
ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

ITEM- 8 DA2018/01460.01 – 11 Rowan Lane Merewether

Modification to four storey dwelling and associated site works – Changes to floor level and roof pitch

Attachment A: Submitted Plans

Attachment B: Draft Schedule of Conditions

Attachment C: Processing Chronology

ITEM- 9 DA2019/00998 - 19 High Street The Hill

Dwelling house - alterations and additions

Attachment A: Submitted Plans

Attachment B: Draft Schedule of Conditions

Attachment C: Processing Chronology

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ITEM 8 DA2018/01460.01 – 11 ROWAN LANE MEREWETHER

Modification to four storey dwelling and associated site works – Changes to floor level and roof pitch

Attachment A - Submitted Plans

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DEVELOPMENT APPLICATIONS COMMITTEE MEETING

17 MARCH 2020

DAC 17/03/2020

DA2018/01460.01 - 11 ROWAN LANE MEREWETHER

Attachment A: Submitted Plans

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MILLENNIAL HOUSE

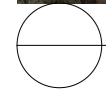
11 ROWAN LANE, MEREWETHER, NSW, 2291
 LOT 121 | DP845921

Drawing List

DA 000	Cover Page
DA 001	Site Analysis & Locality Plan
DA 002	Site Works & Sediment Control Plan
DA 003	Stormwater Plan & Driveway Section
DA 004	BASIX Commitments
DA 100	Garage Floor Plan
DA 101	Mezzanine Floor Plan
DA 102	Ground Floor Plan
DA 103	First Floor Plan
DA 104	Roof Plan
DA 200	North Elevation
DA 201	East Elevation
DA 202	South Elevation
DA 203	West Elevation
DA 300	Section A-A
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DA 302	Section C-C
DA 400	Perspectives 01
DA 500	Shadow Diagram - 21st June 9am
DA 501	Shadow Diagram - 21st June 12pm
DA 502	Shadow Diagram - 21st June 3pm
DA 600	Window and Glazed Door Schedule- Sheet 1



Site Location



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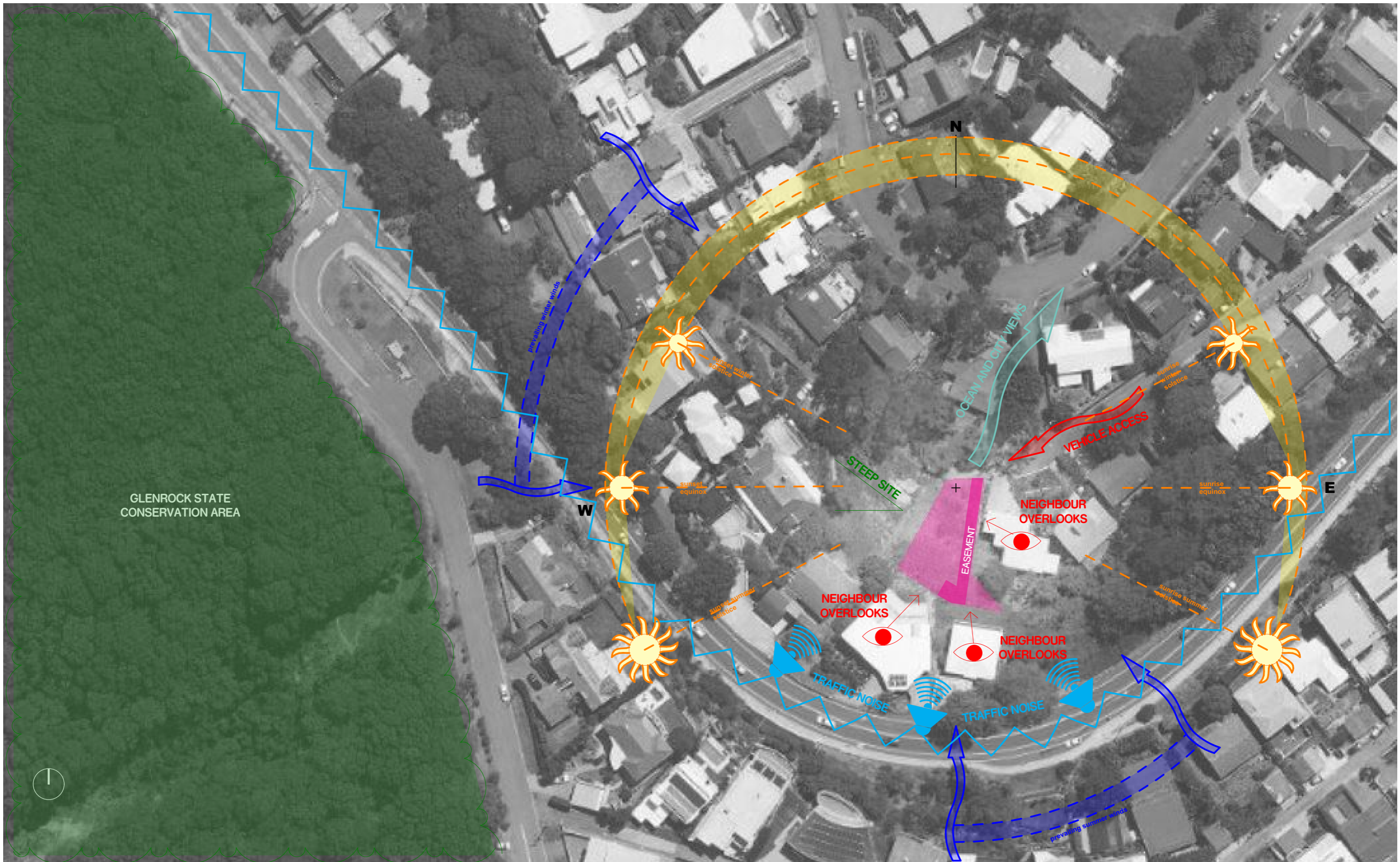
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03	S96 Application	Katie	31/10/2019
04	S96 Application_Section RLs	Katie	15/01/2020

Legend

MILLENNIAL HOUSE

PROJECT NO. 318-009
 CLIENT P. & D. BOWDEN
 LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
 DRAWING Cover Page
 SCALE 1:1@A3

DA 000

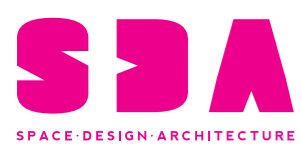


GLENROCK STATE
CONSERVATION AREA

**MILLENNIAL
HOUSE**

PROJECT NO. 318-009
 CLIENT P. & D. BOWDEN
 LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
 DRAWING Site Analysis & Locality Plan
 SCALE @A3

DA 001



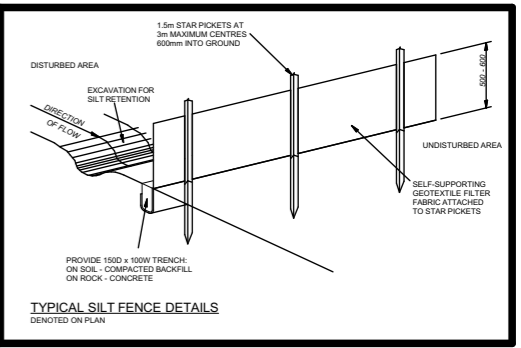
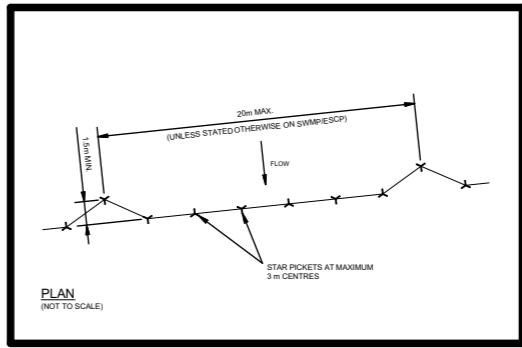
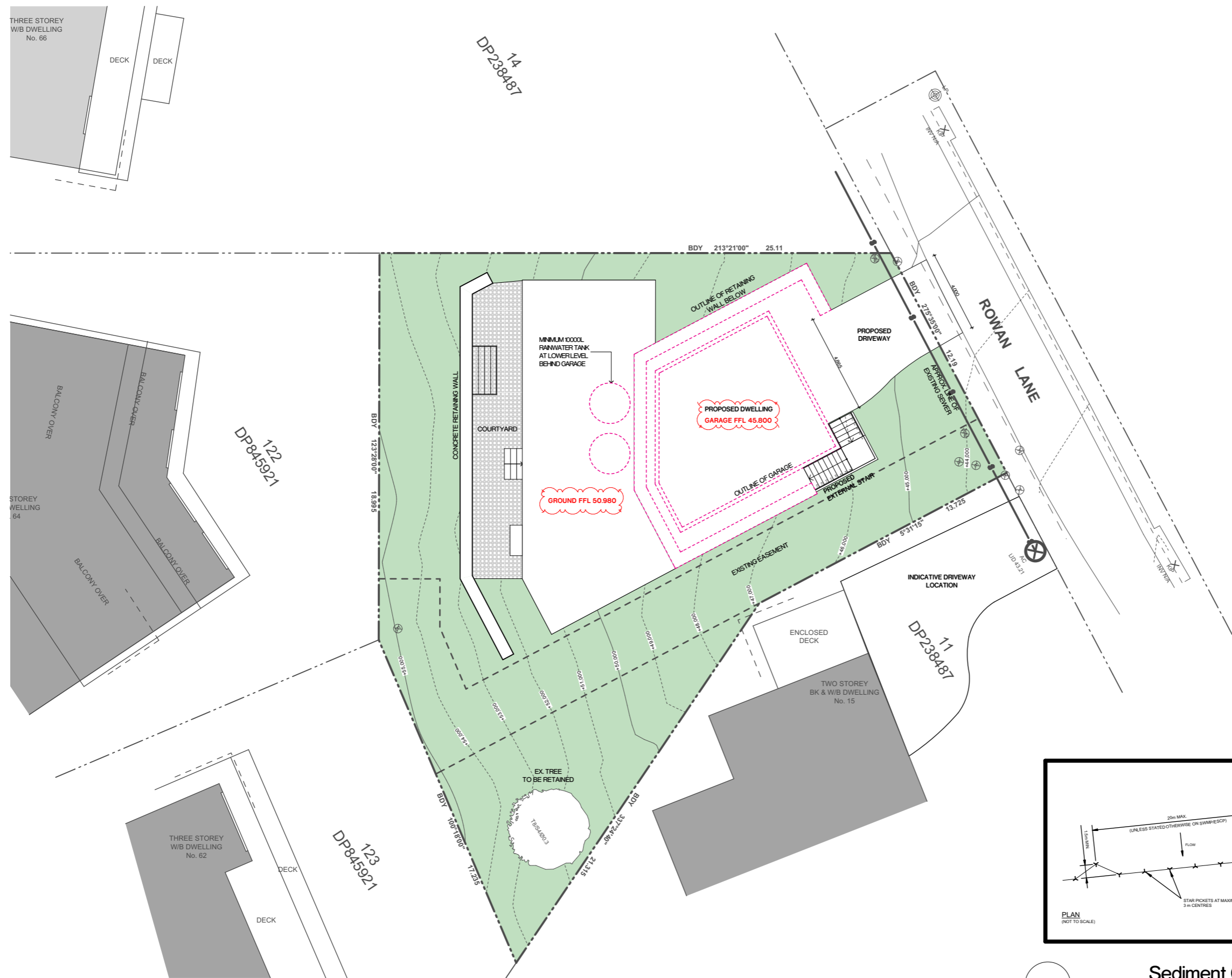
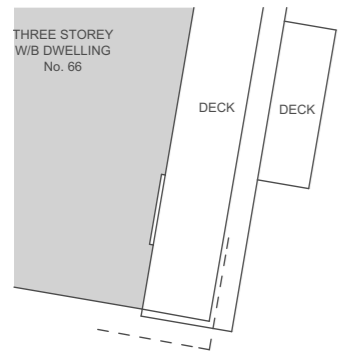
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Legend

P:\318-009 Millennial House Project\02 Drawings\02_3 Working Files\318-009_Millennial House_001.rvt



Sediment Control Plan
1:200



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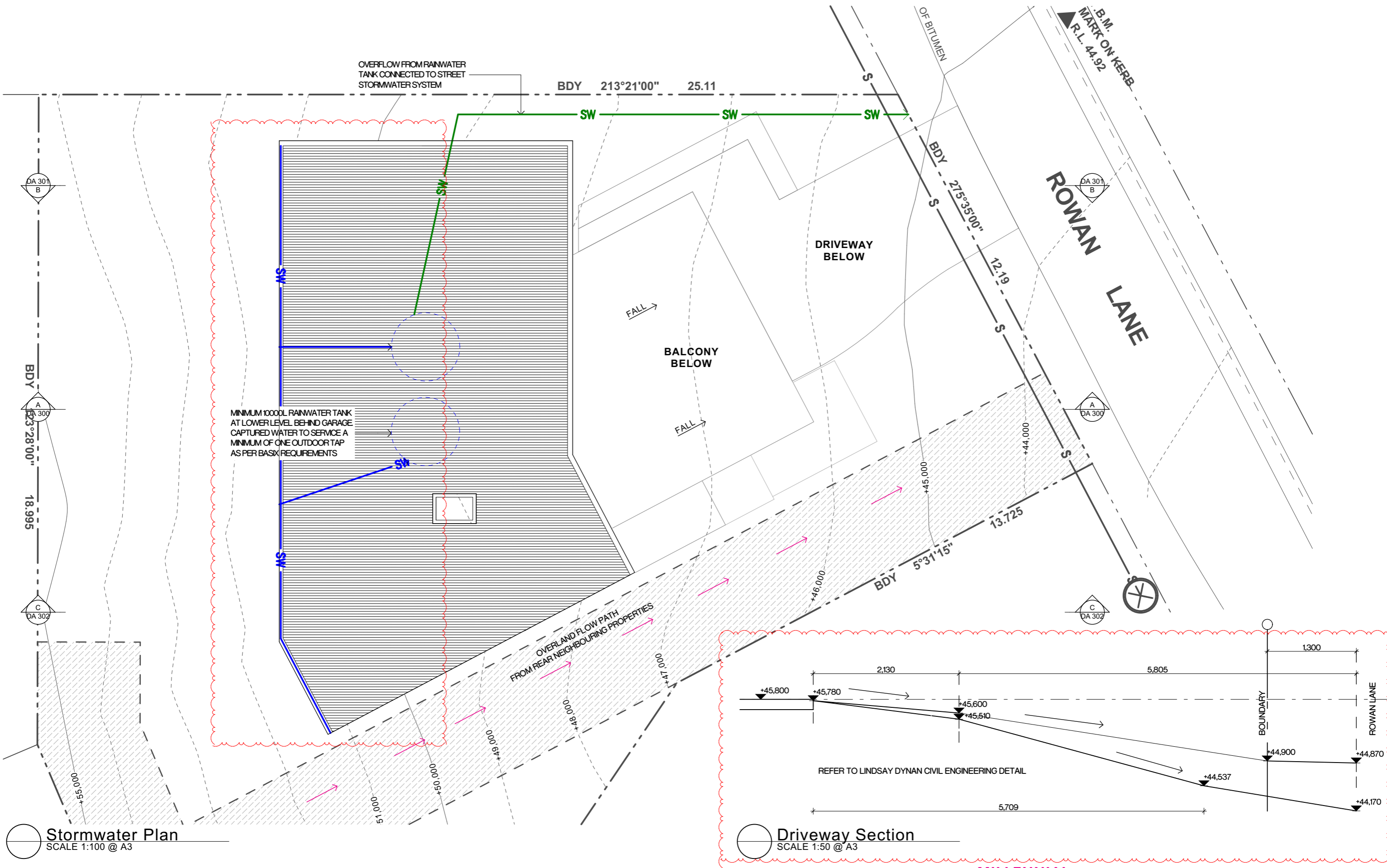
Legend

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Site Works & Sediment Control Plan
SCALE 1:200@A3

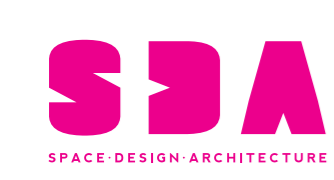
DA 002

P:\318\318-009 Millennial House Project\02 Drawings\02_3 Working Files\318-009_Millennial House_002.dwg



Stormwater Plan
SCALE 1:100 @ A3

Driveway Section
SCALE 1:50 @ A3



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Legend

MILLENNIAL HOUSE

PROJECT NO. 318-009
 CLIENT P. & D. BOWDEN
 LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
 DRAWING Stormwater Plan & Driveway Section
 SCALE 1:100, 1:50@A3



P:\318\318-009 Millennial House Project\02 Drawings\02_2 Working Files\318-009_Millennial House_003.rvt

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 308 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 133 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Thermal Comfort Commitments

Simulation Method

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Floor and wall construction	Area
floor - suspended floor/enclosed subfloor	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 5 Star

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating: 5 Star

The cooling system must provide for day/night zoning between living areas and bedrooms.

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 Star

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 Star

The heating system must provide for day/night zoning between living areas and bedrooms.

Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: individual fan, ducted to façade or roof; Operation control: interlocked to light

Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 5 of the bedrooms / study; dedicated

- at least 2 of the living / dining rooms; dedicated

- the kitchen; dedicated

- all bathrooms/toilets; dedicated

- the laundry; dedicated

- all hallways; dedicated

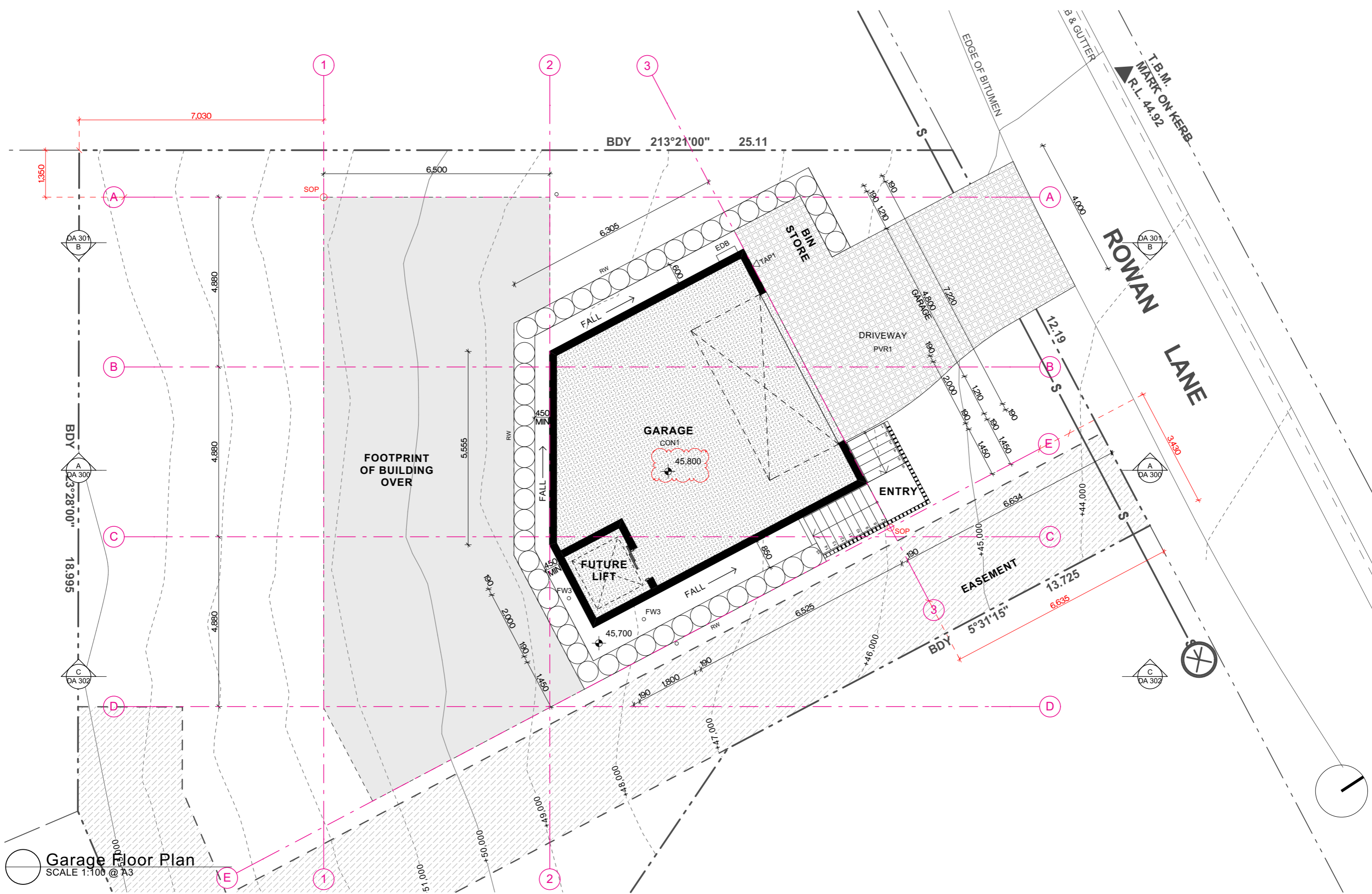
Natural lighting

The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.

Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must install a fixed outdoor clothes drying line as part of the development.



Garage Floor Plan
SCALE 1:100 @ A3

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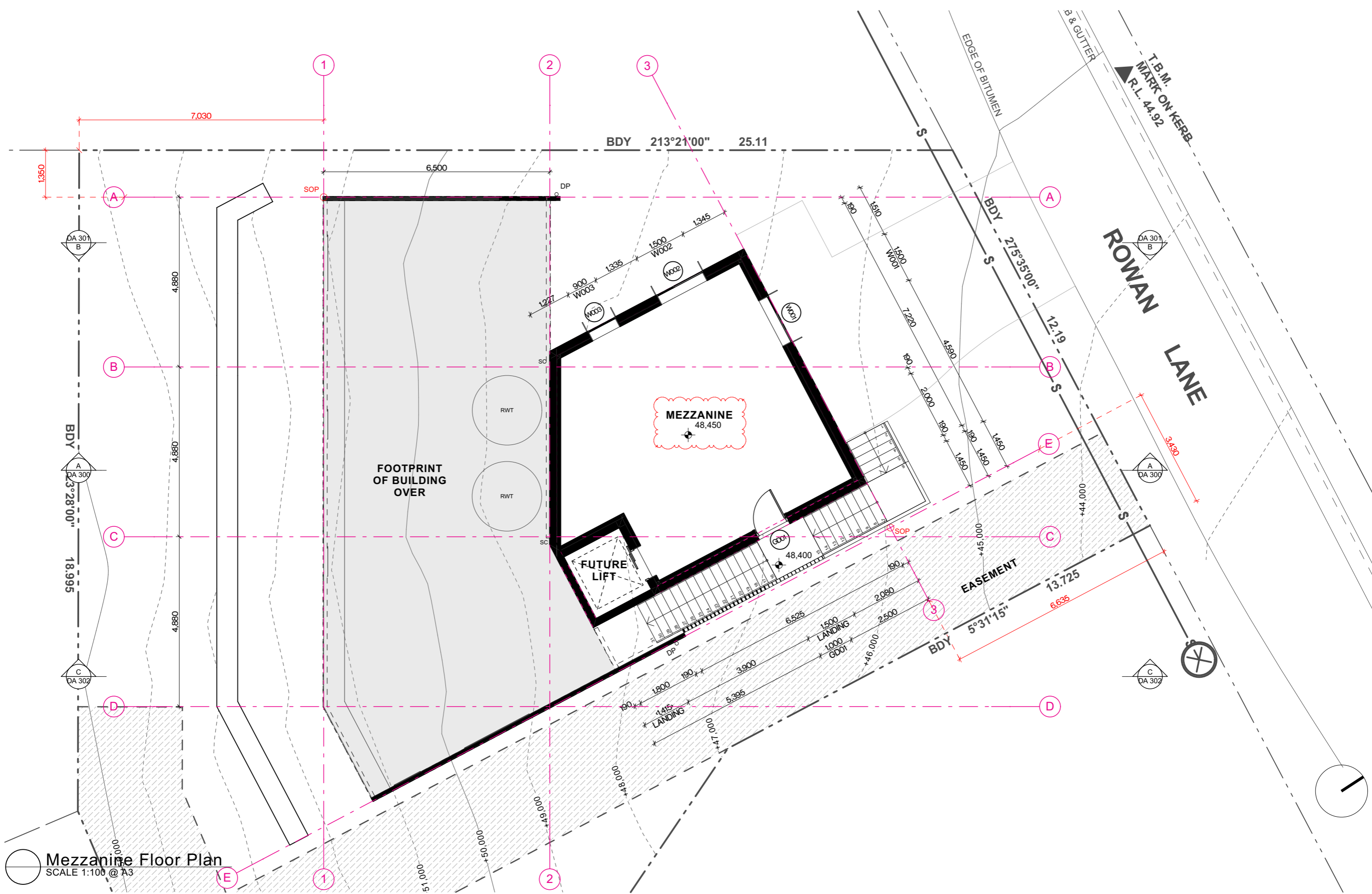
Legend
CON1 CONCRETE TYPE 1
FW3 FLOOR WASTE 3
PVR1 PAVER - TYPE 1
TAP1 EXTERIOR TAP

EDB ELECTRICAL DISTRIBUTION BOARD
RW RETAINING WALL * CONTIGUOUS PILE RETAINING WALL TO ENGINEERS DETAIL
SOP SET OUT POINT

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Garage Floor Plan
SCALE 1:100@A3

DA 100



Mezzanine Floor Plan
SCALE 1:100 @ A3

Issue	Description	Issued By	Date
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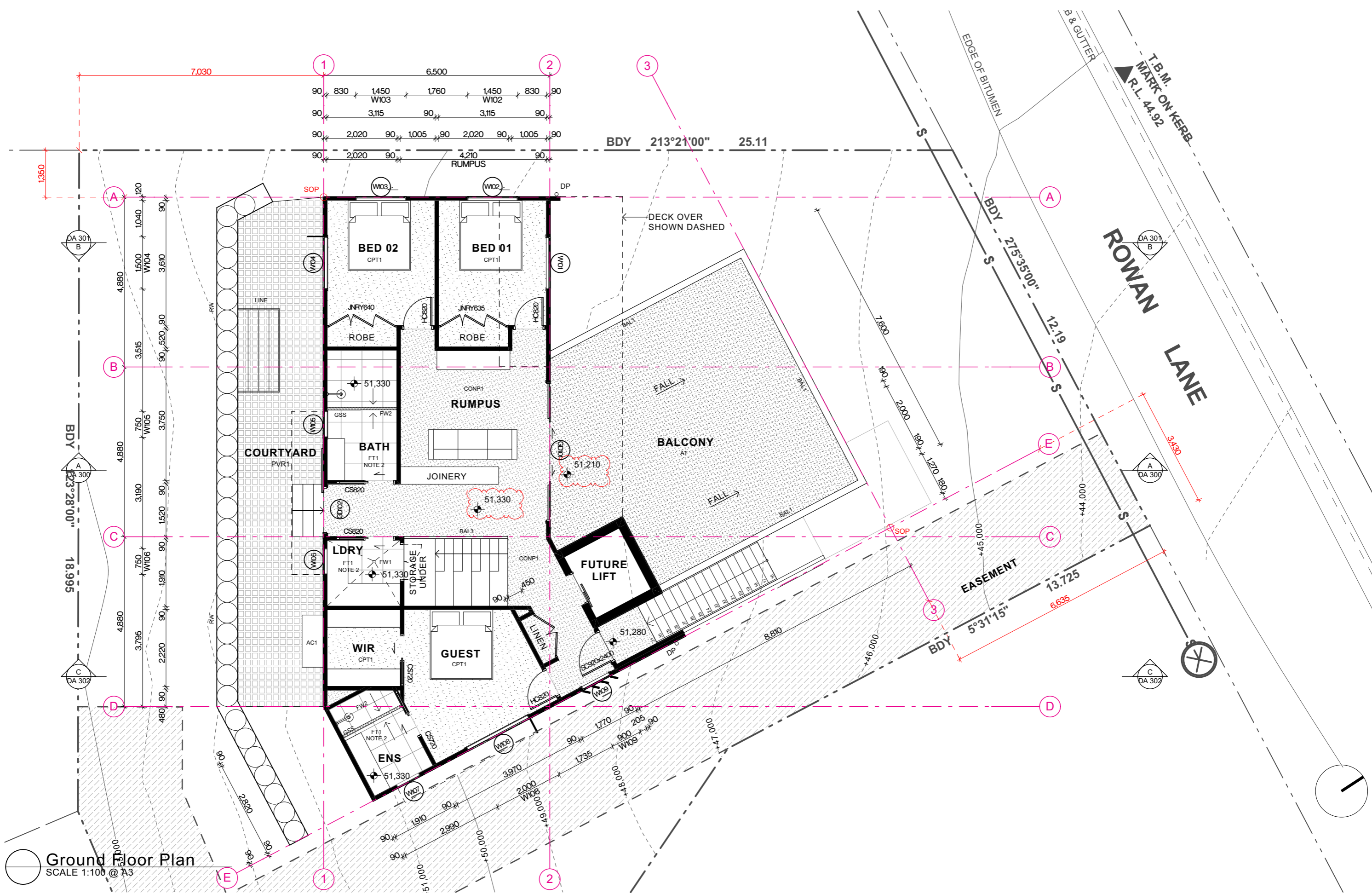
Legend

