adjacent public road in accordance with City of Newcastle's adopted Building Waste Container Policy.

13. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
14. The following waste management measures are to be implemented during the construction phase:
 - a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
 - b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
 - c) Provision is to be made to prevent windblown rubbish leaving the site; and
 - d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

15. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
16. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
17. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

18. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

19. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the 'Blue Book') published by Landcom,

2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.

20. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifier at the stages of construction indicated:
 - a) On completion of ground floor construction, confirming that the floor levels are in accordance with the approved levels.
 - b) On completion of each subsequent floor level, confirming that the floor levels are in accordance with the approved levels.
 - c) When the roof has been completed, confirming that the building does not exceed the approved levels.

21. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.

22. All building work is to be carried out in accordance with the provisions of the National Construction Code.

23. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.

24. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

25. Pool plant and equipment is to be sited or enclosed in a sound absorbing enclosure to prevent any offensive noise (as defined under the *Protection of the Environment Operations Act 1997*) impacts to adjoining neighbours.

26. The swimming pool surrounds and/or paving is to be constructed in a manner so as to ensure water from the pool overflow does not discharge onto neighbouring properties. All backwash/pool waste water is to be piped/drained to the sewer of Hunter Water Corporation in accordance with the requirements of Hunter Water Corporation.

27. Should the existing vehicular crossing be replaced or modified it is to be constructed at no cost to Council, as per the following:
 - a) Constructed in accordance with City of Newcastle's A1300 - Driveway Crossings Standard Design Details.
 - b) The driveway crossing, within the road reserve, is to be a maximum of 4.5m wide.
 - c) Letterboxes, landscaping and any other obstructions to visibility are to be kept clear of or limited in height to 1.2m, in the 2.0m by 2.5m splay within the property boundary, each side of the driveway entrance.
 - d) The proposed driveway is to be a minimum of 3.0m clear of the trunk of any tree within the road reserve.
 - e) The proposed driveway is to be a minimum of 750mm clear of the centre of any pole or obstruction within the road reserve and 1.0m clear of any drainage pit.

These works are not approved until consent under Section 138 of the *Roads Act 1993* has been granted by the City of Newcastle.

28. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve, pursuant to Section 138 of the *Roads Act 1993*, prior to the commencement of works.
29. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

30. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
31. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the City of Newcastle with Occupation Certificate documentation.
32. All works within the road reserve required by this consent are to be completed prior to the issue of an Occupation Certificate.
33. All works in relation to the privacy screens required by condition 6 of this consent are to be completed prior to the issue of an Occupation Certificate.
34. Prior to the issue of an Occupation Certificate, smoke alarms shall be installed in the existing dwelling, in accordance with the provisions of the National Construction Code.

ADVISORY MATTERS

- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

- The owner of the premises on which a swimming pool/spa is situated is to ensure that the pool details are entered into the *State Swimming Pool Register*. The register is accessible at www.swimmingpoolregister.nsw.gov.au.
- Prior to the occupation or use of a new building an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
 - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- City of Newcastle has considered and accepted the variation to development standards made under Clause 4.6 of the Newcastle Local Environmental Plan 2012. The variation to the building height is considered acceptable in the particular circumstances of this case as the proposed development will not generate significant impacts for the neighbouring properties.
- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Any issues raised in submissions have been considered in the assessment report and conditions have been placed on the consent where appropriate.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 01/12/2020 – DA2020/00717 - 5 HILLVIEW CRESCENT, THE HILL -
DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

ITEM-41 **Attachment C:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESSING CHRONOLOGY

DA2020/00717 5 Hillview Crescent, The Hill

7 July 2020	Application lodged
13 July 2020	Public notification of application (14 days)
25 September 2020	Further information requested – privacy screens required to obscure views from deck
1 October 2020	Further information received from applicant
15 October 2020	Ausgrid referral due to proximity from pool to electricity infrastructure
21 October 2020	Ausgrid referral response provided
21 October 2020	Further information requested – Revised LEP Clause 4.6 variation and confirmation on levels / extent of building height departure
27 October 2020	Further information received from applicant – Revised plans, SEE, LEP Clause 4.6 variation request