- DP DOWNPIPE**
- RWT RAINWATER TANK**
• TO COMPLY WITH BASIX REQUIREMENTS
- SC STEEL COLUMN**
• TO STRUCTURAL ENGINEERS DETAILS
- SOP SET OUT POINT**

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Mezzanine Floor Plan
SCALE 1:100@A3

DA 101



Ground Floor Plan
SCALE 1:100 @ A3

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- Legend**
- AC1 AIR CONDITIONER
 - AT ARTIFICIAL TURF - TYPE 1
 - CONP1 POLISHED CONCRETE - TYPE 1
 - BURNISHED W/ SATIN FINISH
 - CPT1 CARPET - TYPE 1
 - FT1 FLOOR TILE - TYPE 1
 - FW1 FLOOR WASTE 1
 - FW2 FLOOR WASTE 2
 - GSS GLASS SHOWER SCREEN
 - LINE CLOTHES LINE
 - PVR1 PAVER - TYPE 1

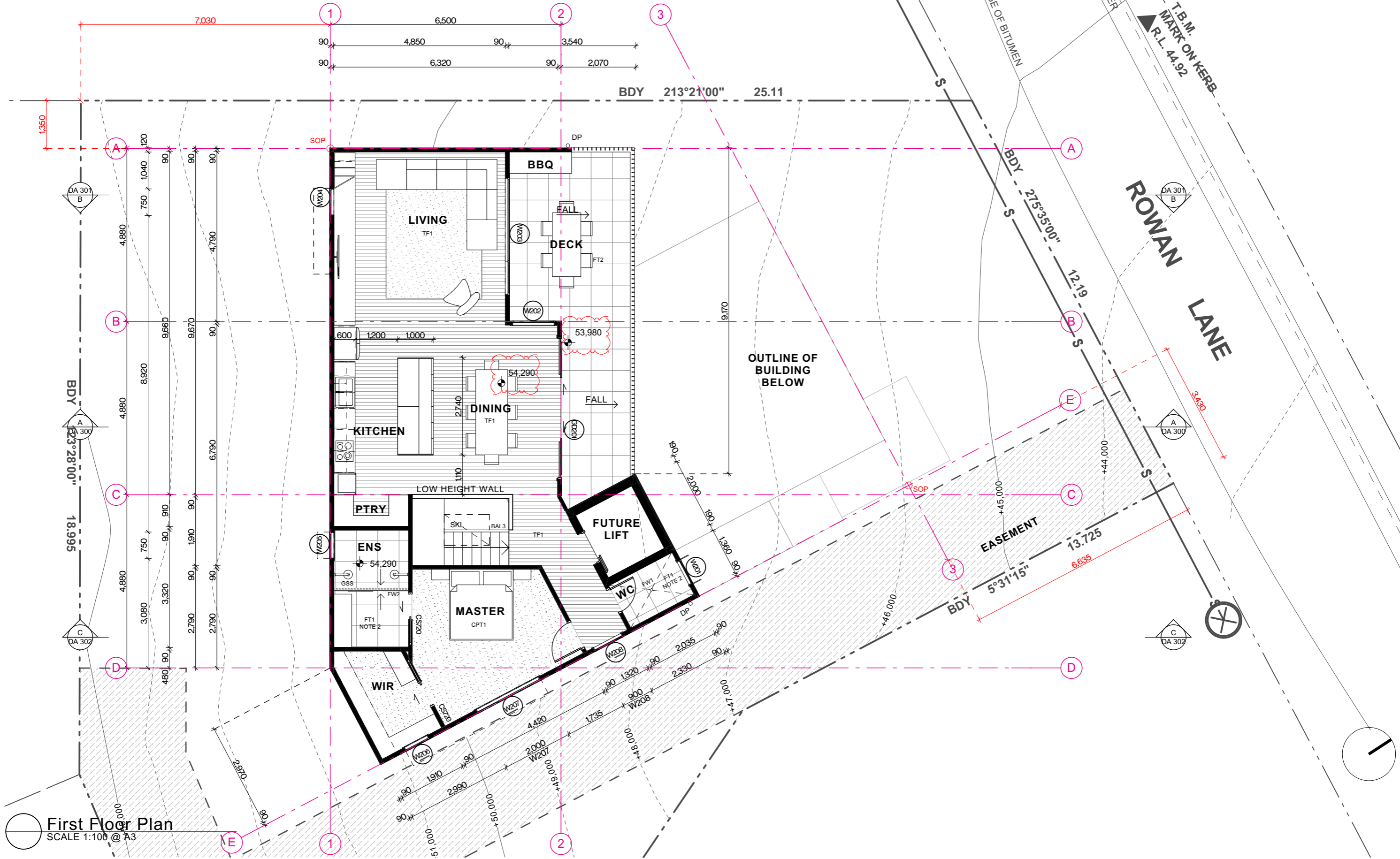
- BAL1 BALUSTRADE - TYPE 1
- Aluminium Balustrade to Manufacturers Spec
- BAL3 BALUSTRADE - TYPE 3
- DP DOWNPIPE
- NOTE 2 50mm SETDOWN TO WET AREAS
- RW RETAINING WALL

- CONTIGUOUS PILE RETAINING WALL TO ENGINEERS DETAIL
- SOP SET OUT POINT

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Ground Floor Plan
SCALE 1:100@A3

DA 102



First Floor Plan
SCALE 1:100 @ A3

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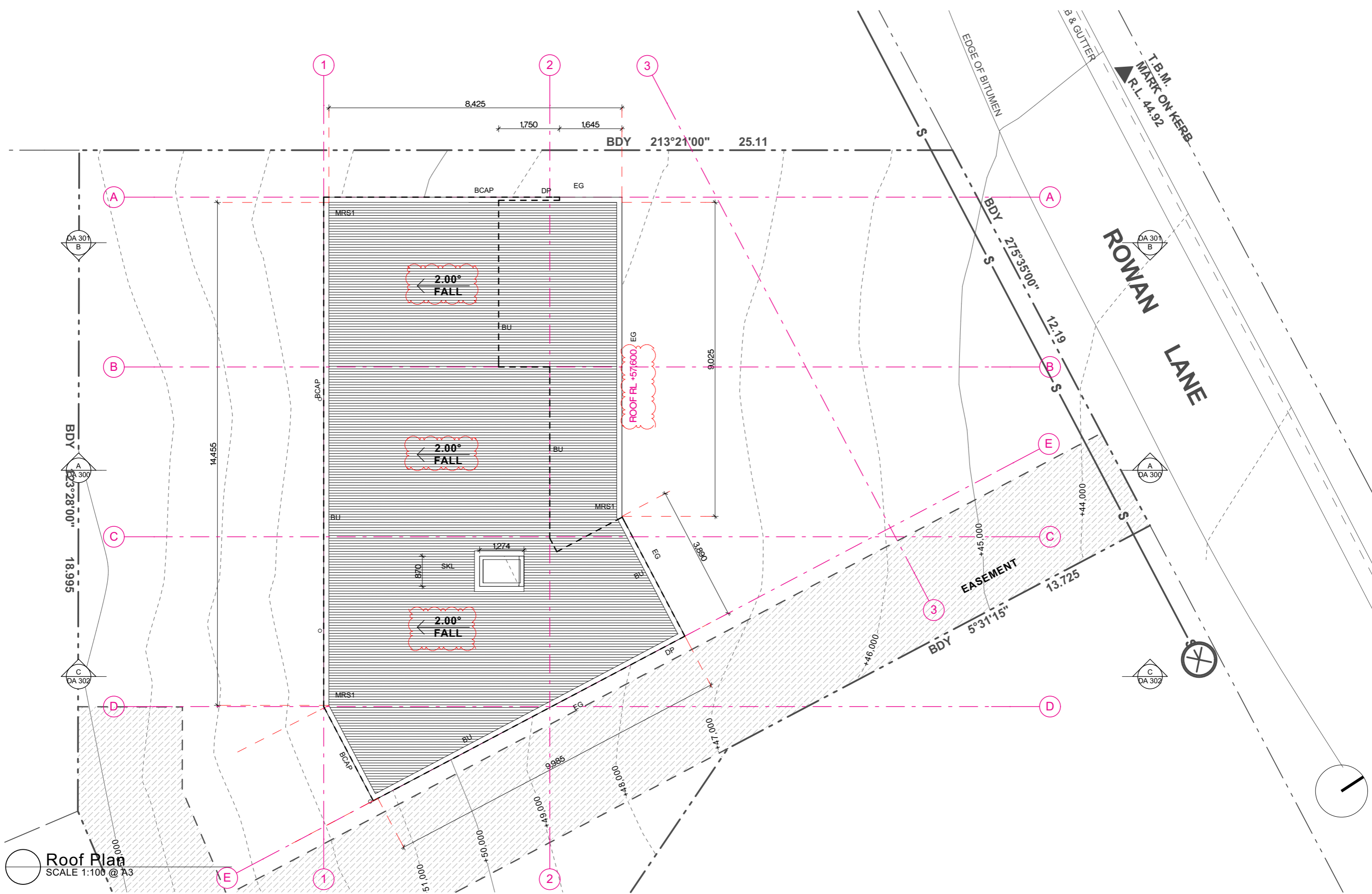
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Legend	GSS GLASS SHOWER SCREEN	SKL SKYLIGHT
CPT1 CARPET - TYPE 1	TF1 TIMBER FLOOR - TYPE 1	SOP SET OUT POINT
FT1 FLOOR TILE - TYPE 1	BAL3 BALUSTRADE - TYPE 3	
FT2 FLOOR TILE - TYPE 2	DP DOWNPIPE	
FW1 FLOOR WASTE 1	NOTE 2 50mm SETDOWN TO WET AREAS	
FW2 FLOOR WASTE 2		

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING First Floor Plan
SCALE 1:100@A3

DA 103



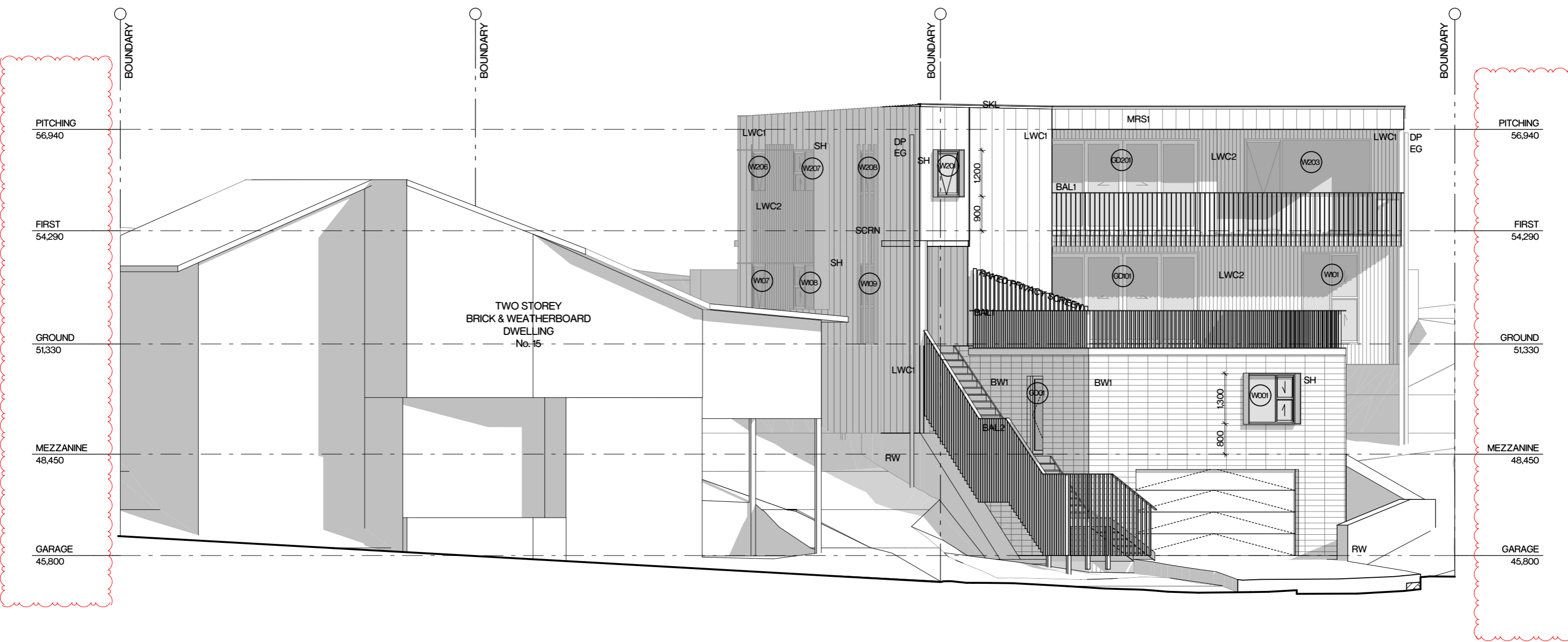
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Legend	SKL SKYLIGHT
MRS1 METAL ROOF SHEETING - TYPE 1	
BCAP BARGE CAPPING	
BU BUILT UNDER	
DP DOWNPIPE	
EG EAVES GUTTER	

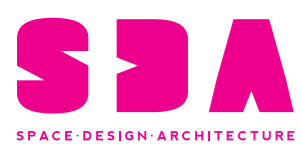
MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Roof Plan
SCALE 1:100@A3

DA 104



North Elevation
SCALE 1:100 @ A3



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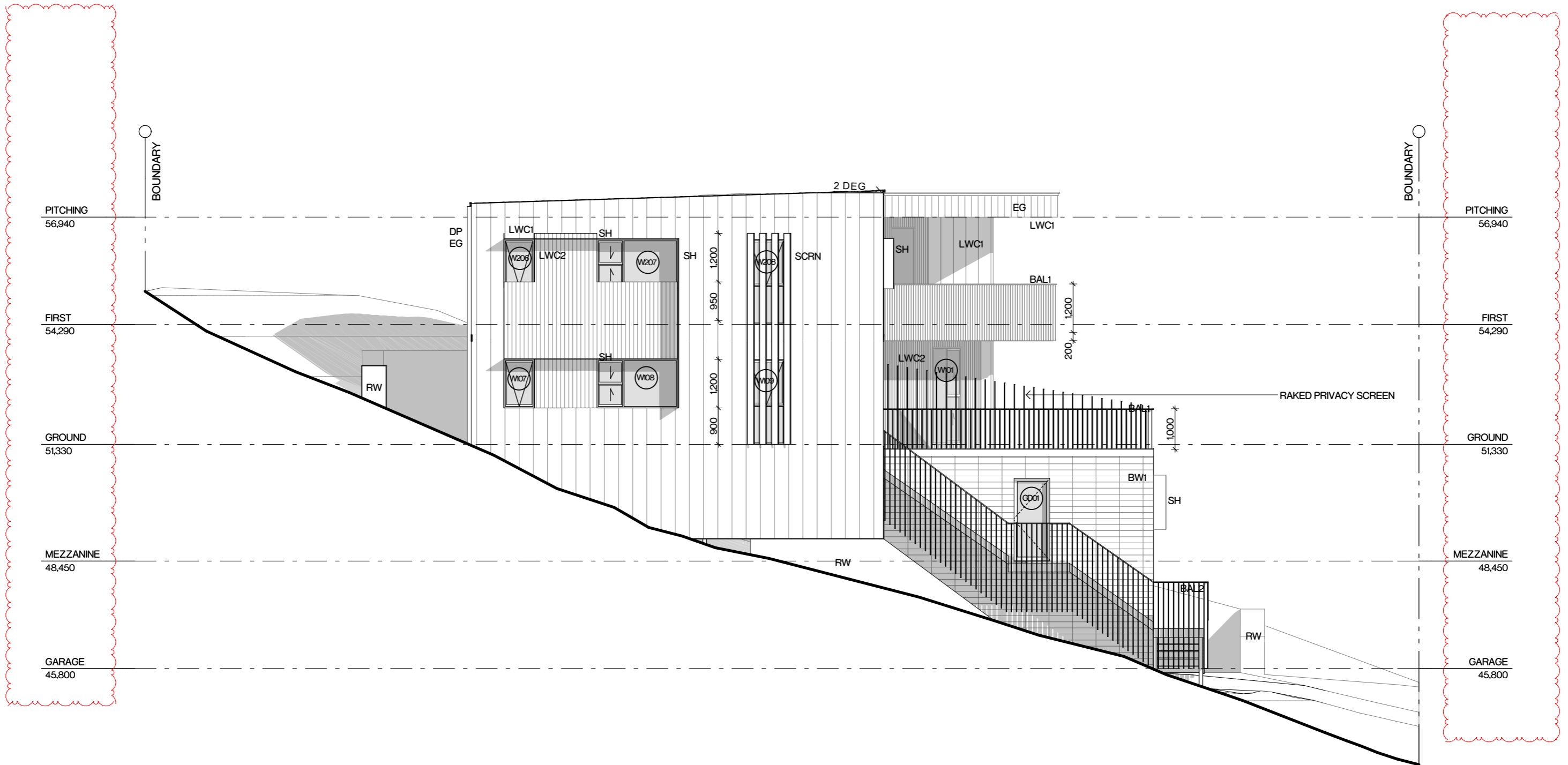
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- Legend**
- BW1 BLOCKWORK - TYPE 1**
 - Austral Masonry Architec
 - Smooth Face Block - Pearl Grey - Laid Stack bond
 - LWC1 LIGHTWEIGHT CLADDING - TYPE 1**
 - Nail Strip Metal Cladding - Matt Black
 - LWC2 LIGHTWEIGHT CLADDING - TYPE 2**
 - Spotted Gum Ship Lap Cladding
 - MRS1 METAL ROOF SHEETING - TYPE 1**
 - BAL1 BALUSTRADE - TYPE 1**
 - Aluminium Balustrade to Manufacturers Spec
 - BAL2 BALUSTRADE - TYPE 2**
 - Aluminium Balustrade to Manufacturers Spec
 - DP DOWNPIPE**
 - EG EAVES GUTTER**
 - RW RETAINING WALL**
 - CONTIGUOUS PILE RETAINING WALL TO ENGINEERS DETAIL
 - SCRN PRIVACY SCREEN**
 - SH SUNHOOD**
 - SKL SKYLIGHT**

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING North Elevation
SCALE 1:100@A3





East Elevation
SCALE 1:100 @ A3

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Legend

- BW1 BLOCKWORK - TYPE 1**
 - Austral Masonry Architec Smooth Face Block - Pearl Grey - Laid Stack bond
- LWC1 LIGHTWEIGHT CLADDING - TYPE 1**
 - Nail Strip Metal Cladding - Matt Black
- LWC2 LIGHTWEIGHT CLADDING - TYPE 2**
 - Spotted Gum Ship Lap Cladding

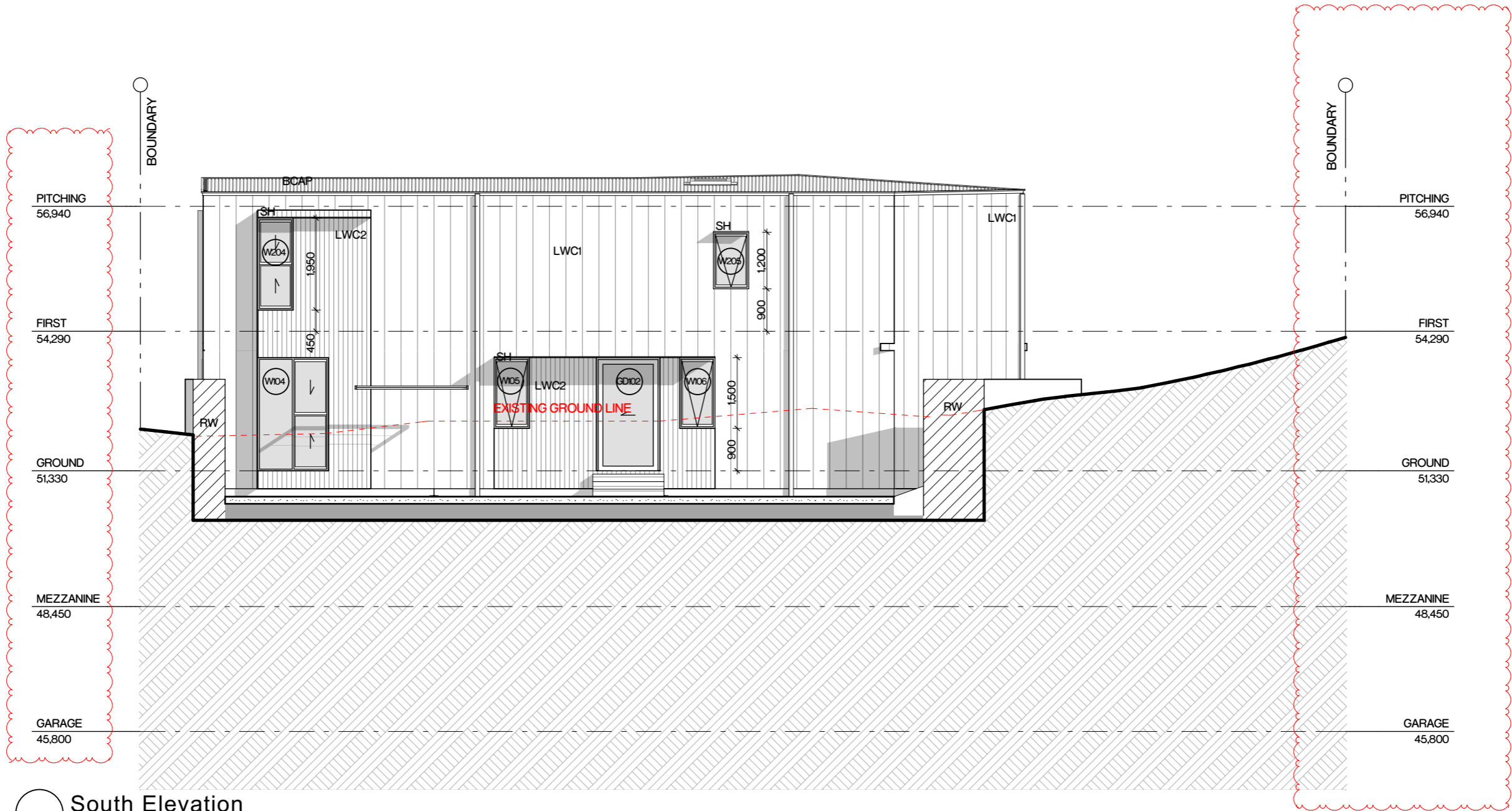
- BAL1 BALUSTRADE - TYPE 1**
 - Aluminium Balustrade to Manufacturers Spec
- BAL2 BALUSTRADE - TYPE 2**
 - Aluminium Balustrade to Manufacturers Spec
- DP DOWNPIPE**
- EG EAVES GUTTER**
- RW RETAINING WALL**

- CONTIGUOUS PILE RETAINING WALL TO ENGINEERS DETAIL**
- SCRN PRIVACY SCREEN**
- SH SUNHOOD**

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING East Elevation
SCALE 1:100@A3

DA 201



South Elevation
SCALE 1:100 @ A3

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Legend

LWC1 LIGHTWEIGHT CLADDING - TYPE 1
• Nail Strip Metal Cladding - Matt Black

LWC2 LIGHTWEIGHT CLADDING - TYPE 2
• Spotted Gum Ship Lap Cladding

BCAP BARGE CAPPING

RW RETAINING WALL
• CONTIGUOUS PILE
• RETAINING WALL TO ENGINEERS DETAIL

SH SUNHOOD

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING South Elevation
SCALE 1:100@A3

DA 202



West Elevation
SCALE 1:100 @ A3

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Legend

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 • Austral Masonry Architec
 Smooth Face Block - Pearl
 Grey - Laid Stack bond
- LWC1 LIGHTWEIGHT
 CLADDING - TYPE 1**
 • Nail Strip Metal Cladding -
 Matt Black

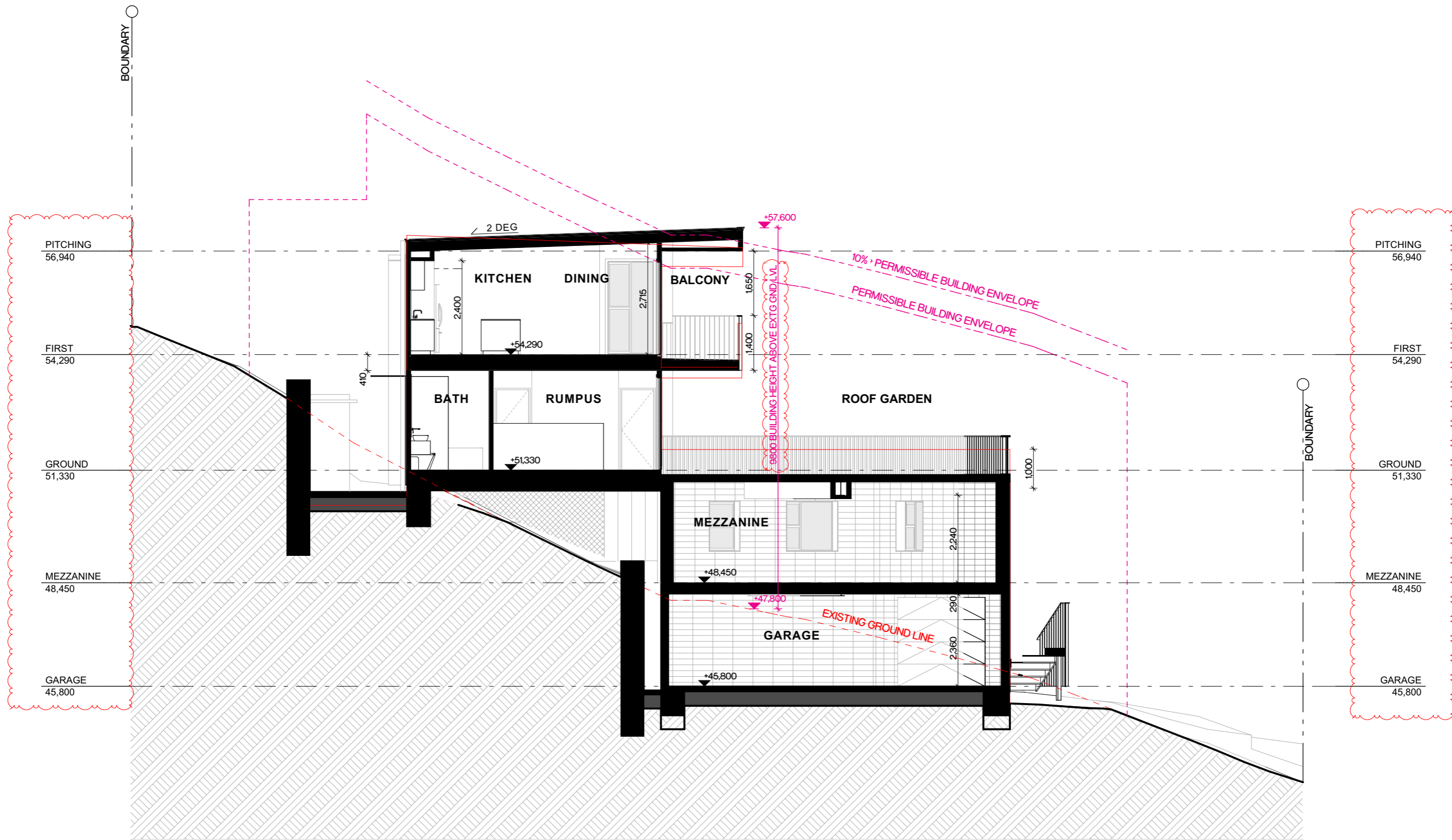
- BAL1 BALUSTRADE - TYPE 1**
 • Aluminium Balustrade to
 Manufacturers Spec
- BCAP BARGE CAPPING**
- DP DOWNPIPE**
- EG EAVES GUTTER**
- RW RETAINING WALL**

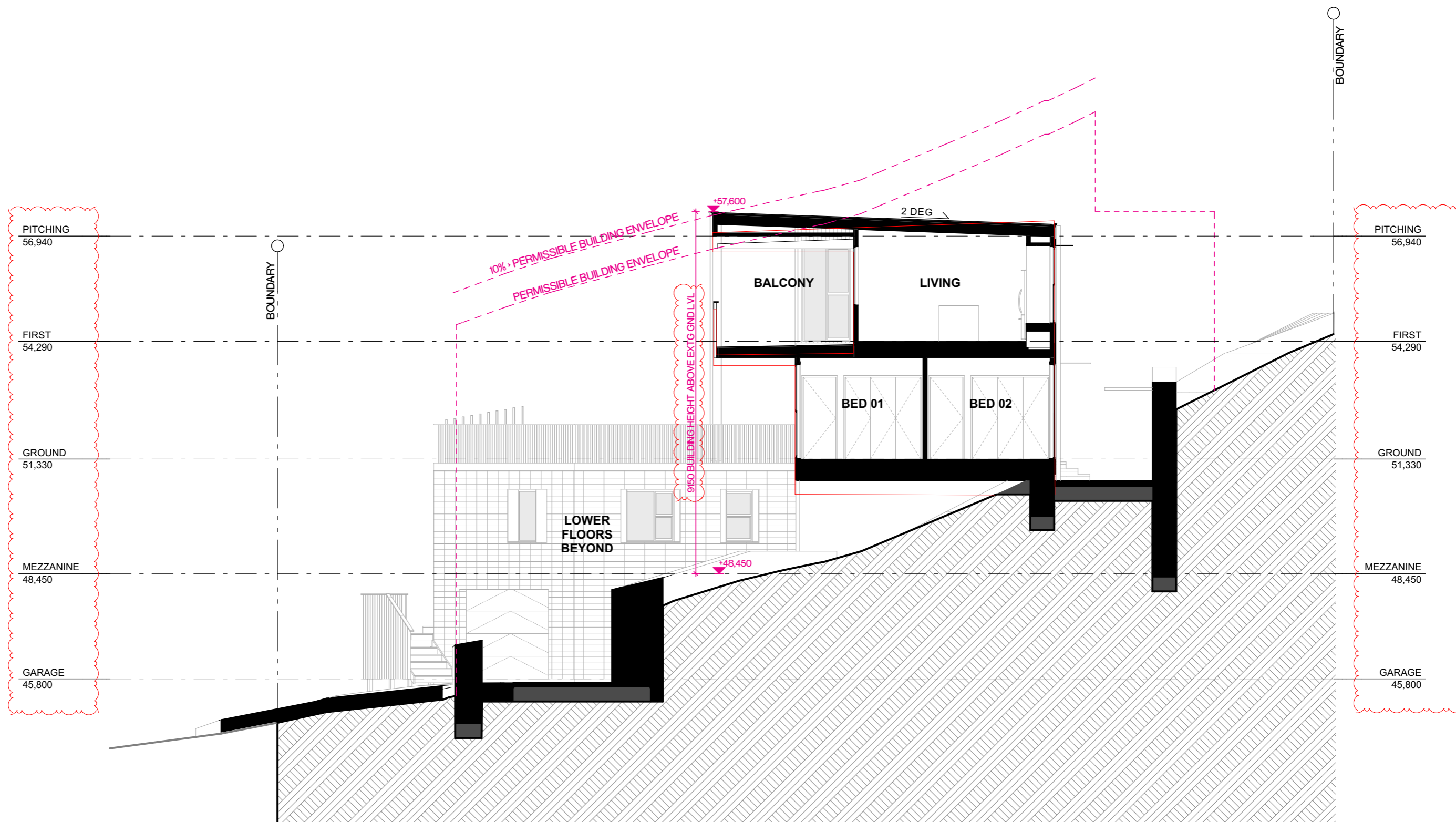
- CONTIGUOUS PILE
 RETAINING WALL TO
 ENGINEERS DETAIL**
- SH SUNHOOD**
- SKL SKYLIGHT**
- SM STEEL MESH
 TO STRUCTURAL
 ENGINEERS DETAILS**

**MILLENNIAL
 HOUSE**

PROJECT NO. 318-009
 CLIENT P. & D. BOWDEN
 LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
 DRAWING West Elevation
 SCALE 1:100@A3

DA 203

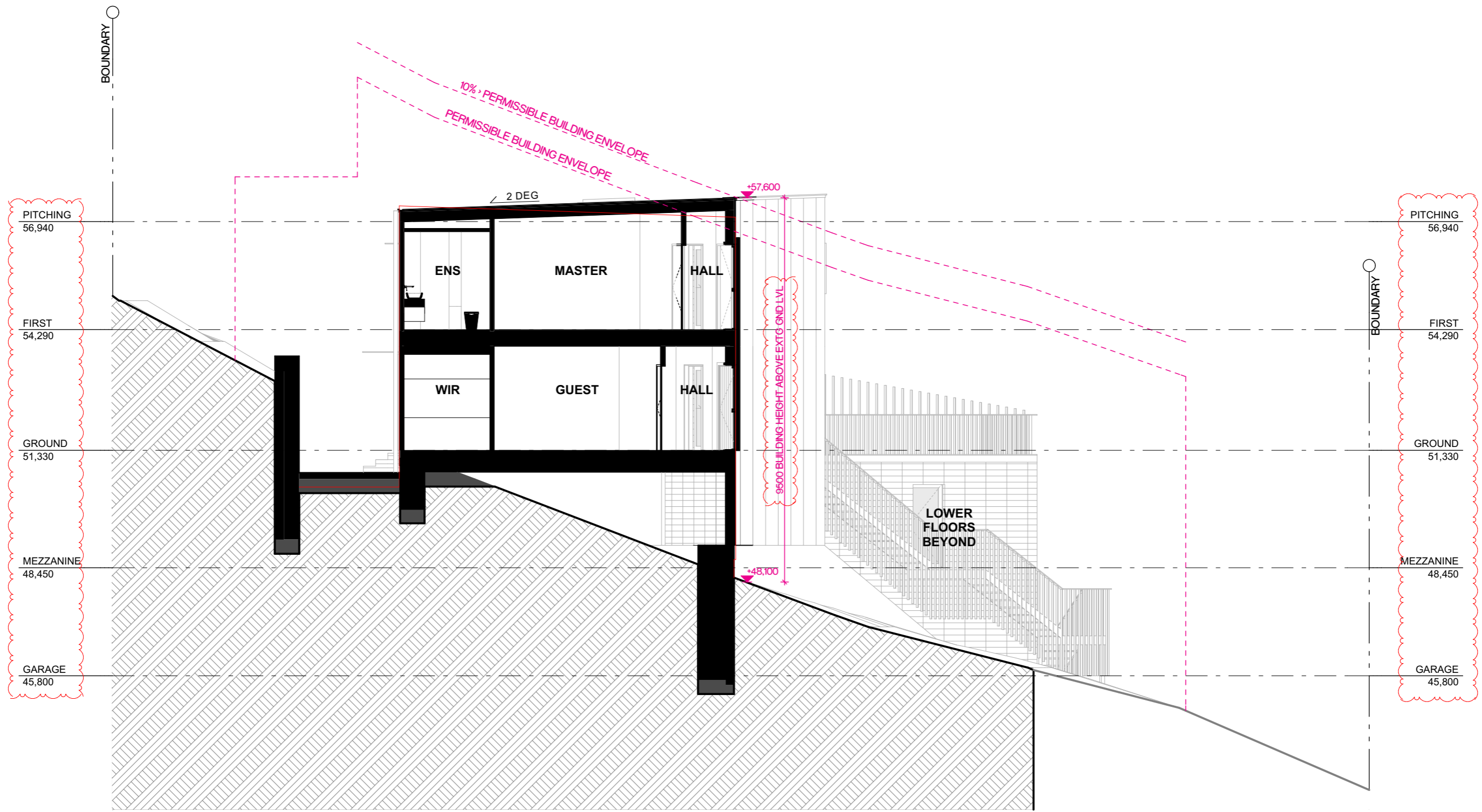




MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Section B-B
SCALE 1:100@A3

DA 301



MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Section C-C
SCALE 1:100@A3

DA 302



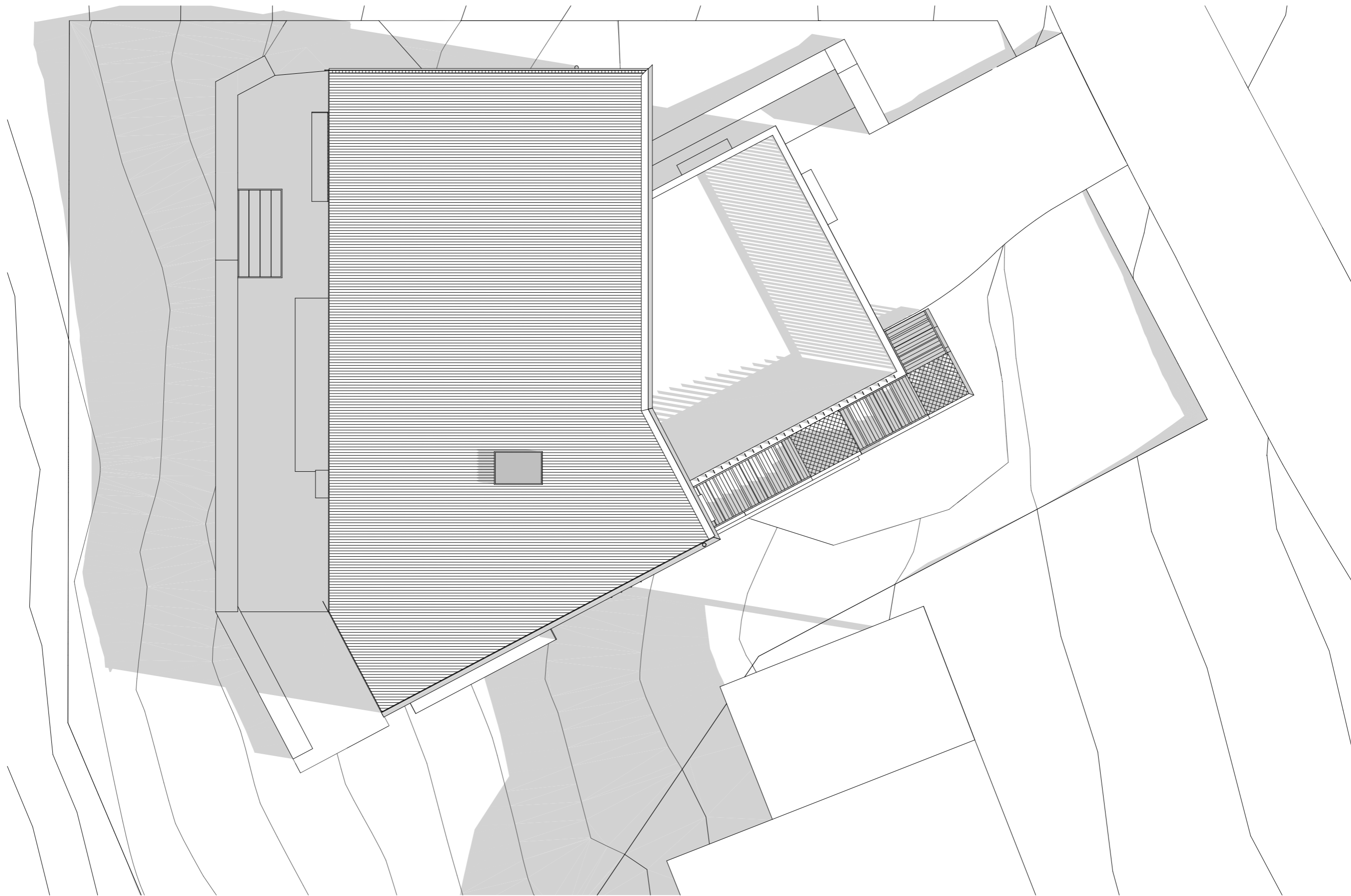
Issue	Description	Issued By	Date
11	Revised for DA	Harry	11/07/2019
12	Revised for DA Approval	Harry	2/10/2019
03	S96 Application	Katie	31/10/2019
04	S96 Application_Section RLs	Katie	15/01/2020

Legend

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Perspectives 01
SCALE @A3

DA 400



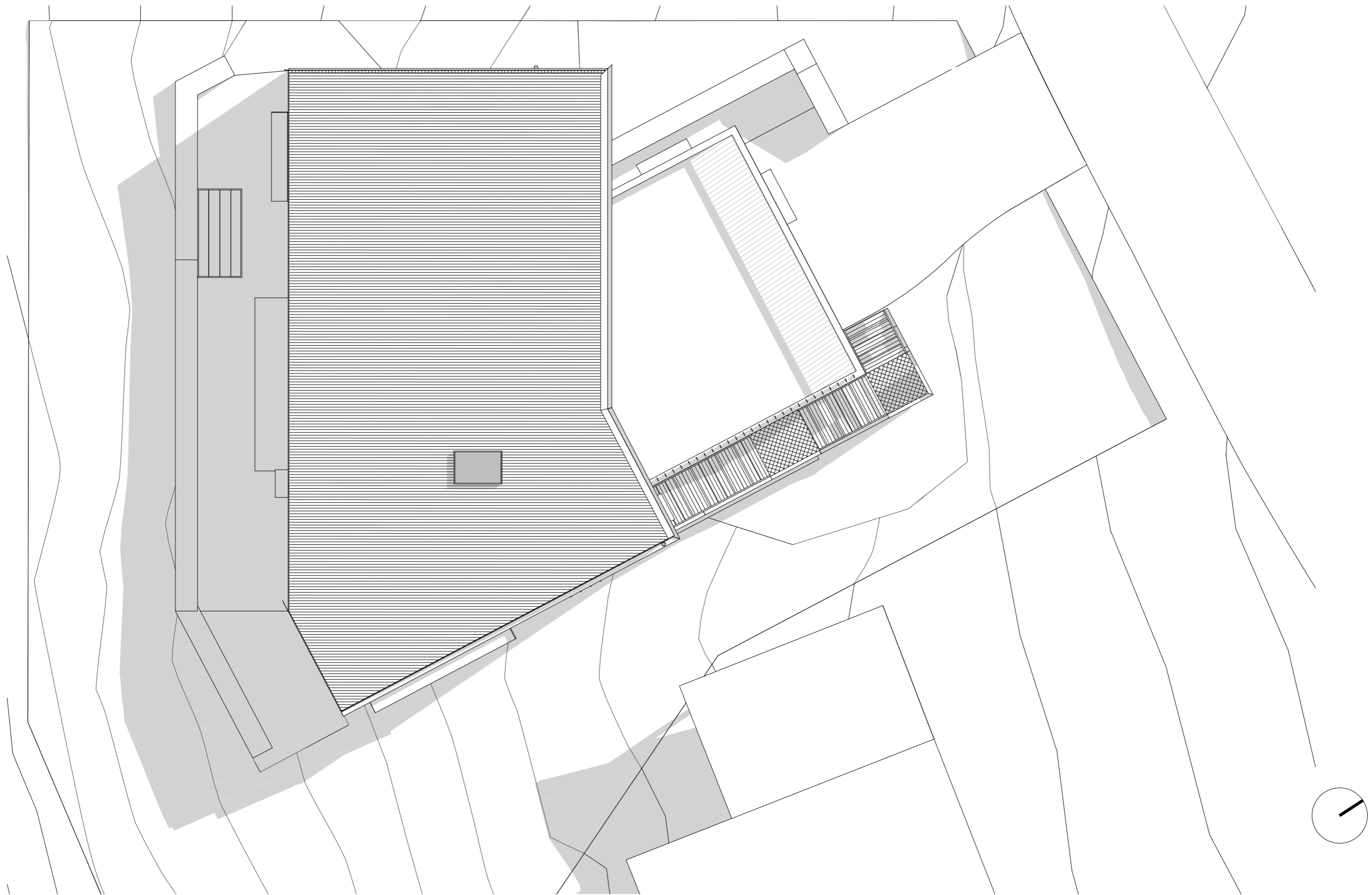
Issue	Description	Issued By	Date
11	Revised for DA	Harry	11/07/2019
12	Revised for DA Approval	Harry	2/10/2019
03	S96 Application	Katie	31/10/2019
04	S96 Application_Section RLs	Katie	15/01/2020

Legend

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Shadow Diagram - 21st June 9am
SCALE 1:100@A3

DA 500



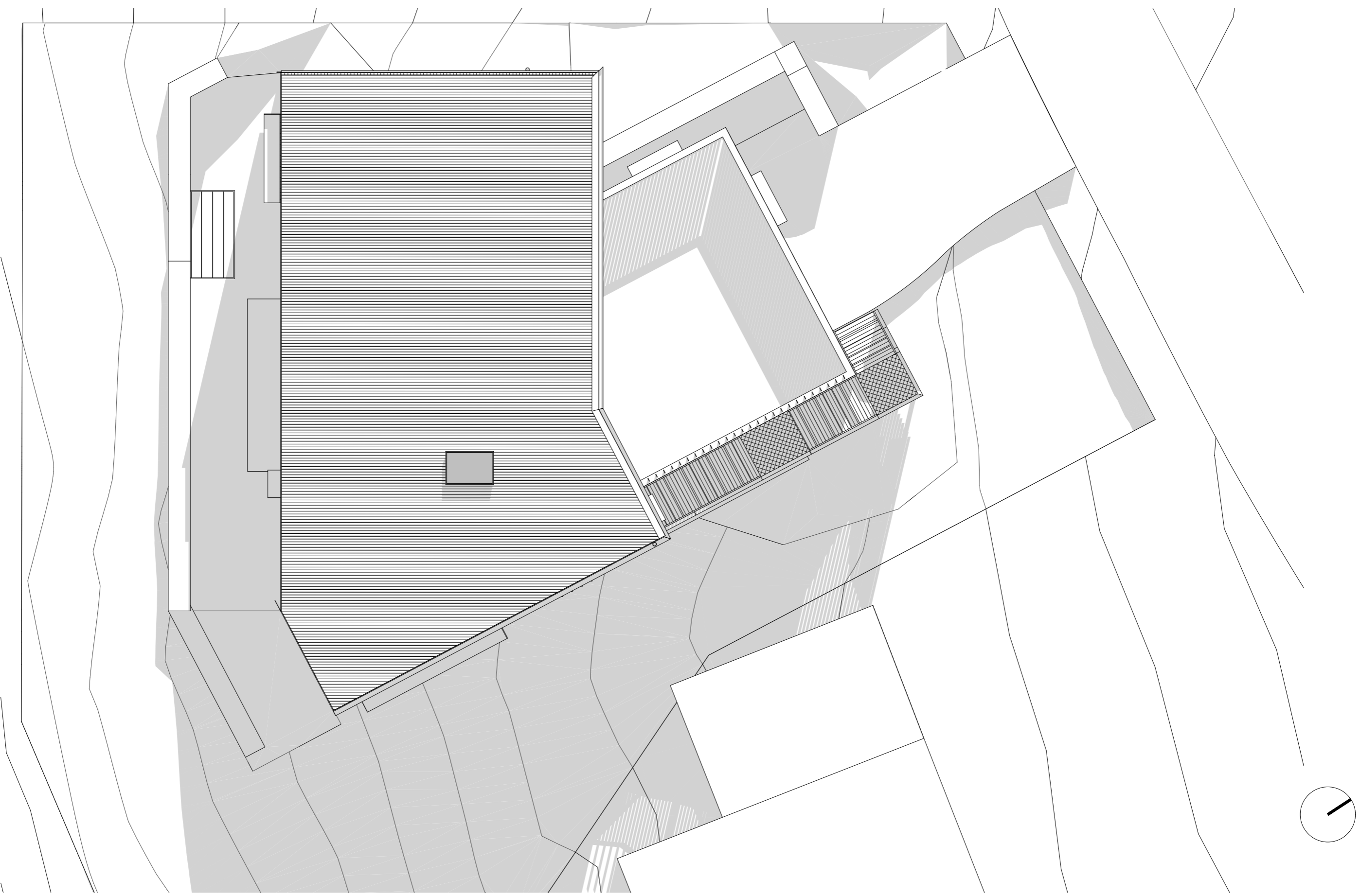
Issue	Description	Issued By	Date
11	Revised for DA	Harry	11/07/2019
12	Revised for DA Approval	Harry	2/10/2019
03	S96 Application	Katie	31/10/2019
04	S96 Application_Section RLs	Katie	15/01/2020

Legend

MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Shadow Diagram - 21st June 12pm
SCALE 1:100@A3

DA 501



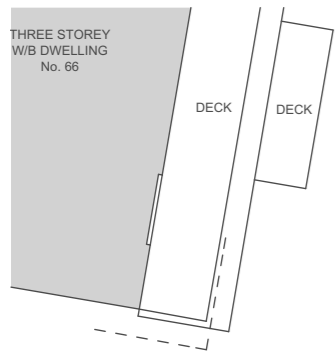
Issue	Description	Issued By	Date
11	Revised for DA	Harry	11/07/2019
12	Revised for DA Approval	Harry	2/10/2019
03	S96 Application	Katie	31/10/2019
04	S96 Application_Section RLs	Katie	15/01/2020

Legend

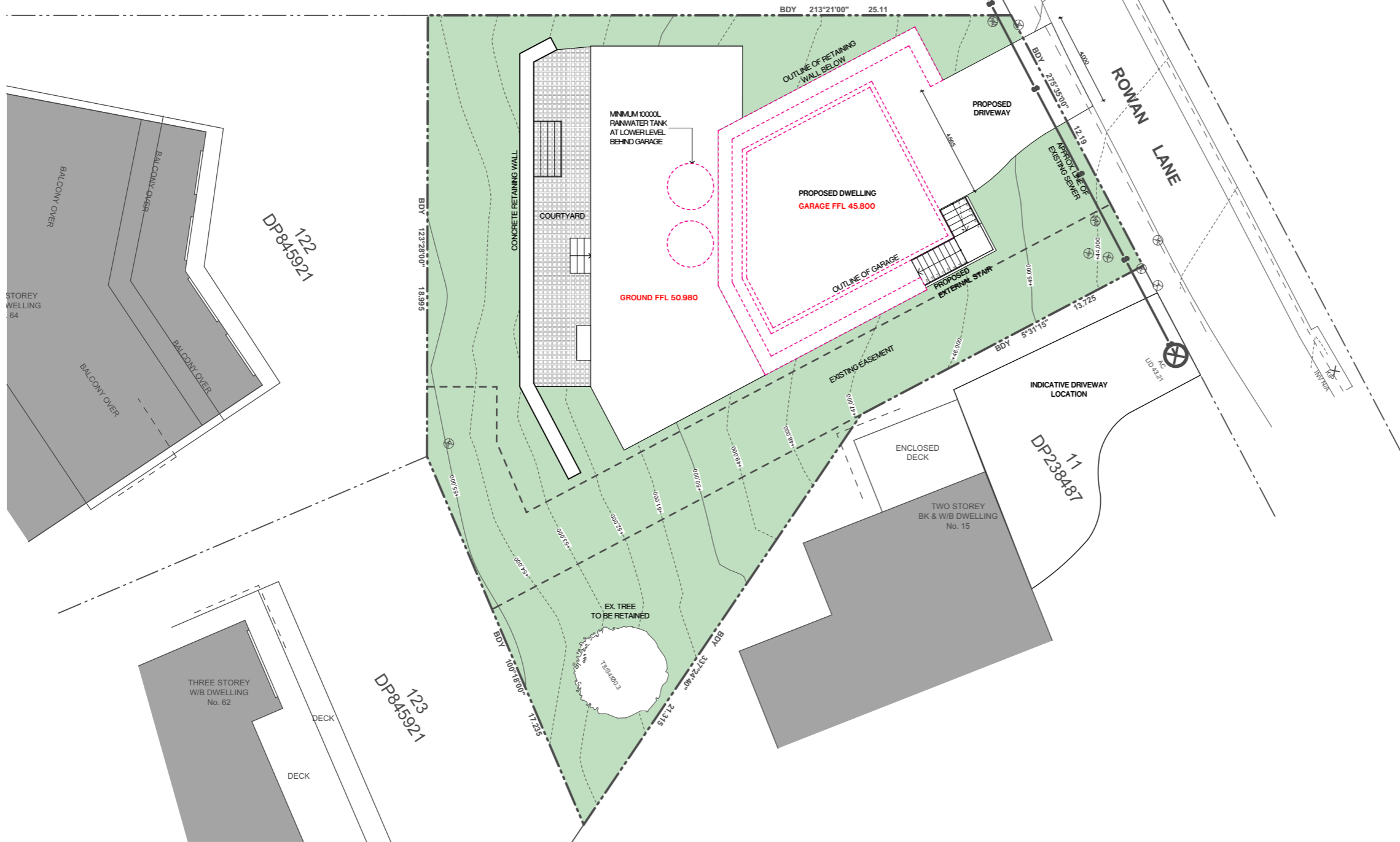
MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Shadow Diagram - 21st June 3pm
SCALE 1:100@A3

DA 502



DP238487
14



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W www.sdarch.com.au

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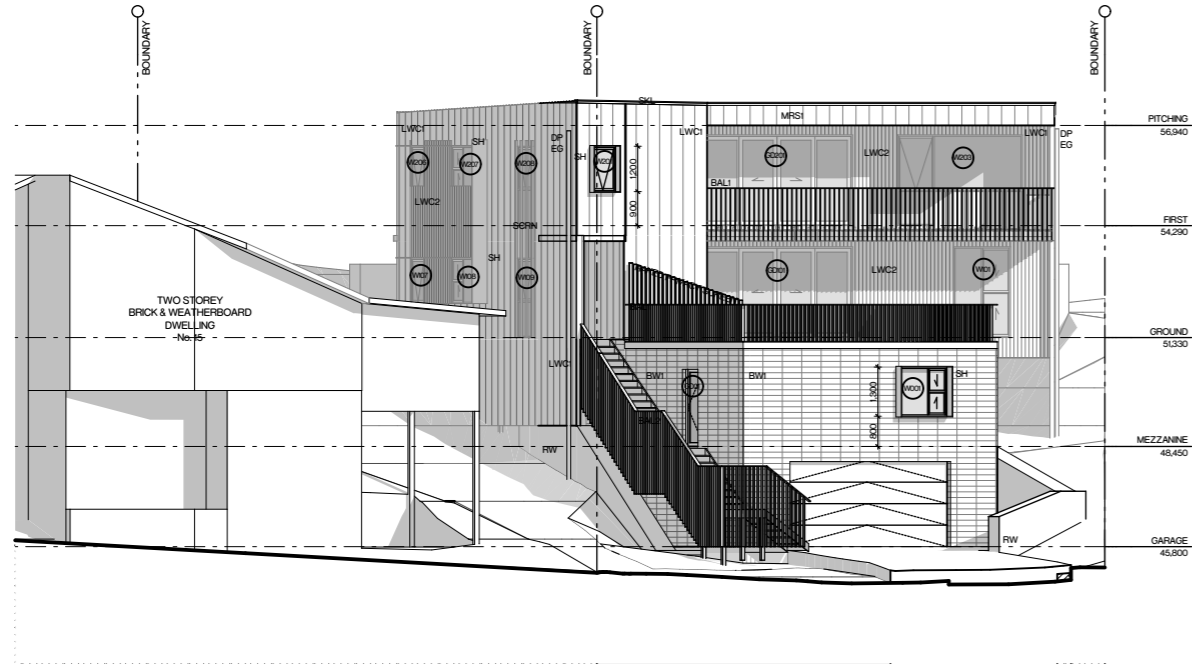
Issue	Description	Issued By	Date
11	S96 Application	Katie	31/10/2019
02	S96 Application_Section RLS	Katie	15/01/2020

Legend

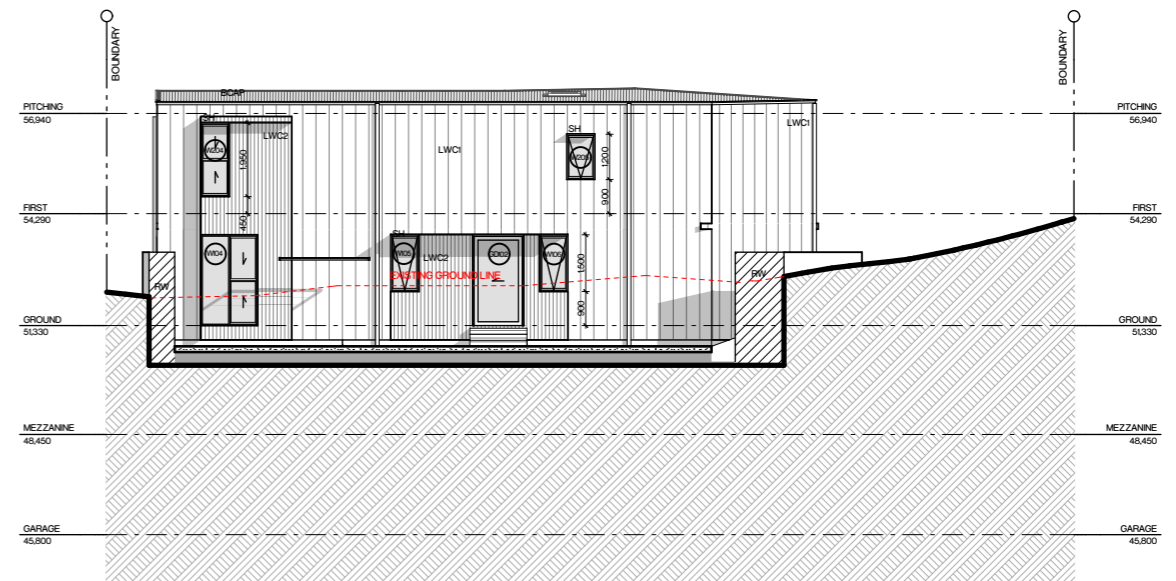
MILLENNIAL HOUSE

PROJECT NO. 318-009
CLIENT P. & D. BOWDEN
LOCATION 11 ROWAN LANE MEREWETHER NSW 2291
DRAWING Notification Plan - Site
SCALE 1:200@A3

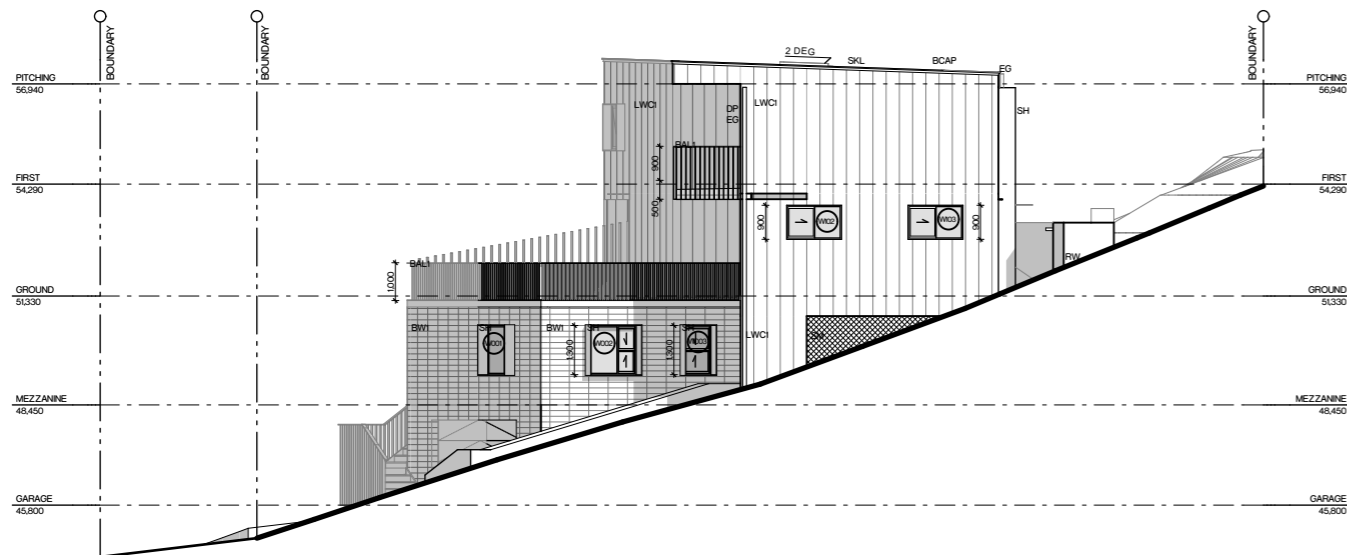
DA 600



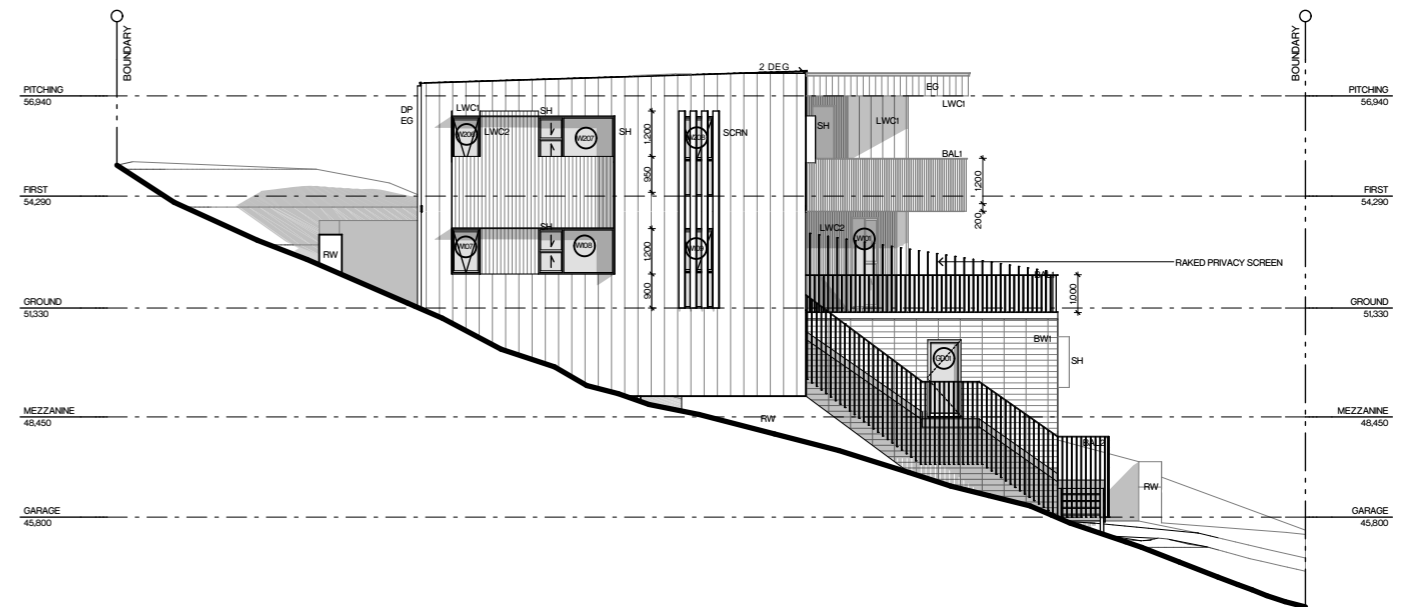
North Elevation
SCALE 1:100 @ A3



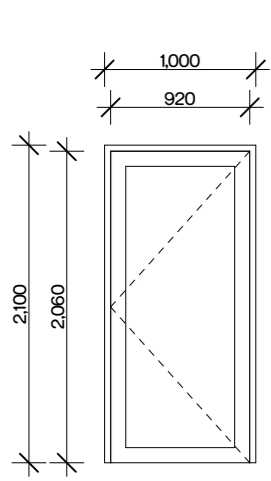
South Elevation
SCALE 1:100 @ A3



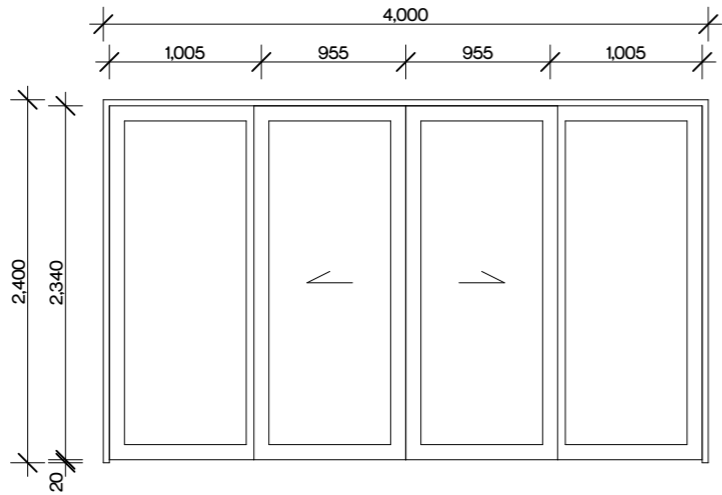
West Elevation
SCALE 1:100 @ A3



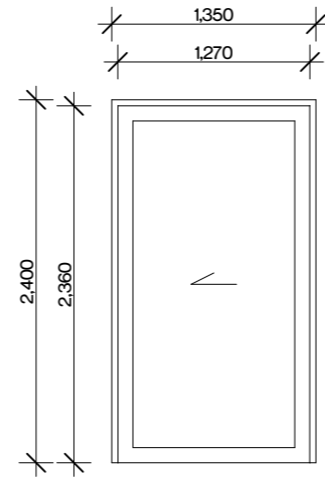
East Elevation
SCALE 1:100 @ A3



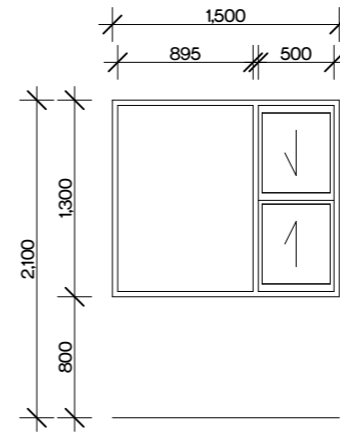
GD01



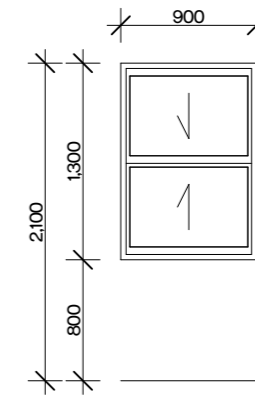
GD101, GD201



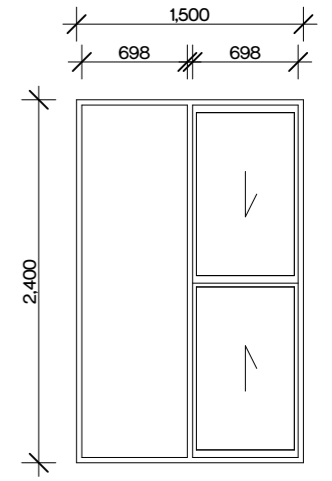
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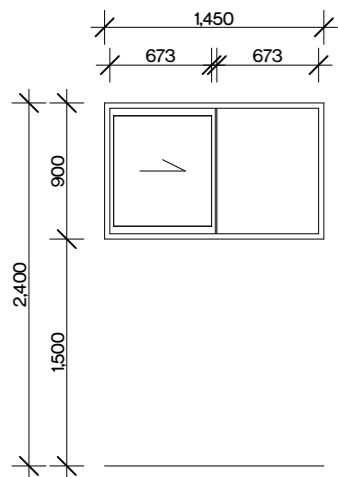
W001, W002



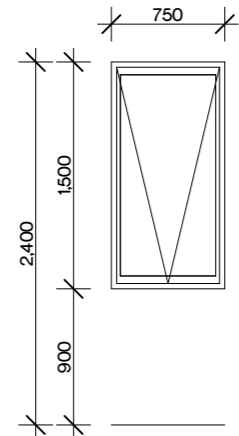
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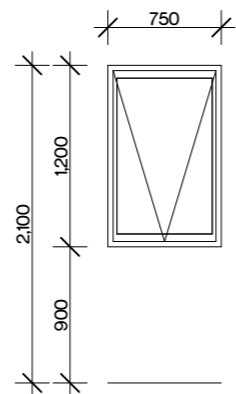
W101, W104



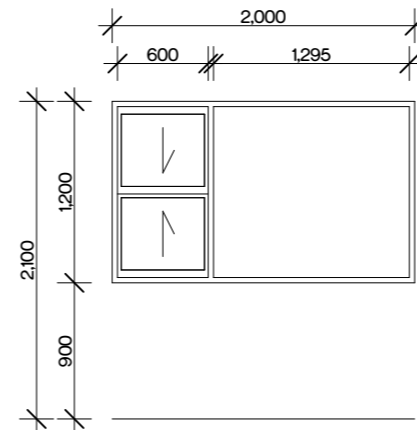
W102, W103



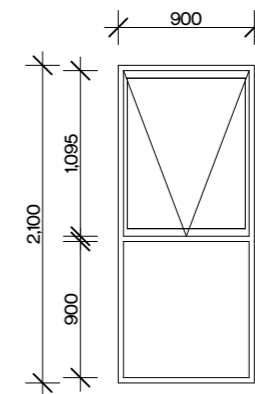
W105, W106



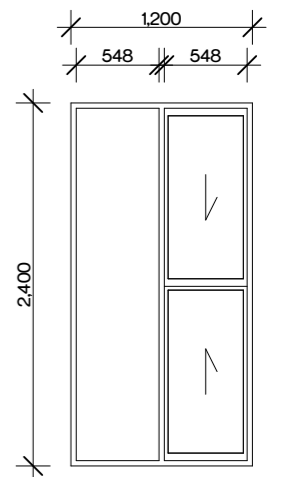
W107, W201, W205, W206



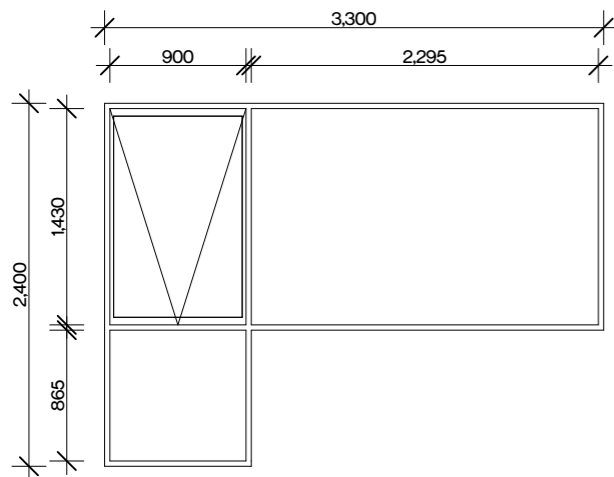
W108, W207



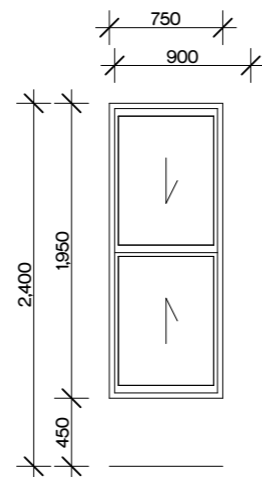
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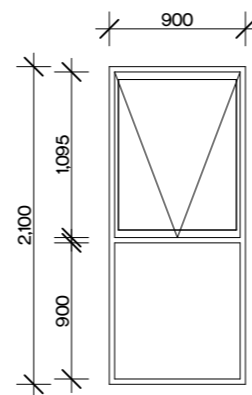
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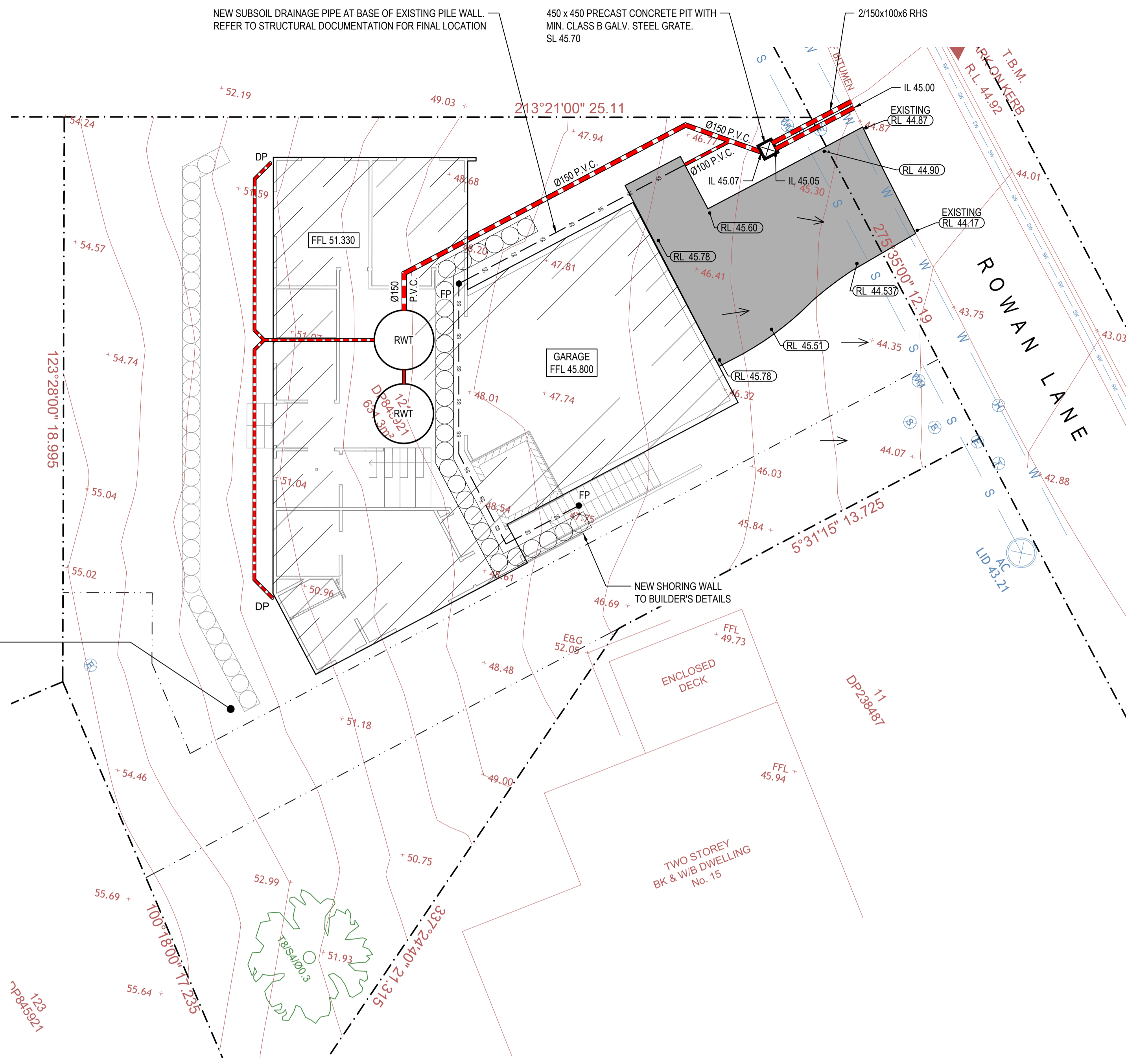
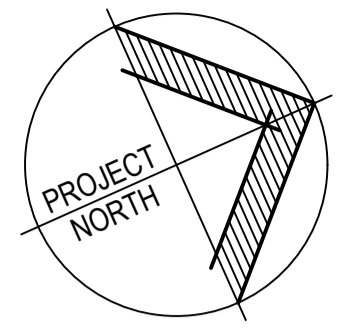
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W204

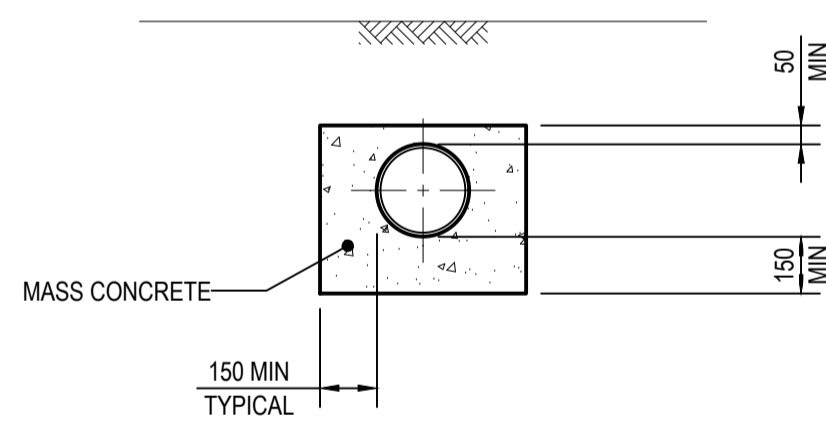


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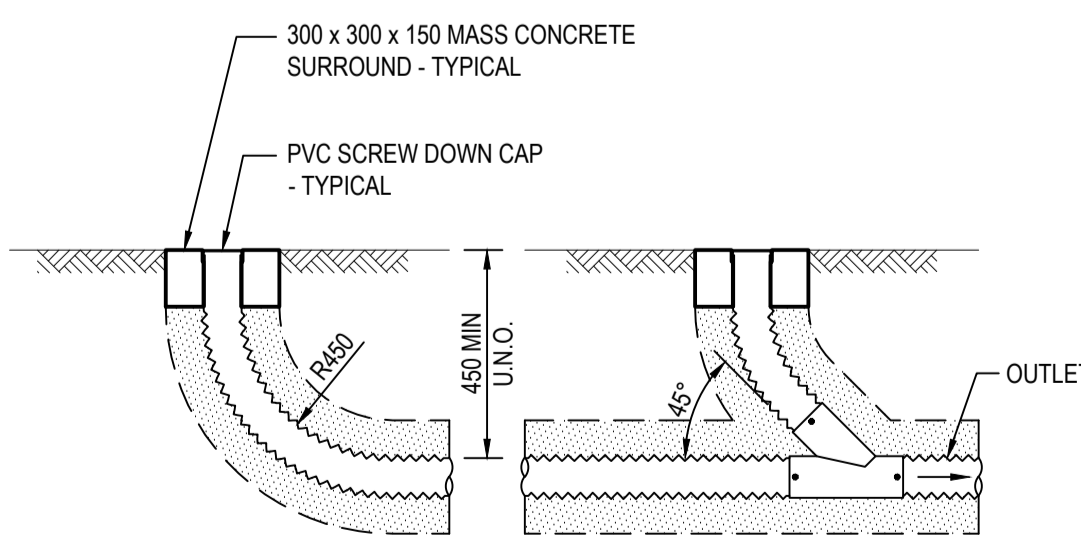


STORMWATER DRAINAGE PLAN
SCALE 1:100

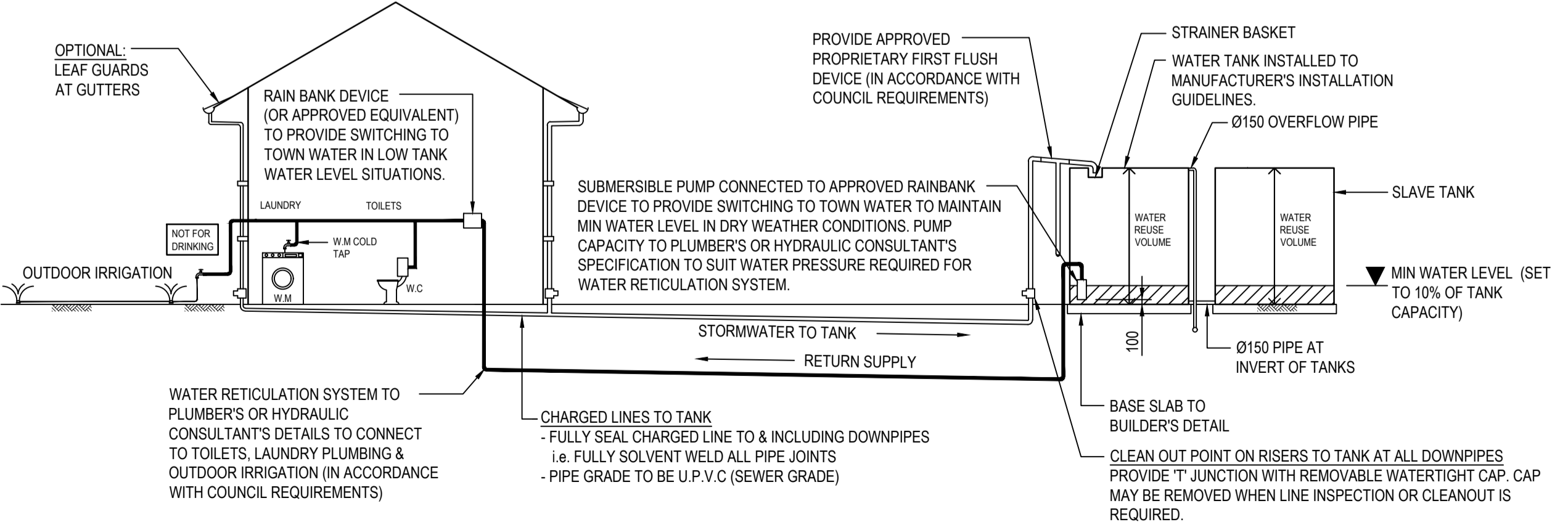
CONTRACTOR TO ENSURE THAT ANY RUNOFF CONCENTRATED BEHIND EXISTING PILE WALL IS DISCHARGED AS SHEETFLOW PRIOR TO REACHING THE LOT BOUNDARY. IF SHEETFLOW IS UNACHIEVABLE, PROVIDE YARD PIT TO CAPTURE RUNOFF AND CONVEY TO THE BOUNDARY PIT IN THE NORTH WESTERN CORNER.



CONCRETE ENCASED PIPE
SCALE 1:20
(AS REQUIRED, REFER DRAINAGE NOTES)



FLUSHING POINT DETAIL - FP1
SCALE 1:20



WATER RE-USE/ ON-SITE DETENTION SCHEMATIC (TANK ABOVE GROUND) - SHARED SYSTEM
N.T.S.

DOWNPIPE CONNECTIONS TO THE WALL & GUTTER SHALL BE DETAILED IN SUCH A WAY AS TO ALLOW DIFFERENTIAL VERTICAL MOVEMENT (BRACKETS CONNECTING TO WALL TO ALLOW VERTICAL SLIP & JOIN AT TOP OF DOWN PIPE TO ALLOW SLIP).

DRAINAGE:

- SELECTION AND INSTALLATION OF PITS, PIPES, TANKS AND TRENCHES SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF AS/NZS3500, LOCAL AND STATUTORY REQUIREMENTS (U.N.O.)
- THE CONTRACTOR SHALL IDENTIFY AND LOCATE ALL SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SEDIMENT AND EROSION CONTROLS TO BE PROVIDED IN ACCORDANCE WITH ALL LOCAL AND STATUTORY REGULATIONS.
- WHERE REQUIRED, STORMWATER EASEMENTS SHALL BE OBTAINED BY THE OWNER. ALL NEGOTIATIONS/COMPENSATION PAYMENTS AND THE INTEGRATION OF ANY EASEMENTS INTO THE TITLE DOCUMENTS SHALL BE BY THE OWNER UNLESS AGREED OTHERWISE.
- REFER TO ARCHITECT FOR BUILDING AND DRIVEWAY SETOUT.
- LOCATION AND NUMBER OF DOWNPIPES SHOWN INDICATIVELY ONLY. REFER TO ARCHITECT FOR FINAL LOCATIONS.
- PIPE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED ON-SITE AND SHALL CONFORM WITH THE INTENT OF THE DESIGN.
- THE ENGINEER SHALL BE ADVISED IF ANY EXISTING STRUCTURES ARE WITHIN THE ZONE OF INFLUENCE OF ANY EXCAVATION. ANY REQUIRED UNDER-PINNING OR PIERING SHALL BE PROVIDED.
- WHERE EXCAVATING ADJACENT TO BOUNDARIES, ADEQUATE SHORING SHALL BE PROVIDED.
- THE CONTRACTOR SHALL ENSURE THAT ALL NEW STRUCTURES ARE FOUNDED BELOW THE ZONE OF INFLUENCE OF ANY EXCAVATIONS WHETHER THEY BE FOR PIPELINES, TANKS OR OTHER DRAINAGE FACILITIES.
- UNLESS NOTED OTHERWISE, THE MAXIMUM DEVIATION FROM NOMINATED LEVELS SHALL BE ±10mm, EXCEPT IN INSTANCES WHERE SUCH A DEVIATION COULD HAVE ADVERSE EFFECTS, IN WHICH CASE THE ENGINEER SHALL BE CONSULTED.
- UNTIL COMPLETION OF ALL WORKS, THE CONTRACTOR SHALL FIRSTLY FILTER ALL STORMWATER IN ACCORDANCE WITH APPROVED DETAILS TO ENSURE THE REMOVAL OF ALL CONCRETE AND PLASTERING FINES, AND OTHER BUILDING SITE POLLUTANTS.
- THE CONTRACTOR SHALL SEEK DIRECTION BEFORE COMMENCING ANY EXCAVATION THAT MAY RESULT IN DAMAGE TO ANY EXISTING TREES.
- UNLESS NOTED OTHERWISE, WHERE A PIT INVERT IS BELOW THE INVERT OF THE LOWEST OUTLET PIPE, THE CONTRACTOR SHALL EITHER PROVIDE DRAINAGE HOLES IN THE BASE OF THE PIT OR ELSE FILL THE BASE OF THE PIT WITH MASS CONCRETE TO THE INVERT OF THE LOWEST OUTLET PIPE.
- ALL SURFACES SHALL BE GRADED SUCH THAT THEY ARE FREE DRAINING.
- YARD PITS SHALL BE PROVIDED AS REQUIRED. YARDS SHALL BE GRADED TO FALL TO PITS UNLESS INDICATED OTHERWISE (eg. BY DESIGN CONTOURS, SPOT LEVELS OR A NOTE).
- WHERE REQUIRED BY THE PRINCIPAL CERTIFIER, WORK-AS-EXECUTED DETAILS SHALL BE PREPARED BY A REGISTERED SURVEYOR/CHARTERED PROFESSIONAL ENGINEER VERIFYING THAT THE DRAINAGE SYSTEM HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS. ANY DEVIATIONS FROM THE APPROVED PLANS SHALL BE NOTED AND BROUGHT TO THE ATTENTION OF THE ENGINEER. ADEQUATE INSPECTIONS SHOULD BE CARRIED OUT DURING THE COURSE OF CONSTRUCTION.
- WHERE AN ENGINEER'S CERTIFICATE WILL BE REQUIRED, THE ENGINEER SHALL BE CALLED ON TO INSPECT THE WORKS PRIOR TO ANY CONCRETE POURS, PRIOR TO BACKFILLING AROUND ANY TANKS, AND AT THE COMPLETION OF WORKS. THE ENGINEER SHALL BE GIVEN A MINIMUM OF 24 HOURS NOTICE BEFORE AN INSPECTION IS REQUIRED.
- ANY PROPOSED ALTERATIONS TO THE DETAILS SHOWN ON THE DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
- LEAF SCREENS, SILT CONTROLS AND ANY OTHER POLLUTANT CONTROL DEVICES SHALL BE REGULARLY SERVICED TO ENSURE THAT THE DRAINAGE SYSTEM REMAINS UNBLOCKED AND OPERATES AS ORIGINALLY INTENDED.
- OVERLAND FLOW PATHS SHALL BE REGULARLY MAINTAINED AND KEPT FREE OF OBSTRUCTIONS TO THE FLOW OF WATER.
- SUBSOIL DRAINAGE LINES SHALL BE PROVIDED BEHIND RETAINING WALLS AND OTHER AREAS AS REQUIRED TO RELIEVE HYDROSTATIC PRESSURE AND DRAIN GROUND WATERS. CONNECT INTO THE DRAINAGE SYSTEM IN SUCH A WAY AS TO AVOID BACKFLOW OF STORMWATER INTO THE SUBSOIL DRAINAGE LINE. IF IN DOUBT REFER TO ENGINEER.
- NEW FENCES, RETAINING WALLS AND OTHER LANDSCAPING ITEMS SHALL BE DETAILED IN SUCH A WAY SO AS TO AVOID IMPOUNDING OR DIVERTING SURFACE WATERS ON TO ADJOINING PROPERTIES.
- UPON COMPLETION, PIPE/PIT EXCAVATIONS SHALL BE BACKFILLED WITH SUITABLE COMPACTED MATERIAL IN ACCORDANCE WITH NOTES BELOW.
- ALL PVC PIPES ARE TO BE:-
a. SEWER GRADE (U.N.O.)
b. INSTALLED AND BACKFILLED IN ACCORDANCE WITH AS2666.1
- ALL CONCRETE PIPES ARE TO BE:-
a. STRENGTH LOAD CLASS 4 (U.N.O.)
b. INSTALLED AND BACKFILLED IN ACCORDANCE WITH AS3725 WITH CLASS H2 BEDDING SUPPORT
- ALL PIPES ARE TO BE INSTALLED WITH 450mm MINIMUM COVER IN TRAFFICABLE AREAS AND 300mm MINIMUM COVER ELSEWHERE (U.N.O.). WHERE ADEQUATE COVER CANNOT BE PROVIDED PIPES SHALL BE ENCASED IN CONCRETE, REFER TO CONCRETE ENCASMENT DETAILS.
- THE CONTRACTOR SHALL ADEQUATELY SHIELD PIPES AGAINST CONSTRUCTION AND PERMANENT LOADS.



Sydney | Perth | Newcastle | Central Coast
Suite 2 Ground Floor 47 Darby Street Cooks Hill NSW 2300
T: +61 2 49419900 E: mail@lindsaydyan.com.au

PROJECT
PROPOSED RESIDENCE
11 ROWAN LANE
MEREWETHER, NSW
CLIENT
WILDARA AUSTRALIA PTY LTD

LEGEND

	EXISTING SPOTLEVEL
	DESIGN SPOTLEVEL
	NEW STORMWATER DRAINAGE PIT, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
	NEW PVC STORMWATER DRAINAGE PIPE LAID AT 1.0% MIN FALL (U.N.O.) IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. REFER PLAN FOR SIZES
	NEW CHARGED LINE. FULLY SOLVENT WELD ALL PIPE JOINTS. PIPE GRADE TO BE U.P.V.C. (SEWER GRADE). REFER TO ARCHITECT FOR DIAMETER
	NEW RAINWATER TANK, MIN. 4000L IN ACCORDANCE WITH CN DCP 2012
	DP DENOTES FLUSH POINT, REFER DETAIL ON THIS DRAWING
	DENOTES DIRECTION OF SURFACE FALL
	EXISTING STORMWATER SERVICE
	EXISTING WATER SERVICE
	EXISTING SEWER SERVICE
	EASEMENT LINE
	BOUNDARY LINE
	EXISTING TREE

NOTES

THE POSITION OF ALL EXISTING SERVICES SHOWN SHOULD BE REGARDED AS APPROXIMATE ONLY AND NOT NECESSARILY COMPREHENSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT SERVICE LOCATIONS AND INFORM ALL AUTHORITIES PRIOR TO ANY EXCAVATION.

ALL HANDRAILS, IF REQUIRED, ARE TO ARCHITECT'S LOCATION & DETAIL.

BENCHMARKS TO BE PROVIDED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONTRACTOR TO VERIFY SETOUT BEFORE COMMENCING EARTHWORKS. REFER ANY DISCREPANCIES TO ENGINEER.

EXISTING CONTOURS ARE SHOWN AT 1.0m INTERVALS.

TREATMENT OF ALL EXPOSED / DISTURBED AREAS TO ARCHITECT'S DETAILS.

DETAIL OF LANDSCAPING IS TO TAKE INTO CONSIDERATION OVERLAND FLOW PATHS.

ALL FENCES ARE TO BE DETAILED WITH 100mm GAP UNDER OR TO BE NON SOLID FENCES TO ALLOW WATER FLOW.

LOCATION OF DOWNPIPES ARE SHOWN INDICATIVELY, REFER TO HYDRAULIC ENGINEER AND ARCHITECT FOR DETAILS.

1	29.01.20	REVISED DRIVEWAY LEVELS	MW	MW
0	10.12.19	FOR CONSTRUCTION	RR	BR
REV	DATE	DRAWING STATUS	DRN	APP
TITLE				

STORMWATER MANAGEMENT PLAN

DRAWING STATUS			SHEET SIZE	
FOR CONSTRUCTION			A1	
DRAWN	DESIGNED	APPROVED	SCALE	
R.Redd	B.Rodgers	C.Bear	1:100	
PROJECT No.	DRAWING No.	REVISION		
14909	CI-002	1		

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

17 MARCH 2020

DAC 17/03/2020

DA2018/01460.01 - 11 ROWAN LANE MEREWETHER

Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER

Application No: DA2018/01460.01

Land: Lot 121 DP 845921

Property Address: 11 Rowan Lane Merewether NSW 2291

Proposed Development: Four storey dwelling and associated site works
Modification - Changes to floor level and roof pitch

Modified application No: DA2018/01460.01

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site Analysis & Locality Plan	SDA Architecture, Project No: 318-009, DWG DA001, Issue 12.03.	SDA Architecture	15.01.2020
Site Works and Sediment Control Plan	SDA Architecture, Project No: 318-009, DWG DA002, Issue 12.03.	SDA Architecture	15.01.2020
Stormwater Plan and Driveway Section	SDA Architecture, Project No: 318-009, DWG DA003, Issue 12.04.	SDA Architecture	31.01.2020
Garage Floor Plan	SDA Architecture, Project No: 318-009, DWG DA100, Issue 12.04.	SDA Architecture	15.01.2020
Mezzanine Floor Plan	SDA Architecture, Project No: 318-009, DWG DA101, Issue 12.04.	SDA Architecture	15.01.2020
Ground Floor Plan	SDA Architecture, Project No: 318-009, DWG DA102, Issue 12.04.	SDA Architecture	15.01.2020
First Floor Plan	SDA Architecture, Project No: 318-009, DWG DA103, Issue 12.04.	SDA Architecture	15.01.2020

Roof Plan	SDA Architecture, Project No: 318-009, DWG DA110, Issue 12.04.	SDA Architecture	15.01.2020
Elevations	SDA Architecture, Project No: 318-009, DWG's DA200, DA201, DA202 & DA203, Issue 12.04.	SDA Architecture	15.01.2020
Sections	SDA Architecture, Project No: 318-009, DWG's DA300 Issue 12.04, DA301 Issue 12.03 & DA302, Issue 12.03.	SDA Architecture	15.01.2020
BASIX Certificate	Certificate Number: 970920S_02	Concept Designs Australia	13.12.2018
Clause 4.6 Variation Report	De Witt Consulting, Ref No: 8713	De Witt Consulting	Submitted 11.02.2019
Geotechnical Investigation	RCA Australia, Ref No: 7350-201/0.	J Everitt (reviewed by R Carr)	16.07.2009
Desktop Mine Stability Assessment	RCA Australia, Ref No: 13797-201/2.	M Allman (reviewed by J Everitt)	15.11.2018
Subsidence Advisory Engineering Impact Statement	Lindsay Dynan, LD Project No.00014909.	Guy Douglas (reviewed and approved by Scott Watson)	07.02.2019
Subsidence Advisory NSW Notice of Determination	Subsidence Advisory NSW: Notice of Determination Ref: TBA18-02410.	Melanie Fityus (Senior Risk Engineer)	30.11.2018
Vertical Clearance check certification	Lindsay Dynan, Project No: 00014909.	Mathew Watson (reviewed by Chris Bear).	29.01.2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. All stormwater runoff from the proposed development being managed in accordance with the requirements of Element 7.06 'Stormwater' of Newcastle Development Control Plan 2012. The site discharge pipe being connected to the existing Council stormwater pipe in Rowan Lane. Full details are to be included in documentation for a Construction Certificate application.
3. Working drawings and specifications of the proposed building and a proposal to remove the risk of pothole mine subsidence in the Victoria Tunnel Seam as per the requirements of the conditional approval issued by Subsidence Advisory NSW on 30 November 2018 are to be submitted to the Board for approval prior to an application for a Construction Certificate and any requirements of the Board are to be included in the documentation

for a Construction Certificate application.

4. A residential vehicular crossing is to be constructed across the road reserve, in accordance with the following criteria:
 - a) Constructed to abut the existing road pavement.
 - b) The driveway crossing, within the road reserve, shall be a maximum of 3 metres wide.
 - c) Letterboxes, landscaping and any other obstructions to visibility should be kept clear of or limited in height to 1.2 metre, in the 2 metre by 2.5 metre splay within the property boundary each side of the driveway entrance
 - d) The proposed driveway shall be a minimum of 3 metres clear of the trunk of any tree within the public reserve
 - e) The proposed driveway shall be a minimum of 750mm clear of the centre of any pole or obstruction within the public reserve and 1 metre clear of any drainage pit.

Works in the road reserve are not approved until consent under Section 138 of the *Roads Act 1993 (NSW)* has been granted by Council. An application under Section 138 must be lodged and consent obtained, or other satisfactory arrangements confirmed in writing from Council, before the issue of a Construction Certificate.

5. The detailed design of the proposed development shall consider the geotechnical conditions of the site and have regard to the recommendations of the submitted geotechnical report to achieve a "Low Risk" level in accordance with the Australian Geomechanics Society publication *Practice Note Guidelines for Landslide Risk Management, 2007*. Full details are to be included in documentation for a Construction Certificate application.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

6. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993 (NSW)*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993 (NSW)*.
7. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
 - a) showing the name, address and telephone number of the Principal Certifying Authority for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and

- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

8. All building work must be carried out in accordance with the provisions of the National Construction Code.
9. In the case of residential building work for which the *Home Building Act 1989* (NSW) requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
10. All excavations and backfilling are to be executed safely in accordance with appropriate professional standards and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
11. All building materials, plant and equipment is to be placed on the site of the development so as to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Council reserves including the road reserve is not permitted.
12. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifying Authority at the stages of construction indicated:
 - a) On completion of ground floor construction, confirming that the floor levels are in accordance with the approved levels.
 - b) On completion of each subsequent floor level, confirming that the floor levels are in accordance with the approved levels.
 - c) When the roof has been completed, confirming that the building does not exceed the approved levels.
13. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

14. Council's 'Prevent Pollution' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary so it is clearly visible to the public or at other locations on the site as otherwise directed by Council for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at Council's Customer Enquiry Counter, Wallsend Library or the Master Builders Association Newcastle.

15. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an

established vegetative cover.

16. Prior to the commencement of work, a 3m wide all weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand shall not be stockpiled on the all weather vehicle access.
17. Where the proposed development involves the destruction or disturbance of any existing survey monuments, those monuments affected are to be relocated at no cost to Council by a Surveyor registered under the *Surveying and Spatial Information Act 2002* (NSW).
18. The following waste management measures are to be implemented during construction:
 - a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
 - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
 - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site and
 - d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

19. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to Council within fourteen days of receipt.
20. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a satisfactory state that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to Council's satisfaction prior to the completion of demolition work or prior to the issue of any occupation certificate in respect of development involving building work.
21. All works within the road reserve required by this consent are to be completed prior to the issue of an Occupation Certificate.
22. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
23. The premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage.

The minimum numeral height shall be 75mm.

24. Prior to the issue of an Occupation Certificate, written confirmation is to be provided from a Geotechnical engineer that the as-constructed development has been completed in accordance with the recommendations of the submitted geotechnical report to achieve a "Low Risk" level in accordance with the Australian Geomechanics Society publication *Practice Note Guidelines for Landslide Risk Management, 2007*.

ADVISORY MATTERS

- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development' as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* (NSW) are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to the retaining wall taking place.
- An application is to be submitted to Council for the removal or pruning of any trees located more than three metres from the dwelling, wall measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of both Council and any other relevant authorities. Council and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required of any adjoining owner under the provisions of the *Dividing Fences Act 1991* (NSW).
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000* (NSW).
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* (NSW) to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice ('on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979* (NSW), which may be subject to a penalty infringement notice ('on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- Council has considered and accepted the variation to Clause 4.3 height of building development standard under the *Newcastle Local Environmental Plan 2012* (NLEP). The variation to building height is considered acceptable in the particular circumstances of this case.
- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- No objections were received and no negative neighbours impacts are anticipated.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

17 MARCH 2020

DAC 17/03/2020

DA2018/01460.01 - 11 ROWAN LANE MEREWETHER

Attachment C: Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

PROCESSING CHRONOLOGY

DA2018/01460.01 – 11 Rowan Lane Merewether

- 07 November 2019 - Amended development application lodged with CN
- 19 November 2019 - Public Exhibition (14 days)
- 15 January 2020 - CN request for additional information
- 31 January 2020 - Requested additional information received
- 17 March 2020 - Application scheduled to proceed to Development Applications Committee meeting

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

ITEM 9 DA2019/00998 - 19 HIGH STREET THE HILL

Dwelling house - alterations and additions

Attachment A - Submitted Plans

Attachment B - Draft Schedule of Conditions

Attachment C - Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

17 MARCH 2020

DAC 17/03/2020

DA2019/00998 - 19 HIGH STREET THE HILL

Attachment A: Submitted Plans

DISTRIBUTED UNDER SEPARATE COVER

MK House

19 High Steet, The Hill, NSW, 2300

LOT 1 / DP741412

Drawing List

DA 000	Cover Page
DA 001	Site Analysis
DA 002	Site Section
DA 003	Site Plan
DA 004	Demolition Plan Ground Floor
DA 005	Demolition Plan First Floor
DA 006	Demolition Plan Roof Level
DA 100	Ground Floor Plan
DA 101	First Floor Plan
DA 102	Roof Plan
DA 200	Elevations 01
DA 201	Elevations 02
DA 300	Section 01
DA 301	Section 02
DA 400	Perspectives 01
DA 401	Perspectives 02
DA 402	Privacy Plan
DA 403	View Sharing - 21 High Street
DA 404	View Sharing - 18-20 High Street NO LONGER REQUIRED
DA 500	Shadow Diagrams 01
DA 501	Shadow Diagrams 01-2
DA 502	Shadow Diagrams 02
DA 503	Shadow Diagrams 02-2
DA 504	Shadow Perspectives 01
DA 505	Shadow Perspectives 02
DA 600	Notification Plan



SITE LOCATION

BASIX COMMITMENTS

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps;

Plumbing Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the BASIX Certificate, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Windows and Glazed Doors

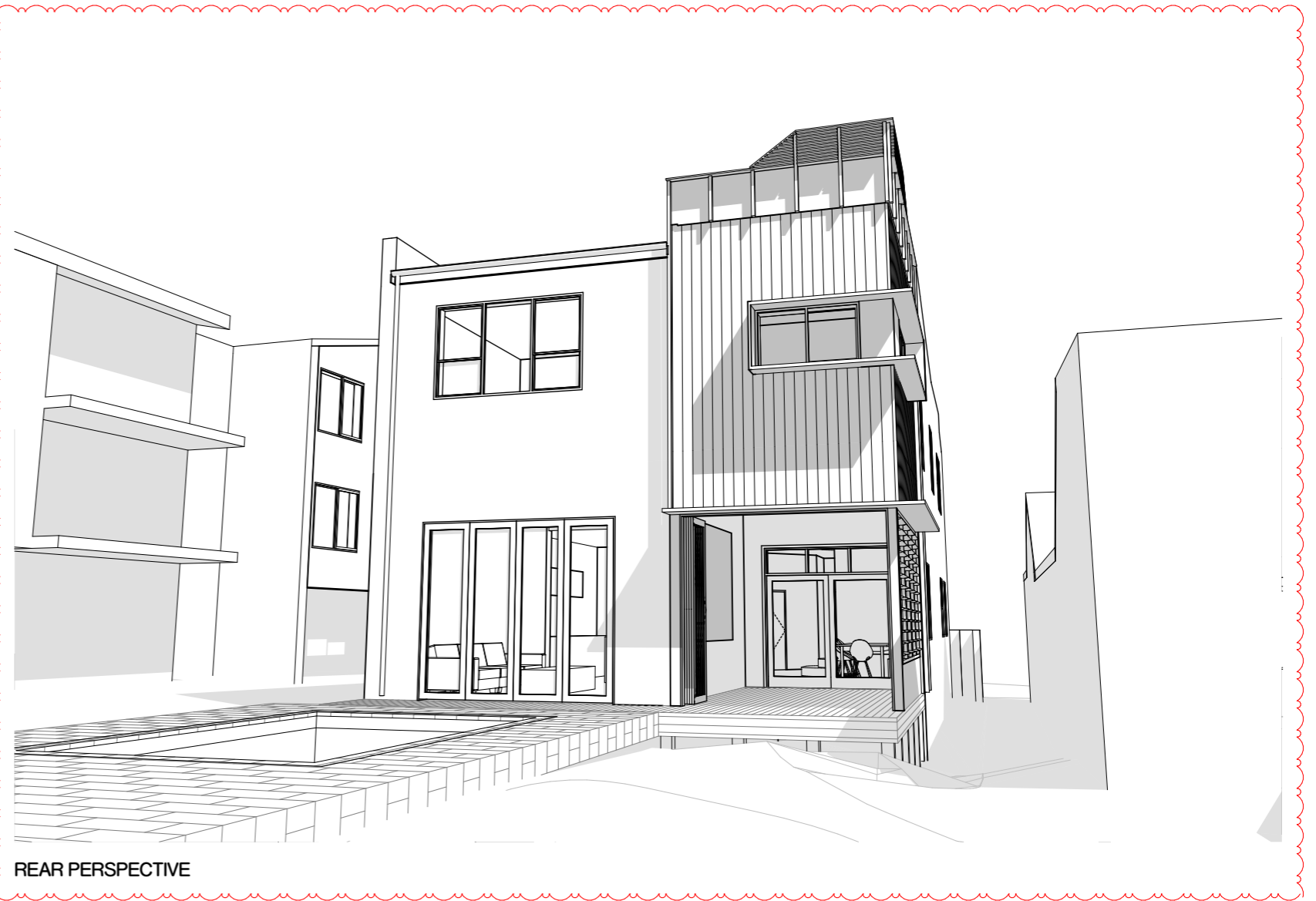
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the BASIX Certificate.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the BASIX Certificate. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the BASIX Certificate.



REAR PERSPECTIVE

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PIV07107 - MK House 02 Drawings 02 - Working Floor 07 042
MK House (DTL) for PFD219

Legend

ISSUE	DESCRIPTION	BY	DATE
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	17/10/2018
10	For DA RFI	Harry	20/02/2019
11	For DA RFI	Harry	17/05/2019
12	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 000

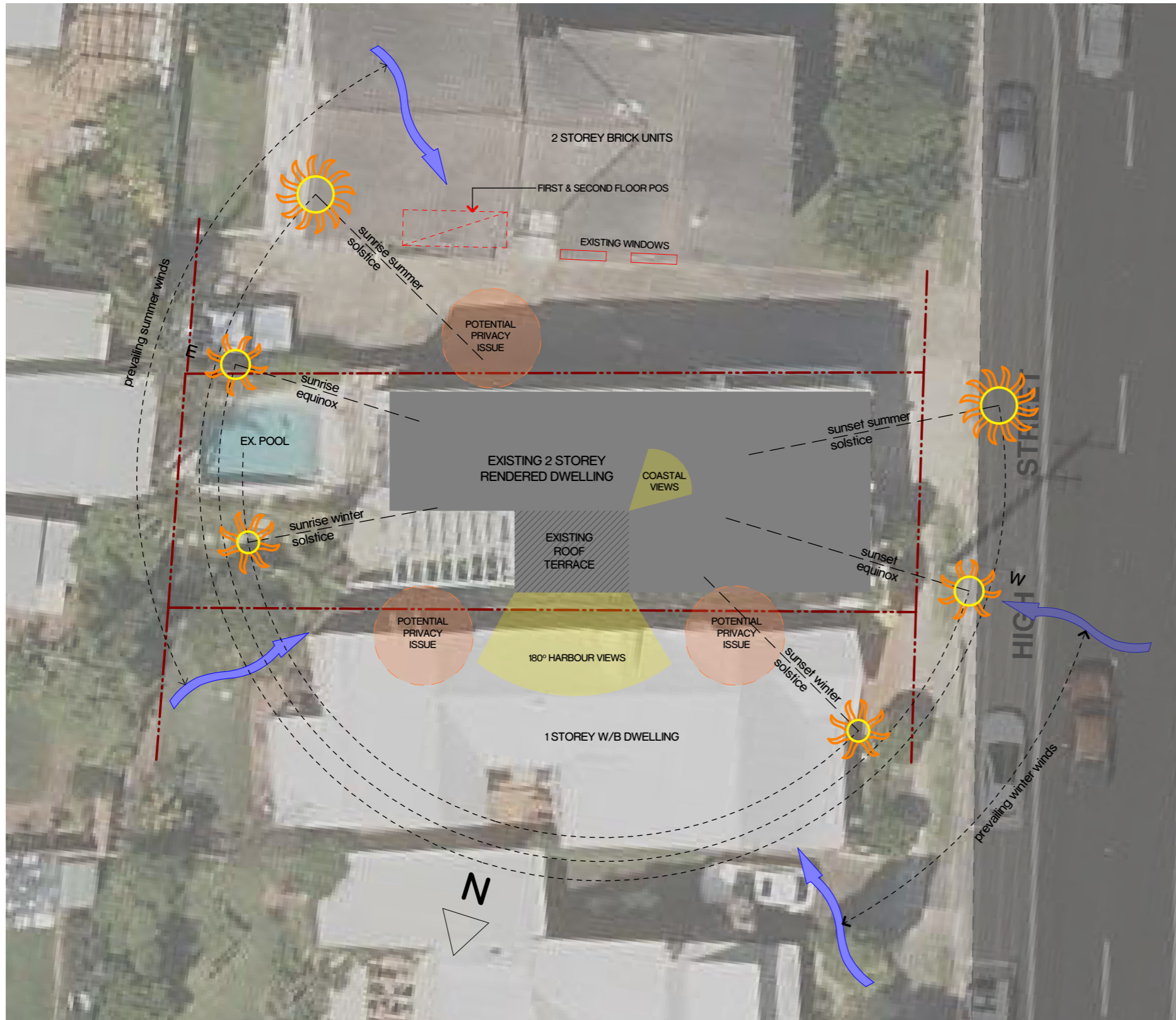
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Cover Page

Issue No.
12

Scale
1:1@A3

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STREET FRONTAGE



REAR PERSPECTIVE



HARBOUR VIEWS

Site Analysis
SCALE 1:200 @ A3

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PR1917107_042 MK House 02 Drawings 02_b Working Floor 07 042 MK House DTL for PFD.dwg

Legend



ISSUE	DESCRIPTION	BY	DATE
05	For Pre DA	Harry	6/08/2018
06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 001

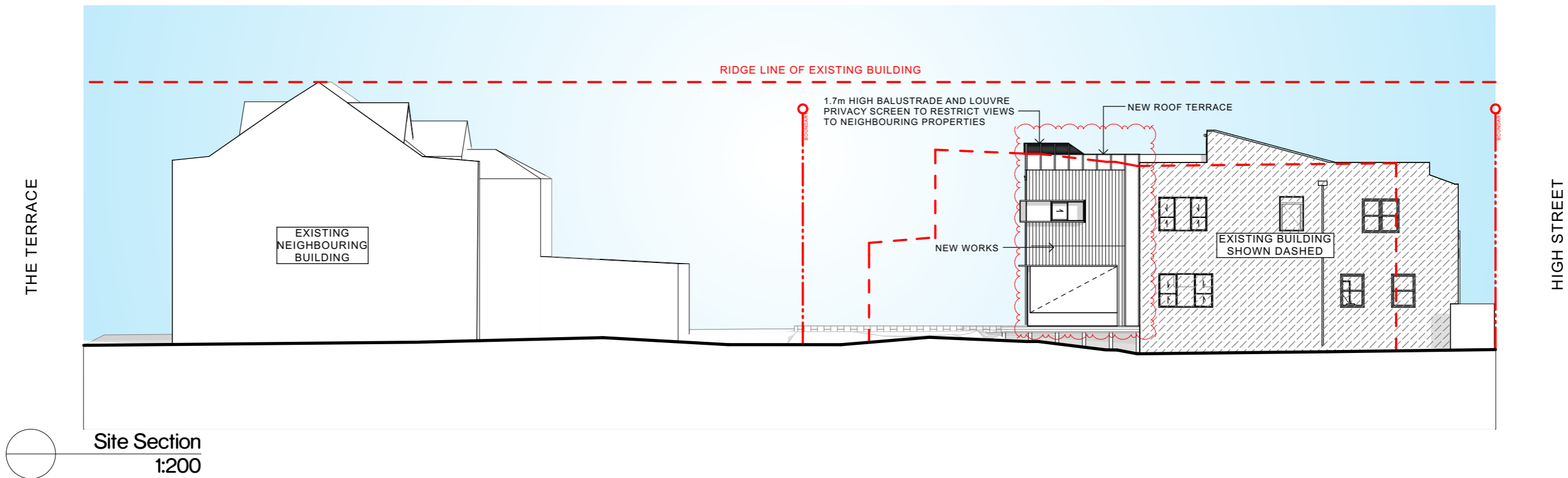
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Site Analysis

Issue No.
09

Scale
1:200@A3

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Site Section
1:200

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Legend

ISSUE	DESCRIPTION	BY	DATE
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06	For DA RFI	Harry	3/10/2018
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08	For DA RFI	Harry	17/05/2019
09	For DA RFI	Dylan	4/07/2019

Project
MK House

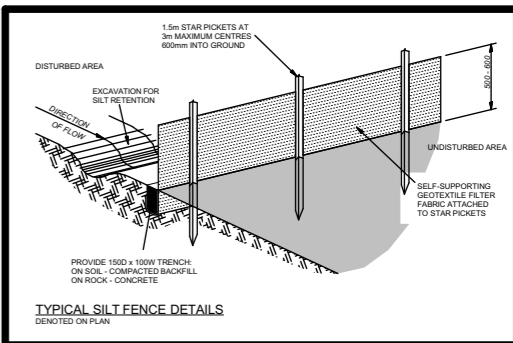
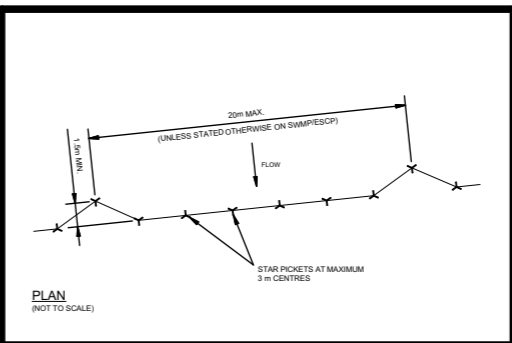
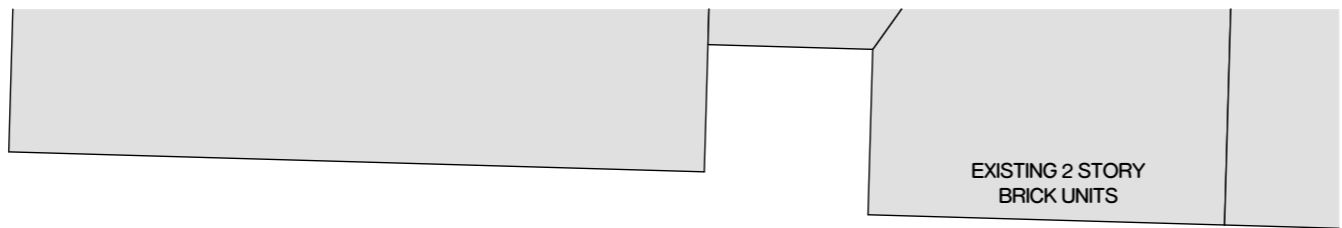
Client
MARK KENTWELL

Location
**19 High Steet,
The Hill, NSW, 2300**

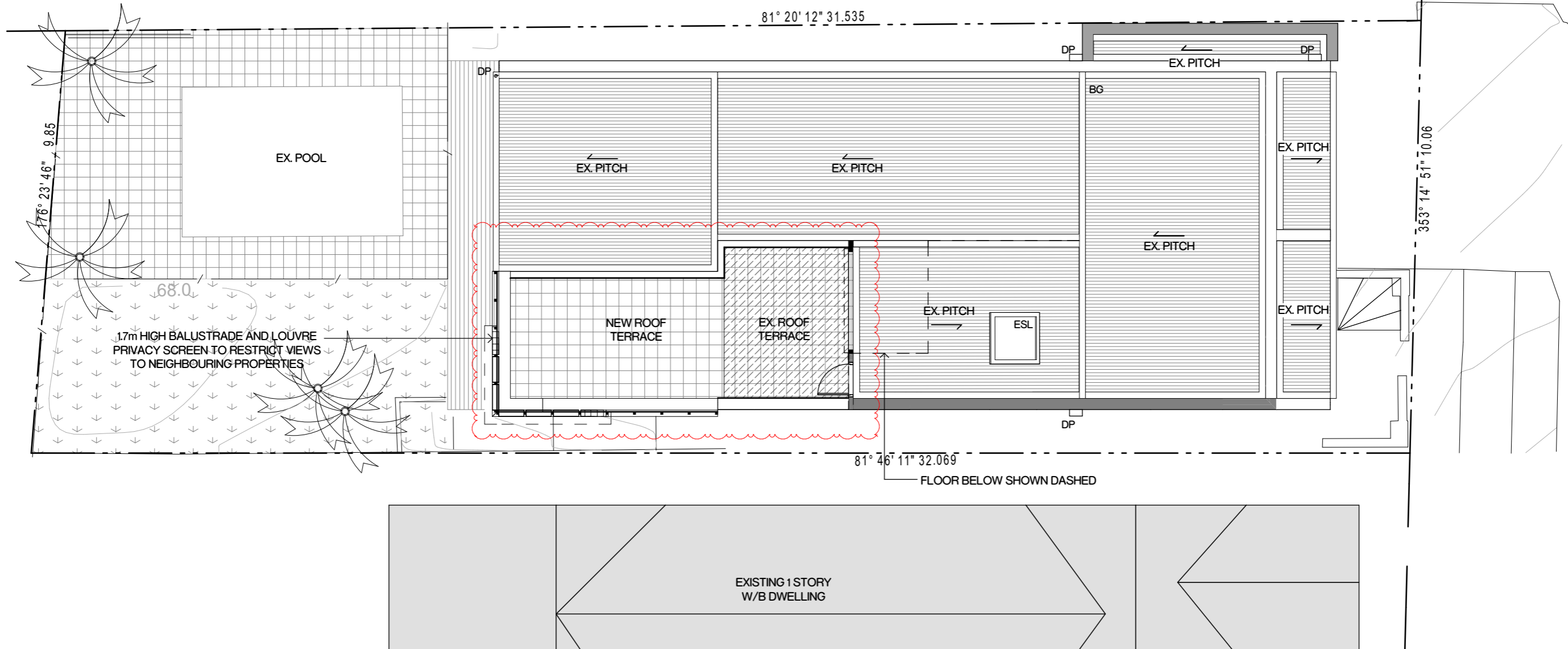
Drawings Title
Site Section

Project No. 117-042 Drawing No. DA 002 Issue No. 09 Scale 1:200@A3





Sediment Control Plan
1:200



Site / Roof Plan
1:100

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PL19/19/01 - 042 MK House 02 Drawings 02_b Working Floor 01 042 MK House (DTL for PF) 24/11



Legend

- BG BOX GUTTER
- DP DOWNPIPE
- ESL EXISTING SKYLIGHT

ISSUE	DESCRIPTION	BY	DATE
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	20/02/2019
10	For DA RFI	Harry	17/05/2019
11	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 003

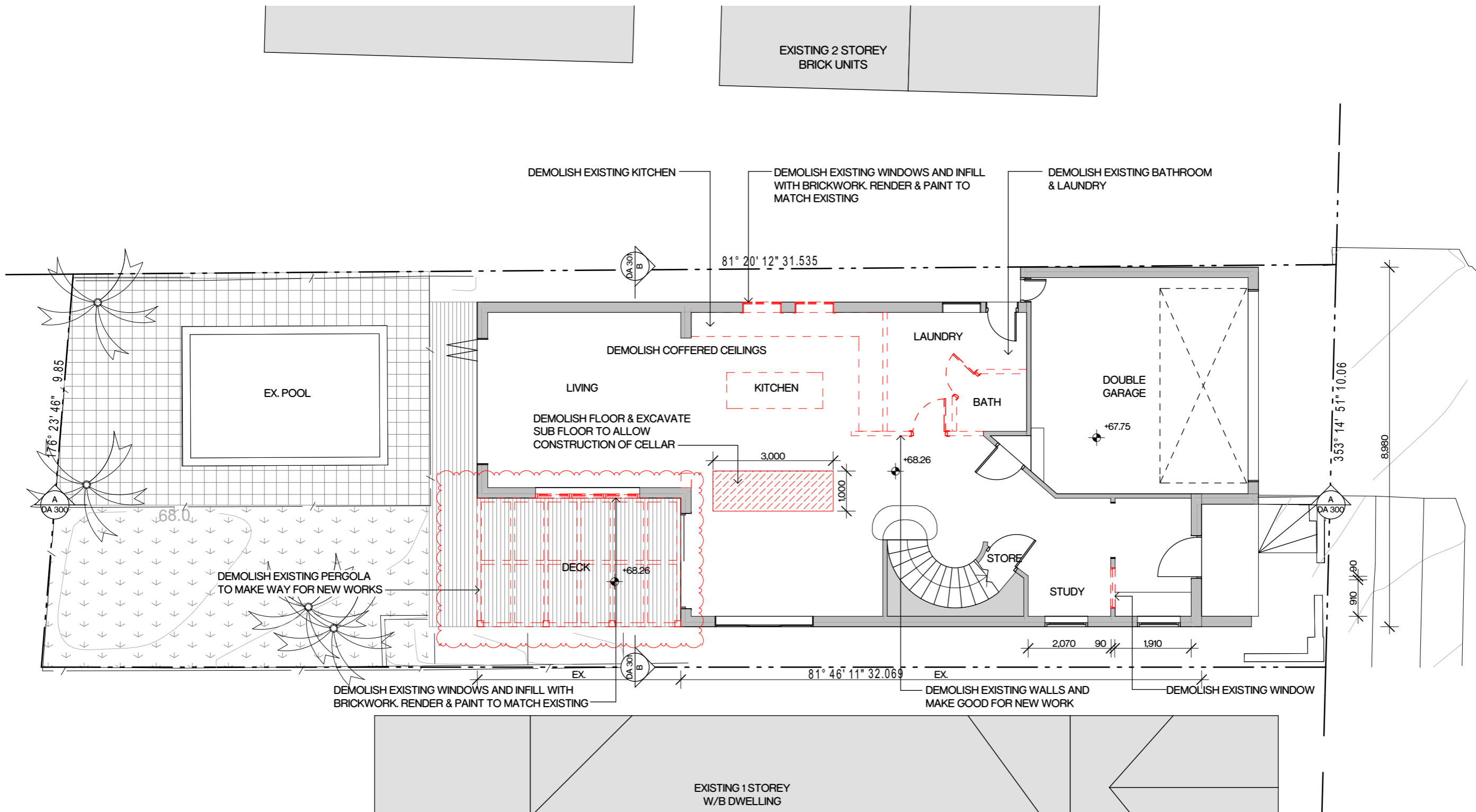
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Site Plan

Issue No.
11

Scale
1:200, 1:100@A3





HIGH STREET

Demolition Plan Ground Floor
1:100

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Legend

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06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 004

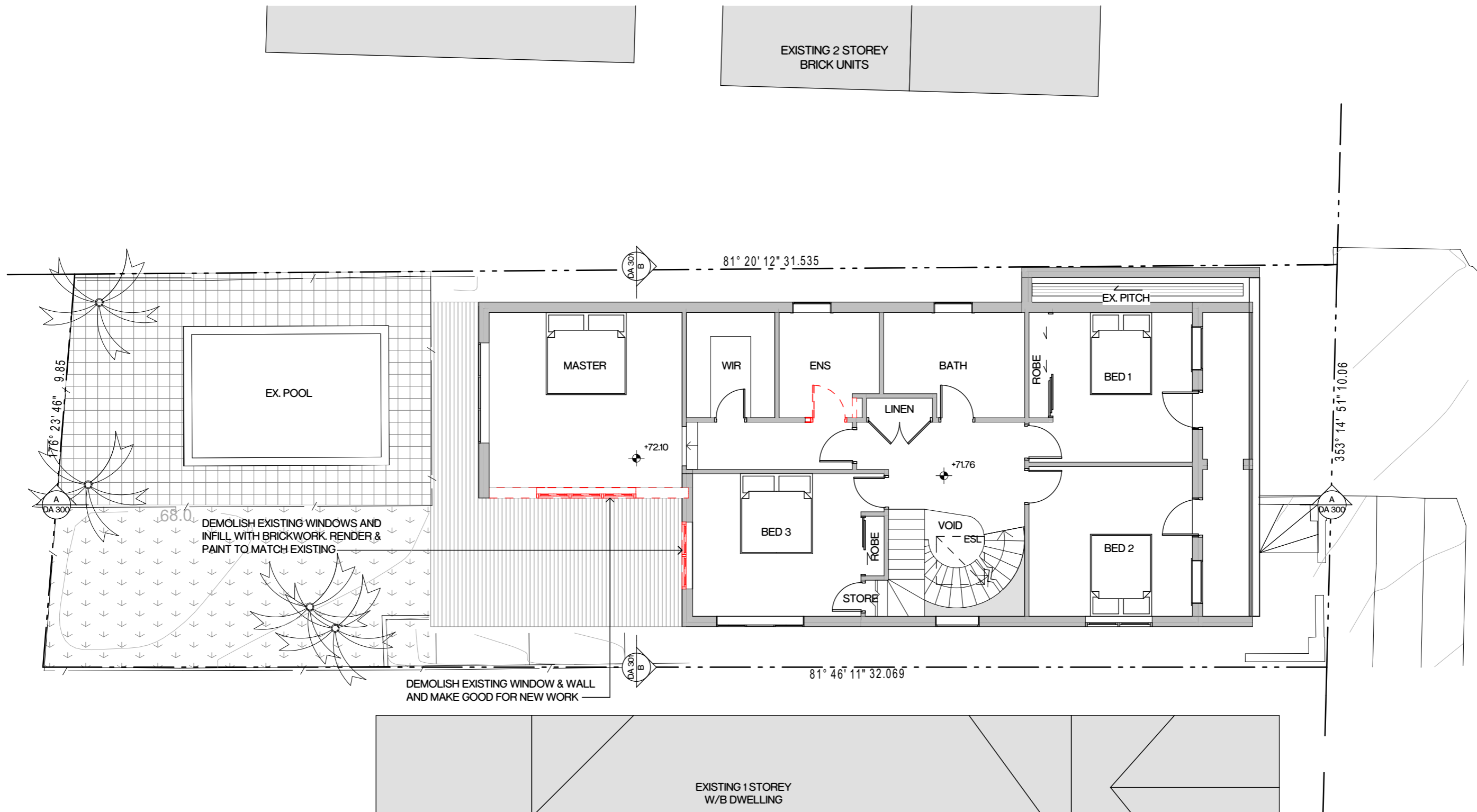
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Demolition Plan Ground
Floor

Issue No.
09

Scale
1:100@A3

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HIGH STREET

Demolition Plan First Floor
1:100

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P117117-042 MK House 02 Drawings 02_b Working Floor 01 042 MK House DTL for PFD.dwg

Legend

ISSUE	DESCRIPTION	BY	DATE
05	For Pre DA	Harry	6/08/2018
06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 005

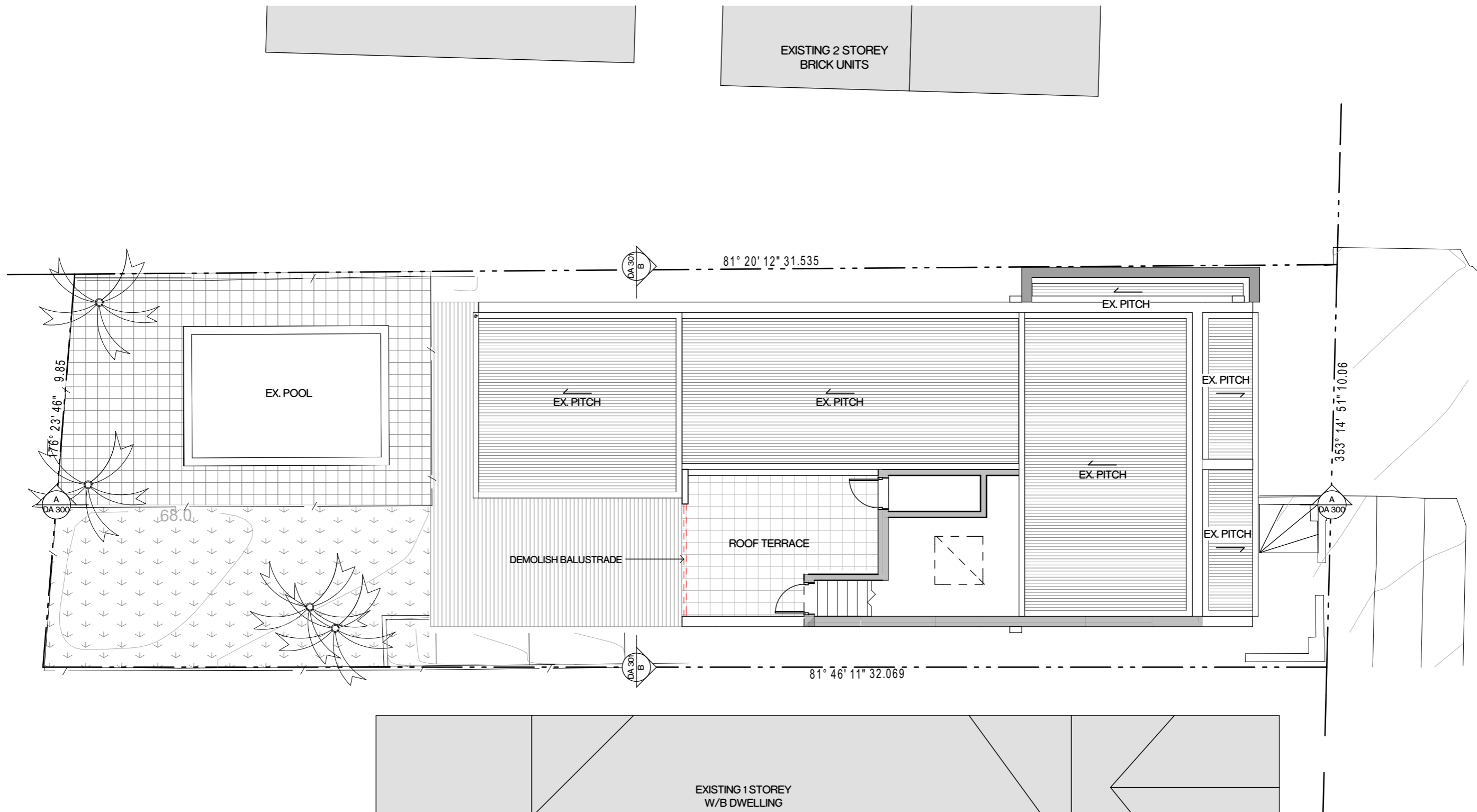
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Demolition Plan First Floor

Issue No.
09

Scale
1:100@A3

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HIGH STREET

Demolition Plan Roof
1:100

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MK House (DTL) for PFD.dwg

Legend

- BG BOX GUTTER
- DP DOWNPIPE
- ESL EXISTING SKYLIGHT

ISSUE	DESCRIPTION	BY	DATE
05	For Pre DA	Harry	6/08/2018
06	For DA Approval	Harry	17/08/2018
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08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Demolition Plan Roof Level

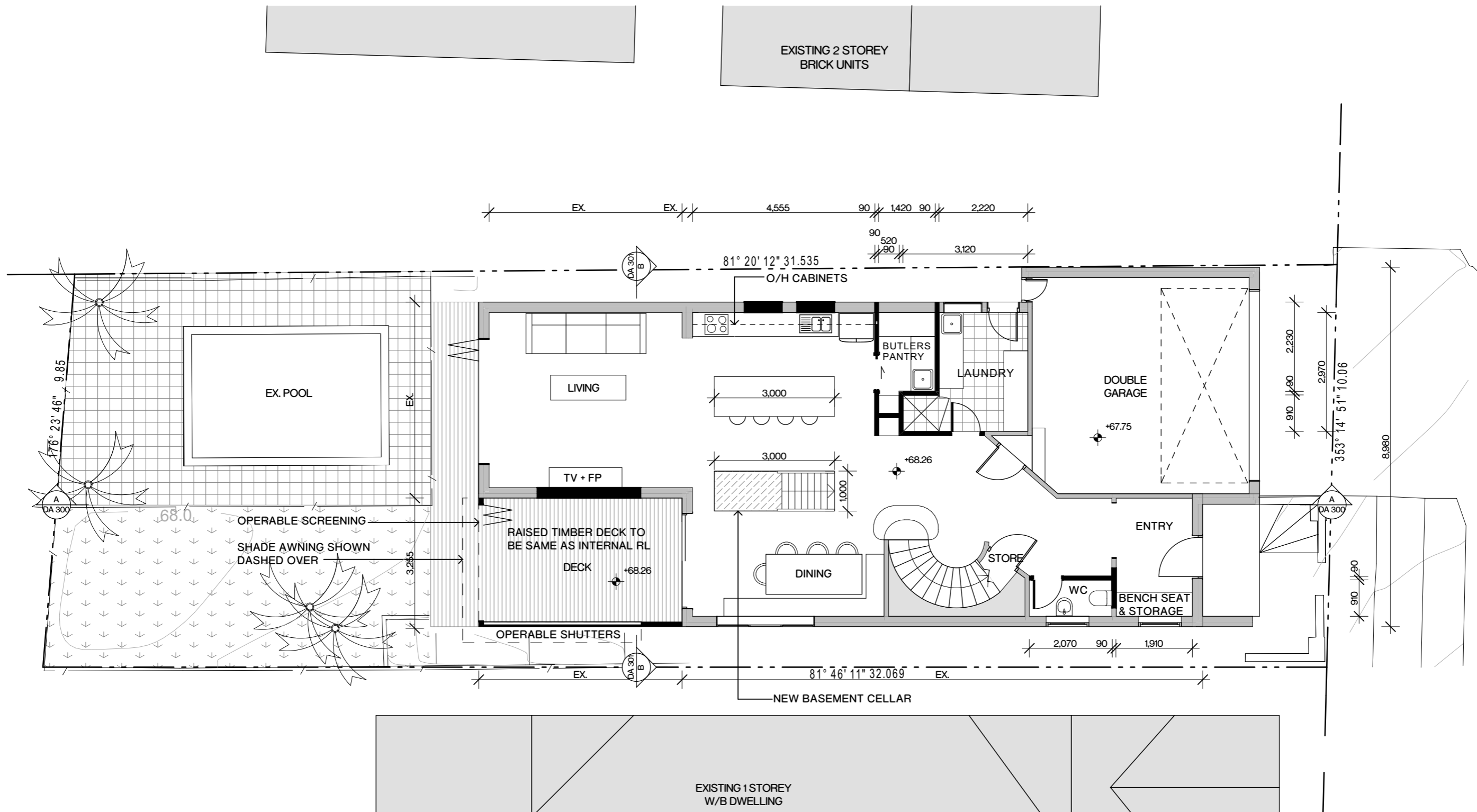
Project No.
117-042

Drawing No.
DA 006

Issue No.
09

Scale
1:100@A3





HIGH STREET

Ground Floor Plan
1:100

EXISTING WALLS
NEW WALLS

EXISTING GFA - 214.50m²
PROPOSED GFA - 230.83m²

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ISSUE	DESCRIPTION	BY	DATE
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06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

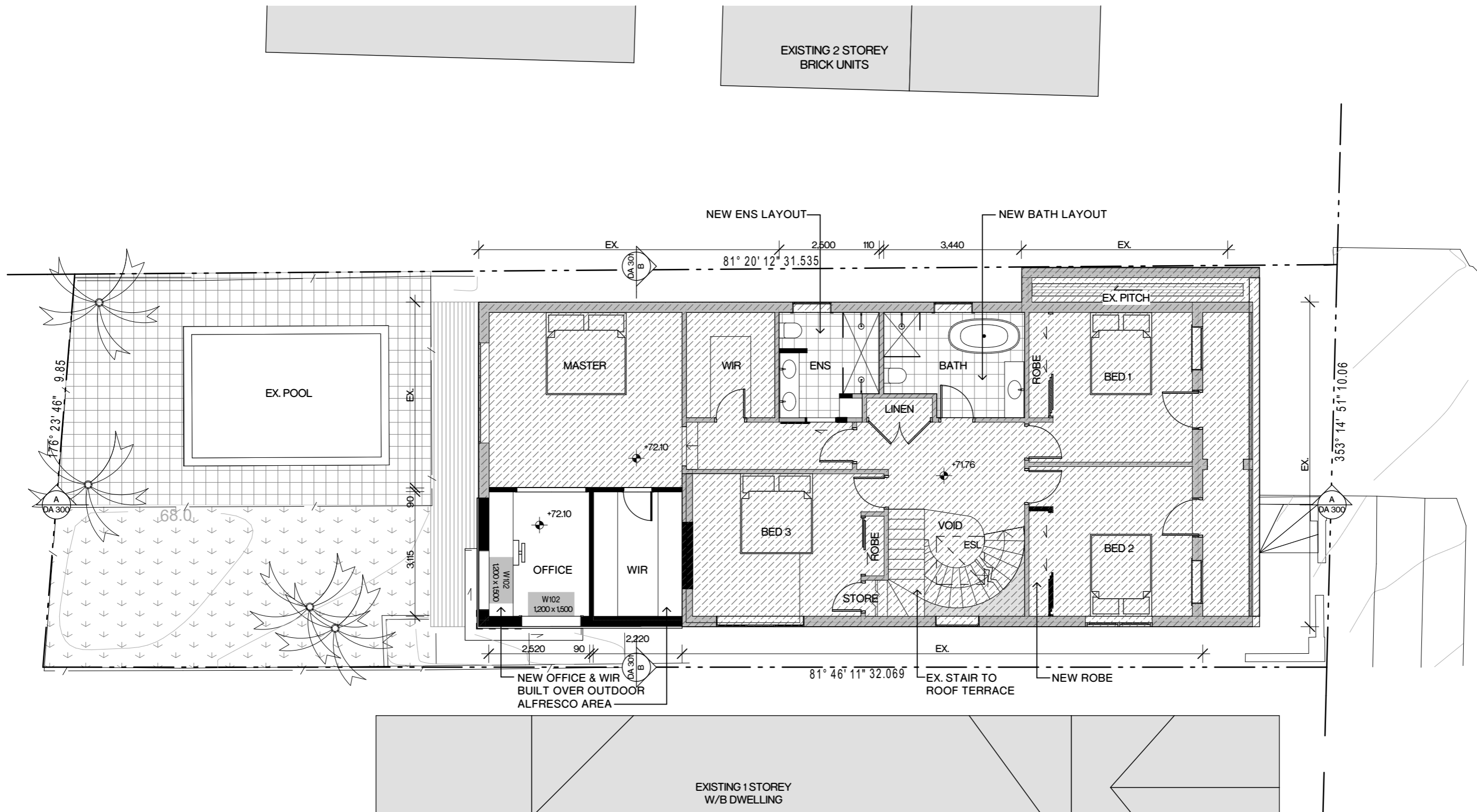
Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Ground Floor Plan

Project No. 117-042 Drawing No. DA 100 Issue No. 09 Scale 1:100@A3

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HIGH STREET



○ First Floor
1:100

- EXTENT OF EXISTING BUILDING TO BE RETAINED
- EXISTING WALLS
- NEW WALLS

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Project No. 117-042
Drawing No. DA 101
Issue No. 09
Scale 1:100@A3

Legend

ESL EXISTING SKYLIGHT

ISSUE	DESCRIPTION	BY	DATE
05	For Pre DA	Harry	6/08/2018
06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 101

Location
19 High Steet,
The Hill, NSW, 2300

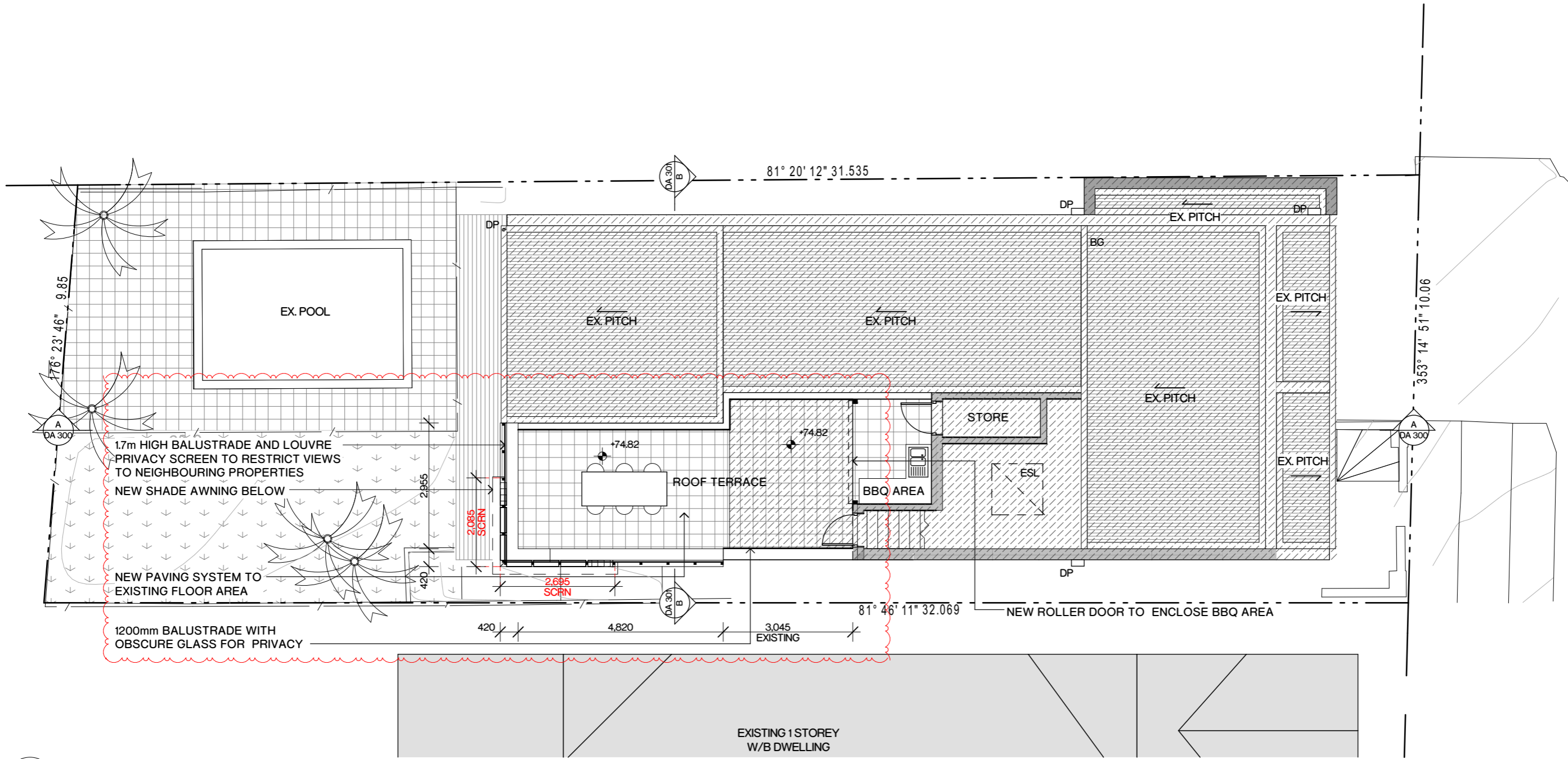
Drawings Title
First Floor Plan

Issue No.
09

Scale
1:100@A3

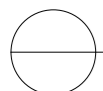
SBA
SDARCH.COM.AU

EXISTING 2 STOREY
BRICK UNITS



HIGH STREET

Roof Plan
1:100



- EXTENT OF EXISTING BUILDING TO BE RETAINED
- EXISTING WALLS
- NEW WALLS

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Project: MK House (2) Drawings: 02_Roof Plan (1) of 042
MK House (2) Drawings: 02_Roof Plan (1) of 042

Legend

- BG BOX GUTTER
- DP DOWNPIPE
- ESL EXISTING SKYLIGHT

ISSUE	DESCRIPTION	BY	DATE
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	20/02/2019
10	For DA RFI	Harry	17/05/2019
11	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 102

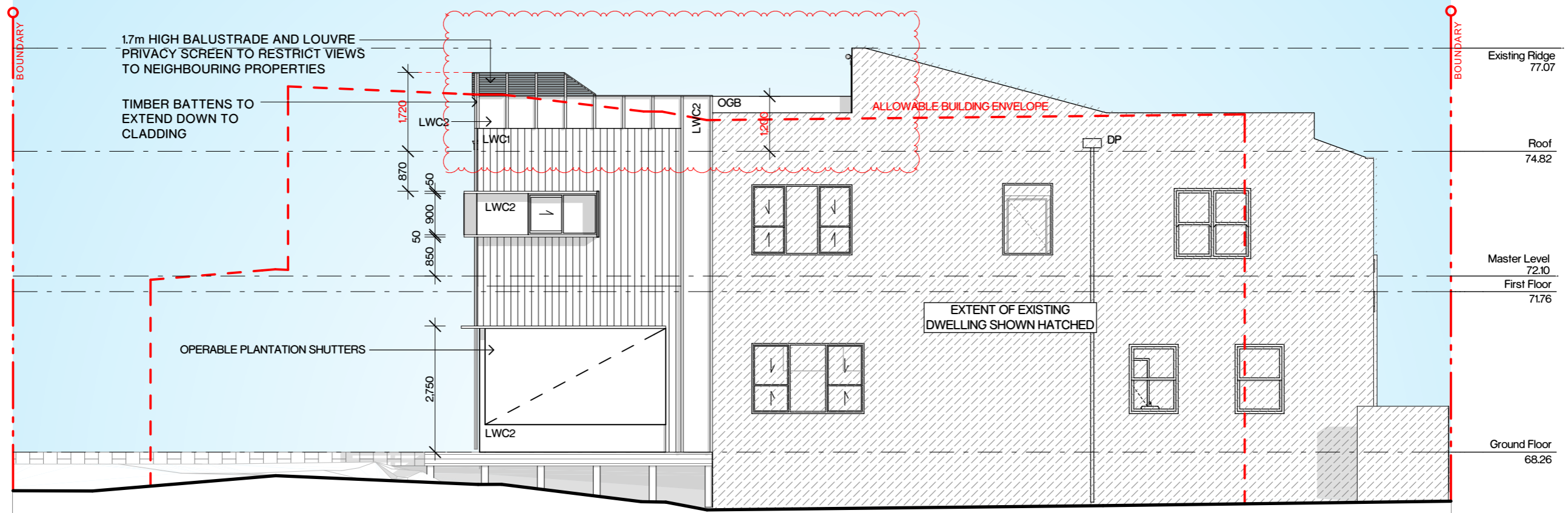
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Roof Plan

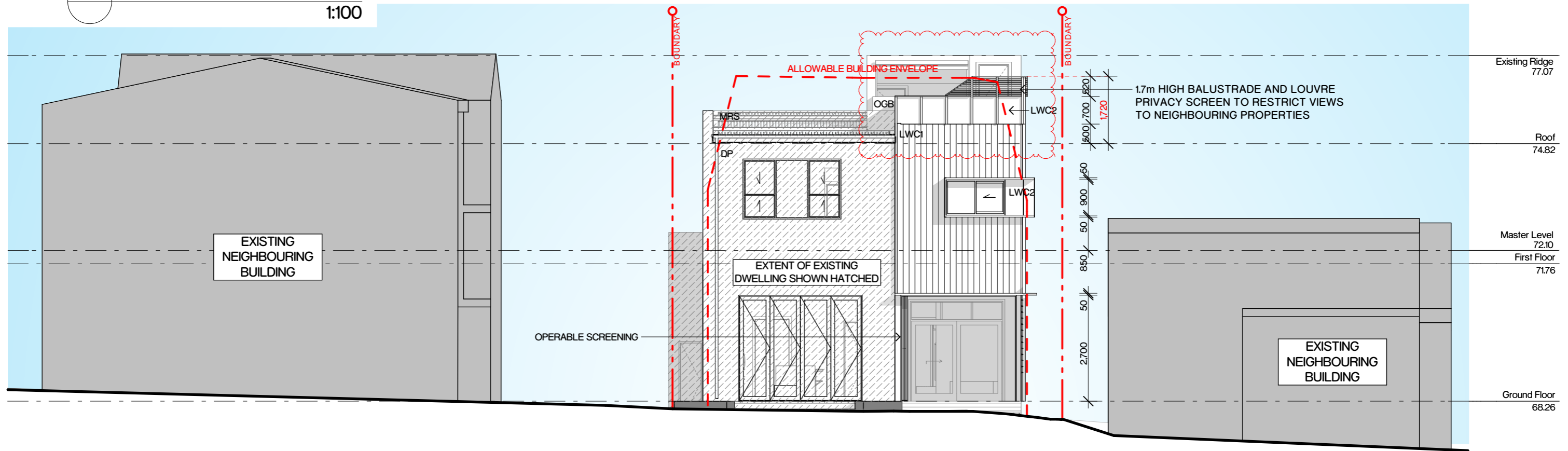
Issue No.
11

Scale
1:100@A3





North Elevation
1:100



East Elevation
1:100

EXTENT OF EXISTING BUILDING TO BE RETAINED

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PIV07107 - 042 MK House 02 Drawings 02_b Working Floor 07 042 MK House (DTL for PFD) 2/19



Legend

- COL COLUMN
- DP DOWNPIPE
- FGL FIXED GLASS
- LWC1 LIGHTWEIGHT CLADDING 1
- LWC2 LIGHTWEIGHT CLADDING 2
- MRS METAL ROOF SHEETING

OGB OBSCURE GLASS BALUSTRADE

ISSUE	DESCRIPTION	BY	DATE
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	20/02/2019
10	For DA RFI	Harry	17/05/2019
11	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Elevations 01

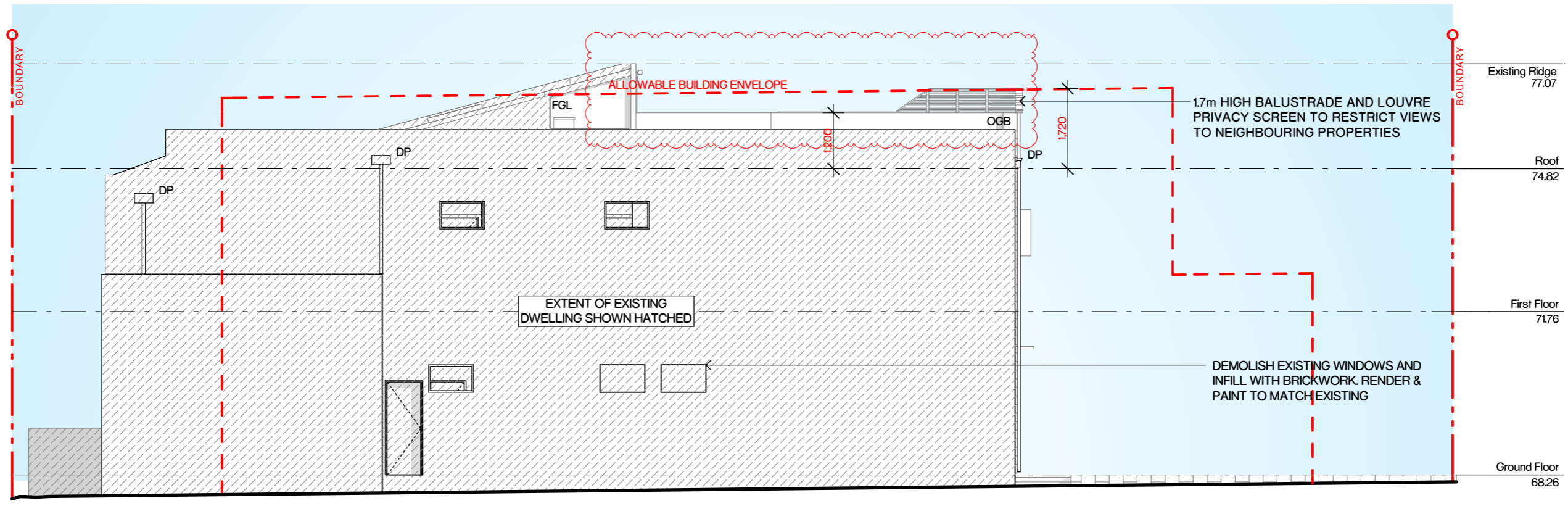
Project No.
117-042

Drawing No.
DA 200

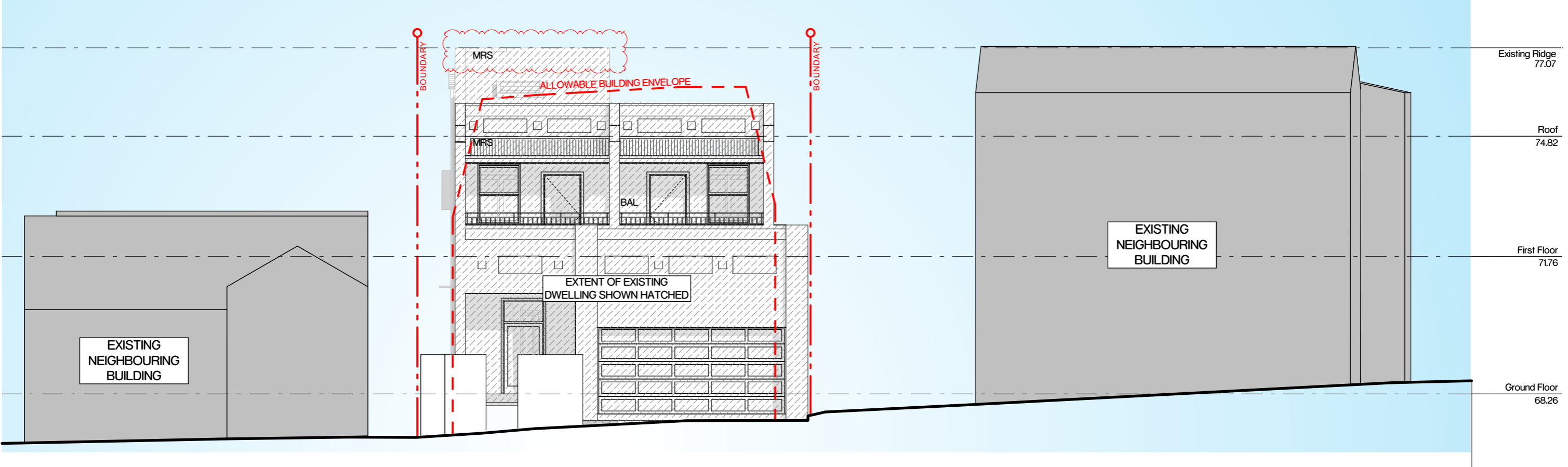
Issue No.
11

Scale
1:100@A3





South Elevation
1:100



West Elevation
1:100

 EXTENT OF EXISTING BUILDING TO BE RETAINED

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P1917107 - 042 MK House 02 Drawings 02_3 Working Floor 07 042 MK House (DTL for PFD).dwg



- Legend**
- BAL BALUSTRADE
 - COL COLUMN
 - DP DOWNPIPE
 - FGL FIXED GLASS
 - MRS METAL ROOF SHEETING
 - OGB OBSCURE GLASS BALUSTRADE

ISSUE	DESCRIPTION	BY	DATE
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	20/02/2019
10	For DA RFI	Harry	17/05/2019
11	For DA RFI	Dylan	4/07/2019

Project
MK House

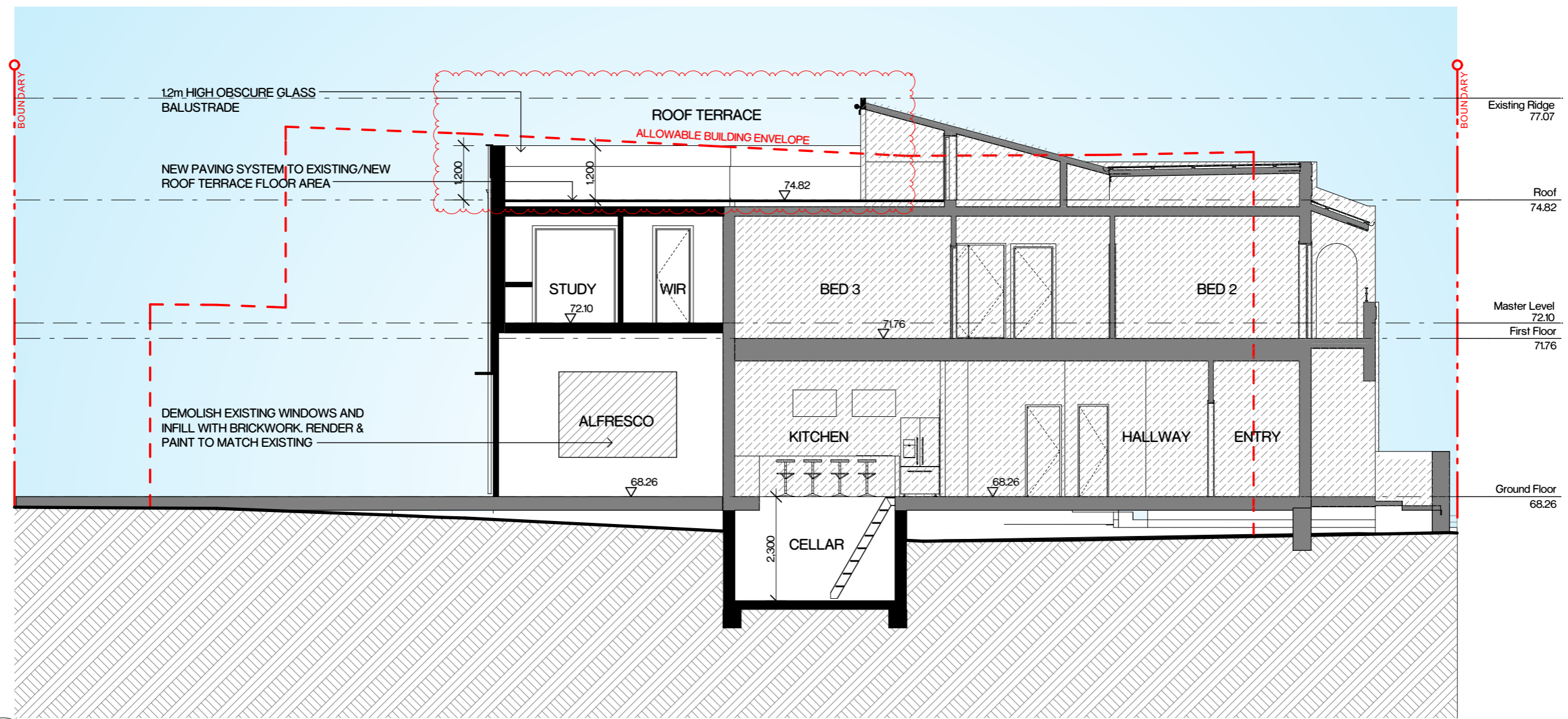
Client
MARK KENTWELL

Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Elevations 02

Project No. 117-042 **Drawing No.** DA 201 **Issue No.** 11 **Scale** 1:100@A3





Section A-A
1:100

- EXTENT OF EXISTING BUILDING TO BE RETAINED
- EXISTING WALLS
- NEW WALLS

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P:\117\042 MK House\02 Drawings\02_3 Working Floor\07-042 MK House-DTL_for_PFD.dwg



Legend

ISSUE	DESCRIPTION	BY	DATE
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	20/02/2019
10	For DA RFI	Harry	17/05/2019
11	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 300

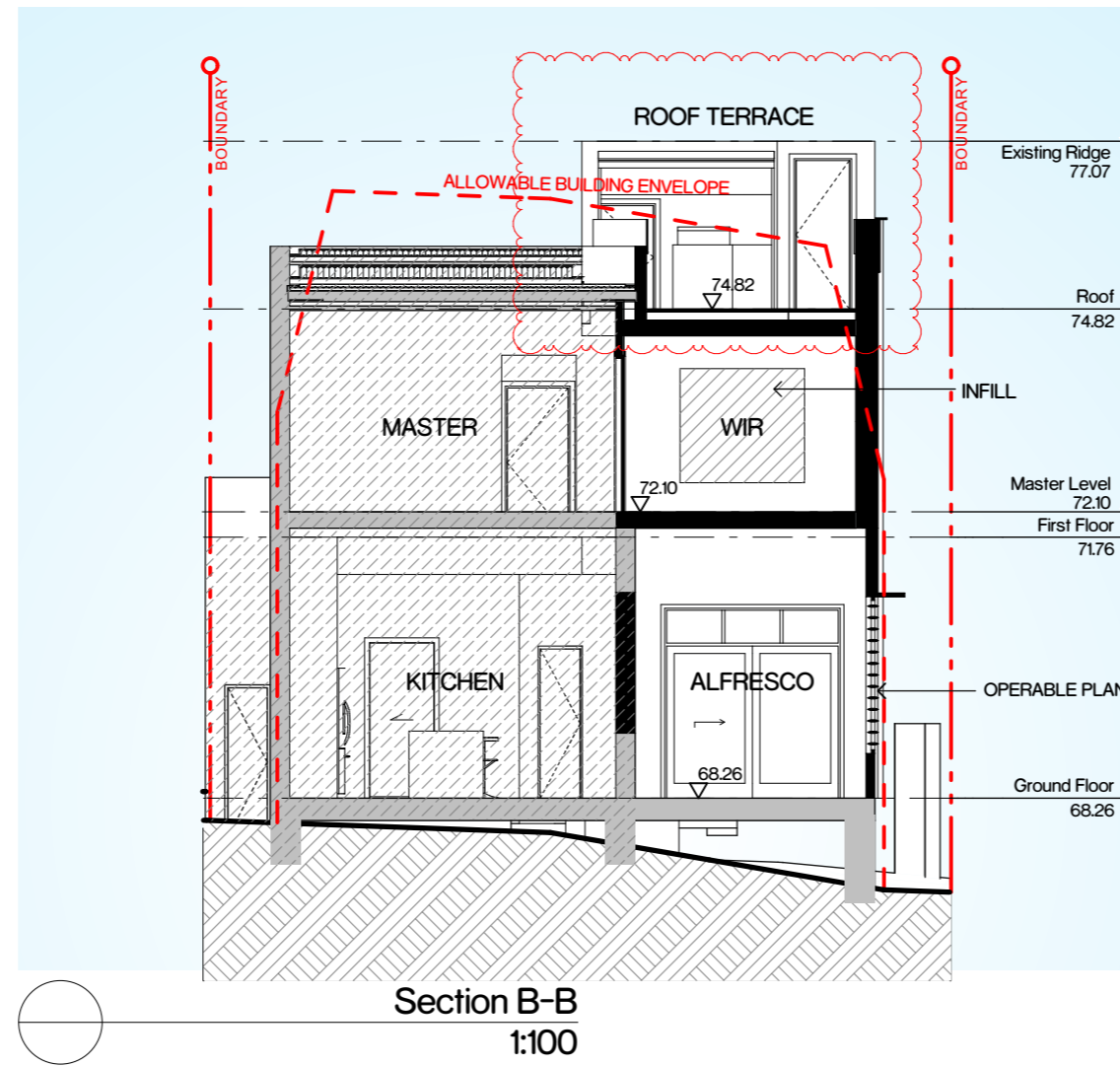
Location
19 High Steet,
The Hill, NSW, 2300




Drawings Title
Section 01

Issue No.
11

Scale
1:100@A3

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SDARCH.COM.AU



-  EXTENT OF EXISTING BUILDING TO BE RETAINED
-  EXISTING WALLS
-  NEW WALLS

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P1171717-042 MK House 02 Drawings 02_B Working Floor 07 042
MK House (DTL) for PFD.dwg



Legend

ISSUE	DESCRIPTION	BY	DATE
05	For DA Approval	Harry	17/08/2018
06	For DA RFI	Harry	25/09/2018
07	For DA RFI	Harry	3/10/2018
08	For DA RFI	Harry	17/05/2019
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 301

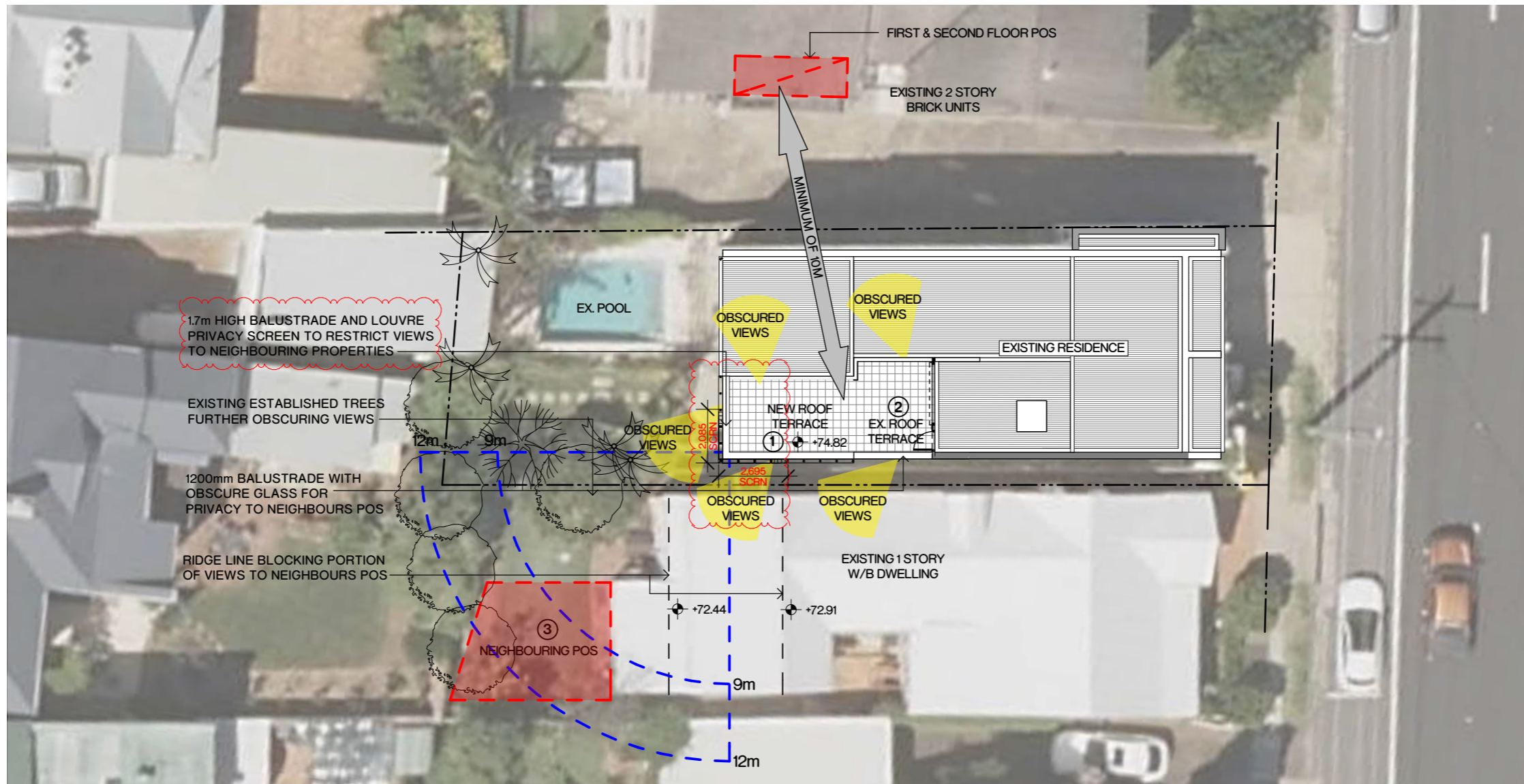
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Section 02

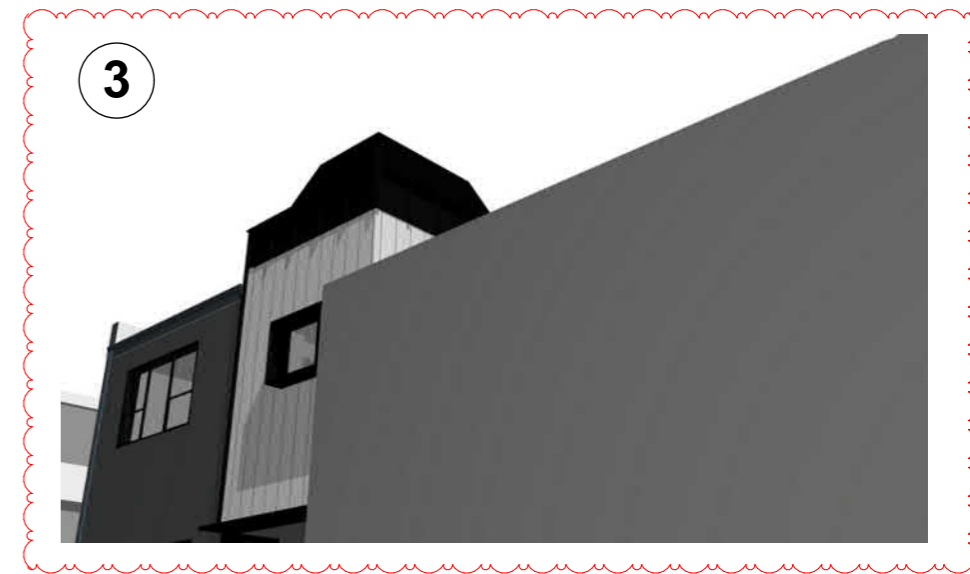
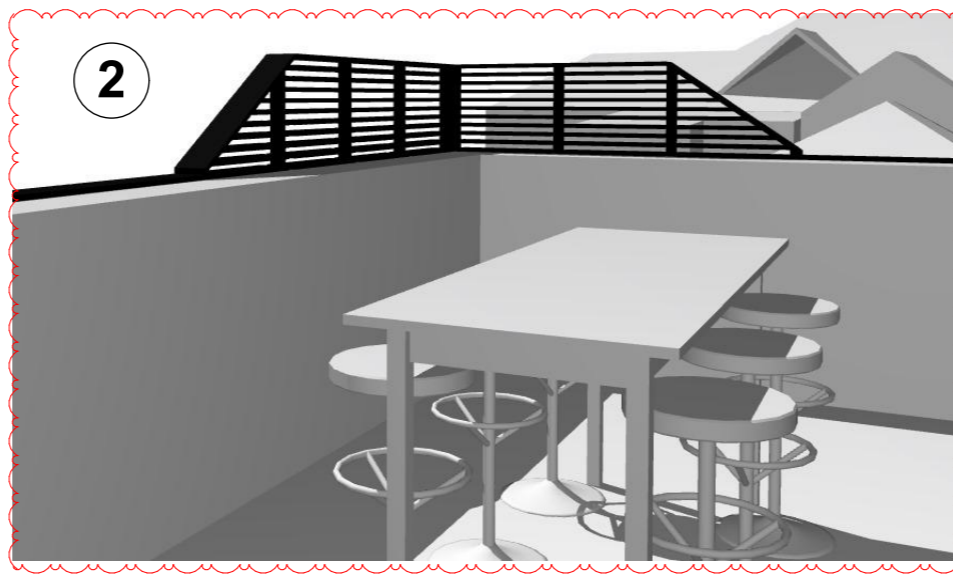
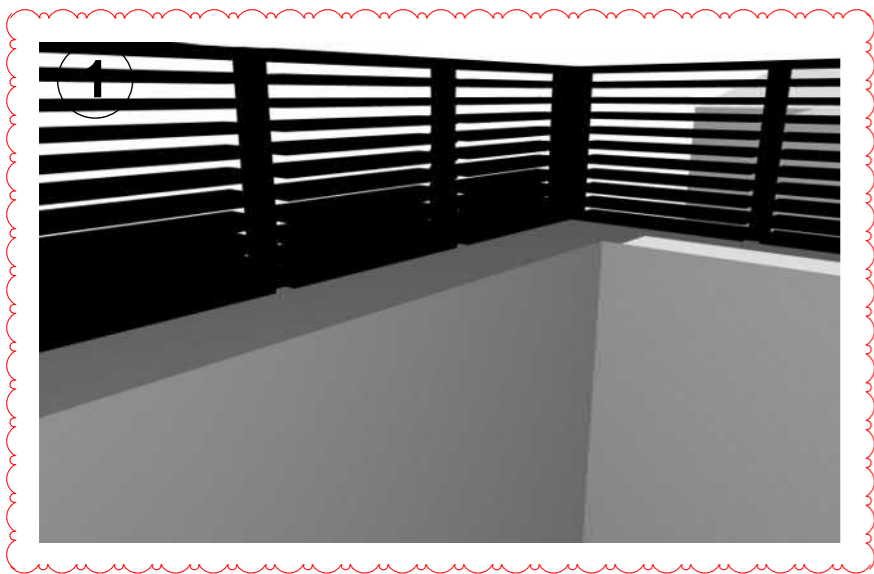
Issue No.
09

Scale
1:100@A3

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Privacy Plan
1:200



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P:\1717\17_042 MK House\02 Drawings\02_3 Working Floor\07-042 MK House DTL for PFD.dwg
 1/

Legend

ISSUE	DESCRIPTION	BY	DATE
01	For DA RFI	Harry	25/09/2018
02	For DA RFI	Harry	3/10/2018
03	For DA RFI	Harry	17/10/2018
04	For DA RFI	Harry	20/02/2019
05	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 402

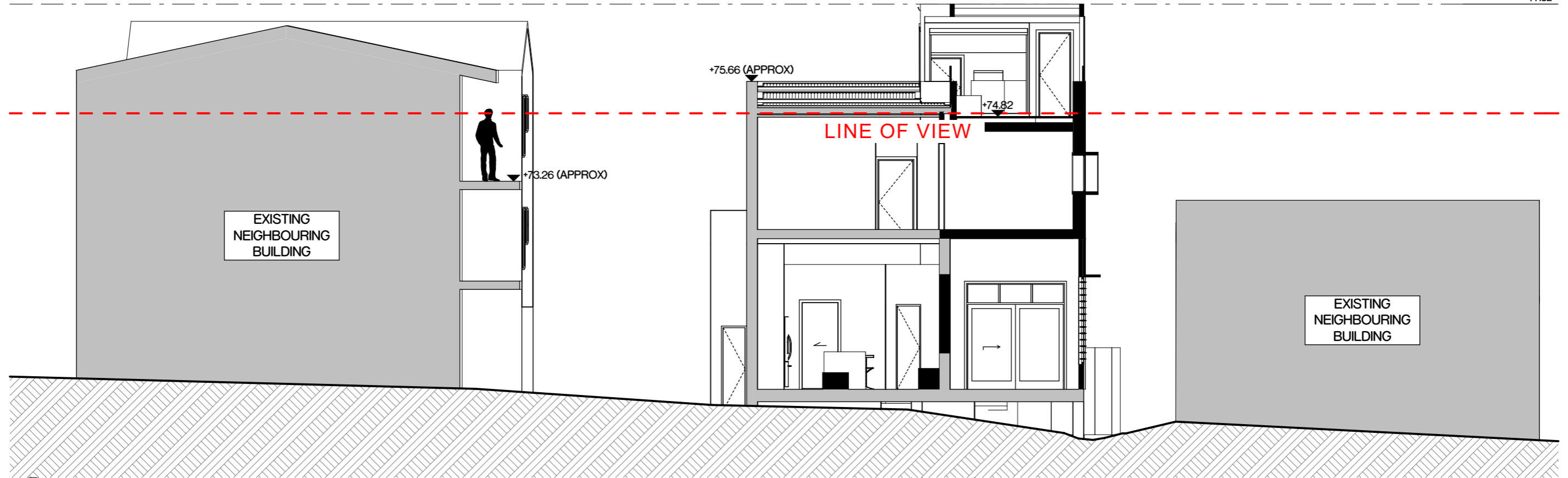
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
Privacy Plan

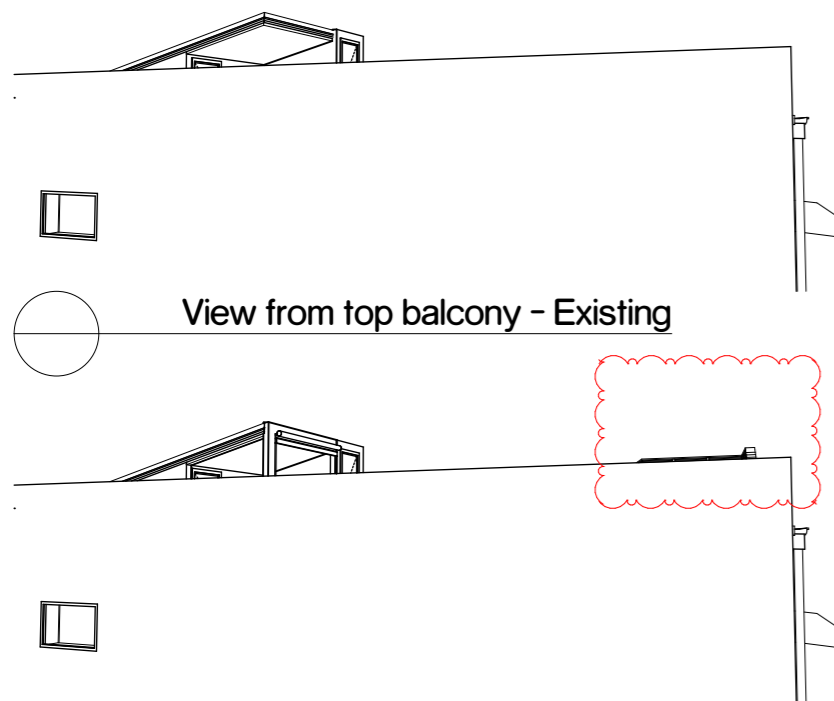
Issue No.
05

Scale
1:200@A3

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View Sharing Section
1:100



View from top balcony - Existing

View from top balcony - Proposed



Image montage showing limited existing views, resulting in no additional impact from proposed additions.

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11/07/19 - 042 MK House 02 Drawings 02_b Working Floor 01 042 MK House (DTL) for PFD.dwg



Legend

ISSUE	DESCRIPTION	BY	DATE
01	For DA RFI	Harry	3/10/2018
02	For DA RFI	Harry	17/10/2018
03	For DA RFI	Harry	20/02/2019
04	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 403

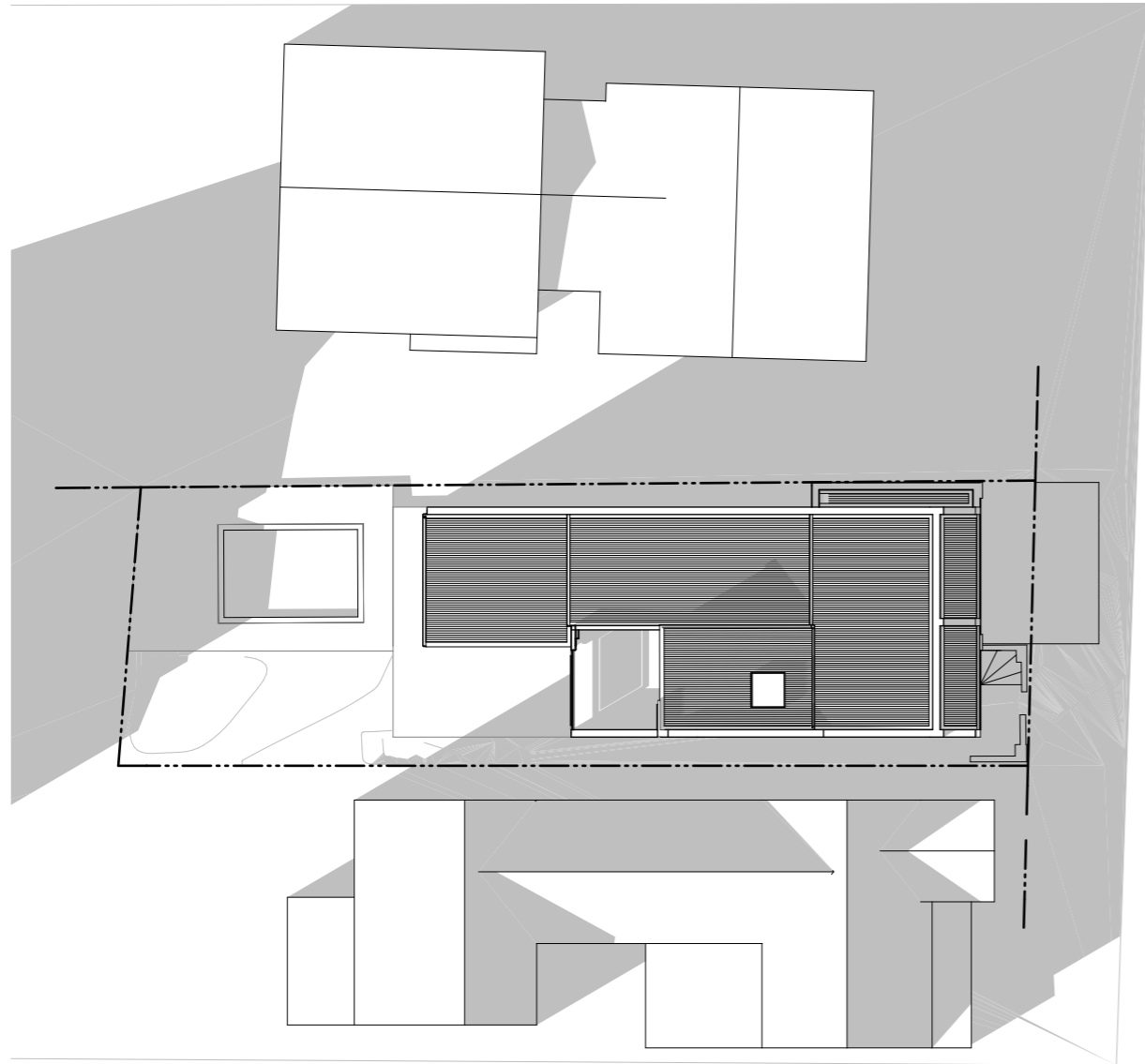
Location
19 High Steet,
The Hill, NSW, 2300

Drawings Title
View Sharing - 21 High Street

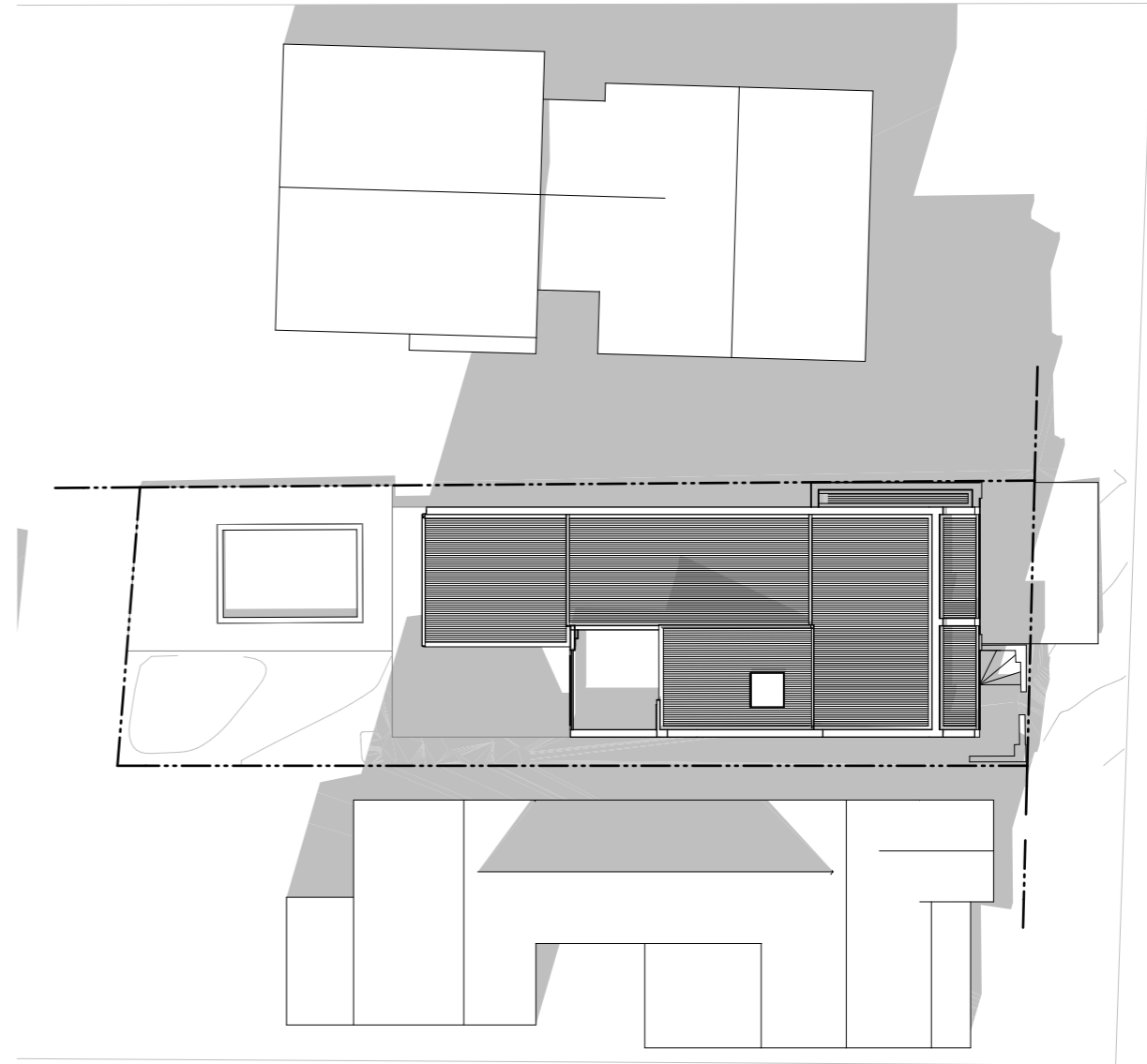
Issue No.
04

Scale
1:100@A3

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SDARCH.COM.AU



Existing Shadow Diagram - June 21 - 9am



Existing Shadow Diagram - June 21 - 12pm

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P:\117\042 MK House\02 Drawings\02_b Working Files\07-042 MK House-DTL_for PDF.dwg

Legend



ISSUE	DESCRIPTION	BY	DATE
05	For Pre DA	Harry	6/08/2018
06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 500

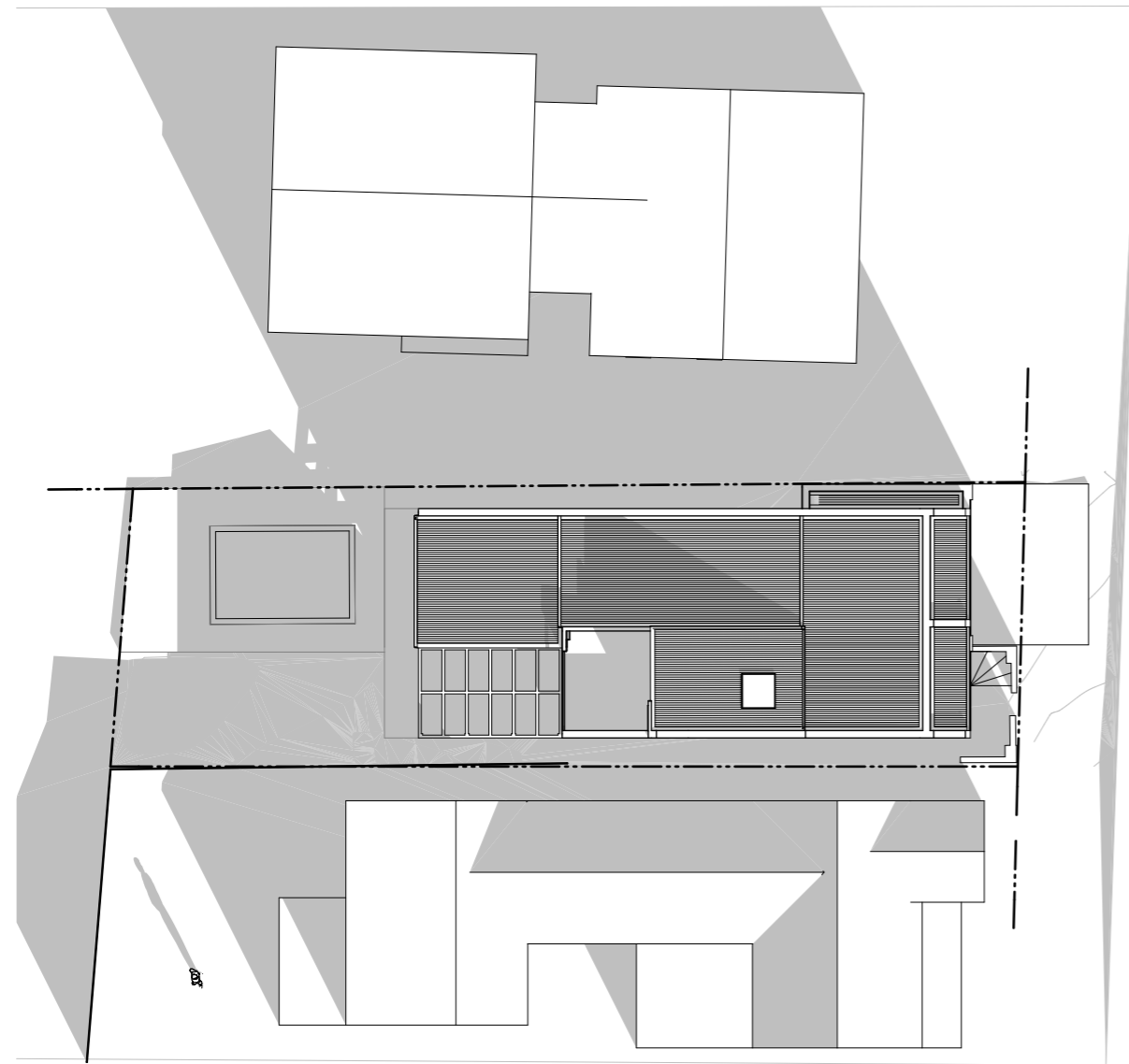
Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Shadow Diagrams 01

Issue No.
09

Scale
1:250@A3

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SDARCH.COM.AU



Existing Shadow Diagram - June 21 - 3pm

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P:\117-042 MK House\02 Drawings\02_3 Working Files\07-042 MK House DTL for PFD.dwg

Legend

ISSUE	DESCRIPTION	BY	DATE
04	For Pre DA	Harry	6/08/2018
05	For DA Approval	Harry	17/08/2018
06	For DA RFI	Harry	25/09/2018
07	For DA RFI	Harry	3/10/2018
08	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 501

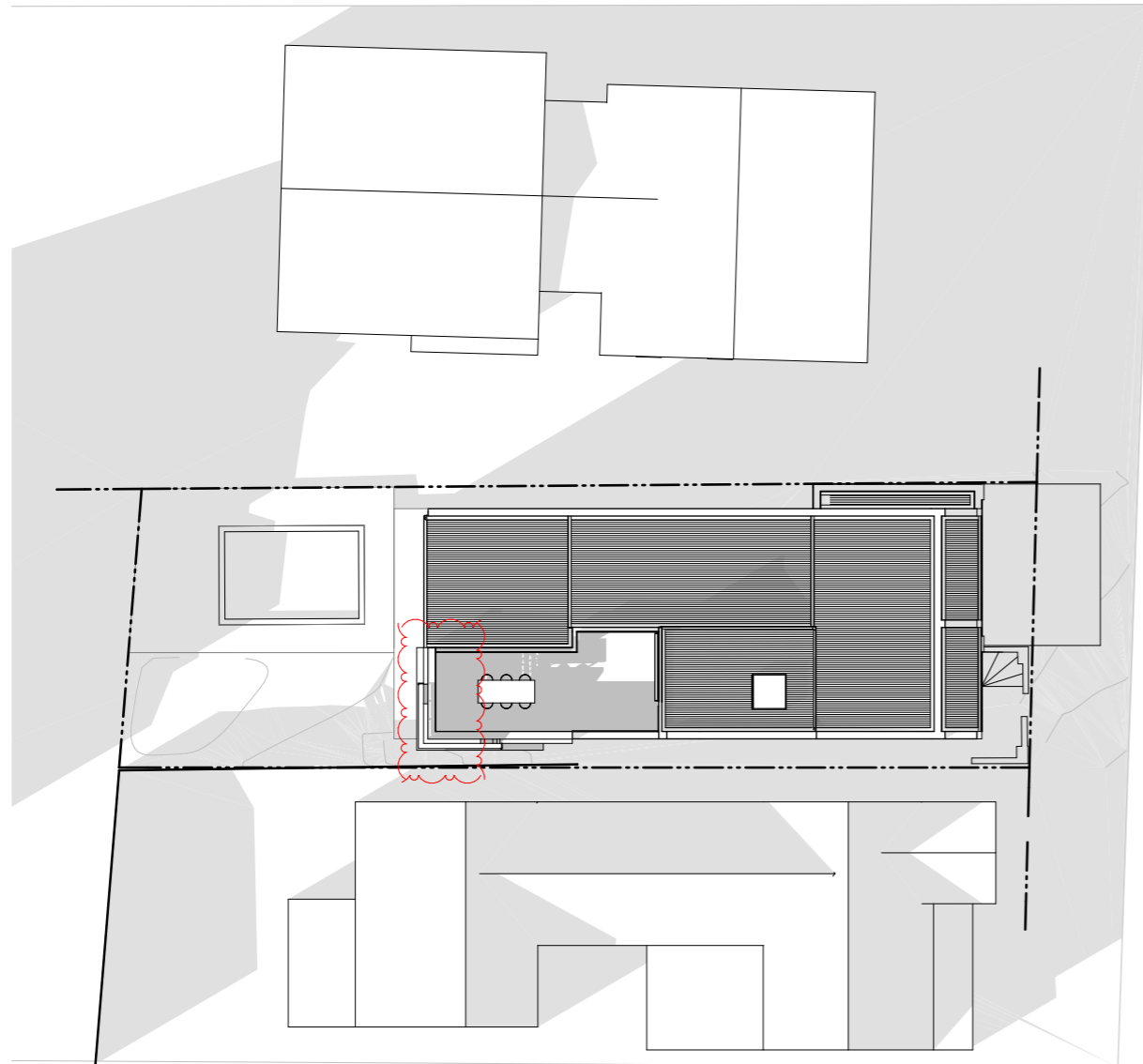
Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Shadow Diagrams 01-2

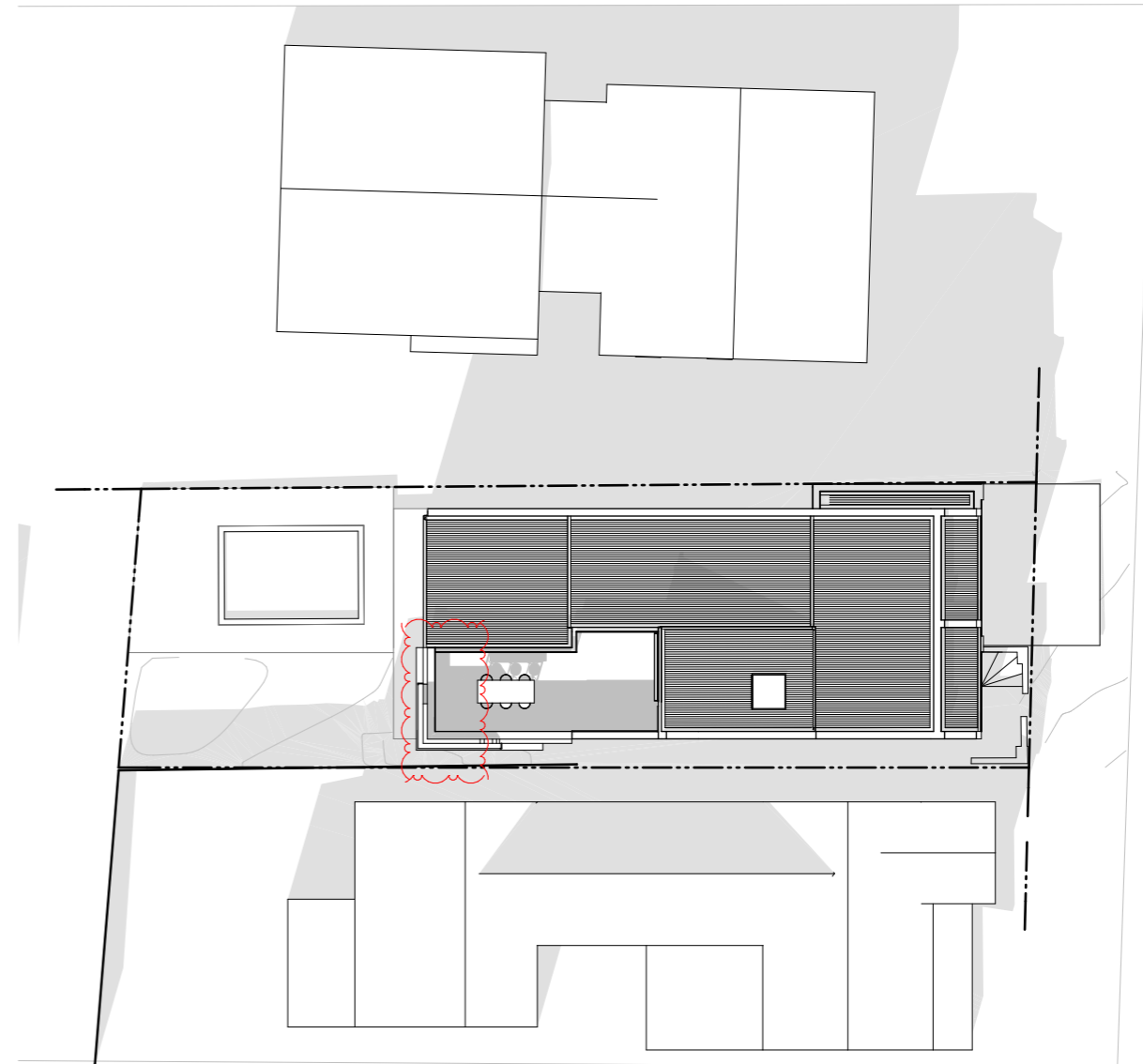
Issue No.
08

Scale
1:250@A3

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○ Proposed Shadow Diagram - June 21 - 9am



○ Proposed Shadow Diagram - June 21 - 12pm

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P1171107 - 042 MK House 02 Drawings 02 - Working Floor 01 042 MK House DTL for PFD219

Legend



ISSUE	DESCRIPTION	BY	DATE
06	For DA Approval	Harry	17/08/2018
07	For DA RFI	Harry	25/09/2018
08	For DA RFI	Harry	3/10/2018
09	For DA RFI	Harry	20/02/2019
10	For DA RFI	Dylan	4/07/2019

Project
MK House

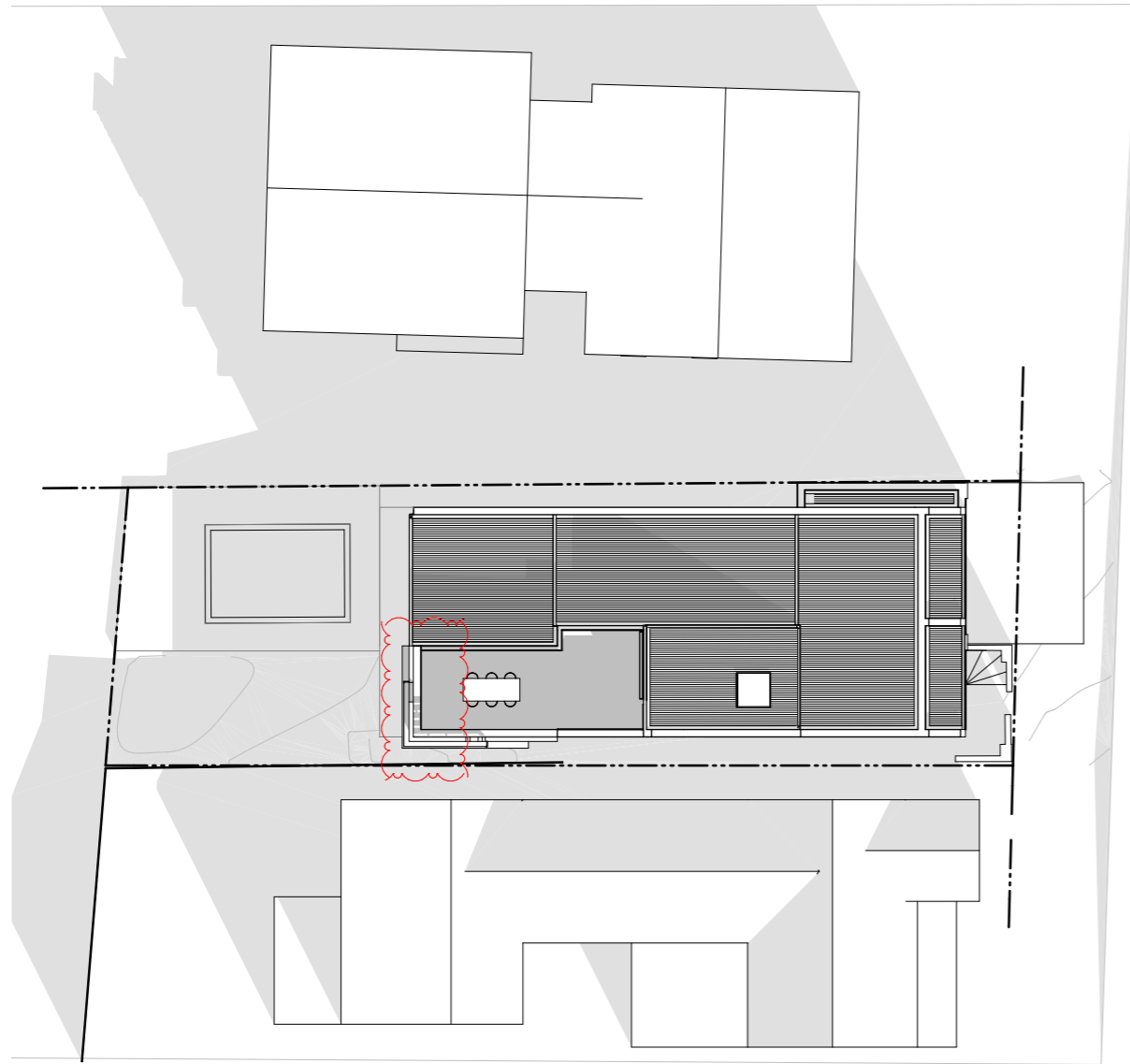
Client
MARK KENTWELL

Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Shadow Diagrams 02

Project No. 117-042	Drawing No. DA 502	Issue No. 10	Scale 1:250@A3
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SBA
SDARCH.COM.AU



○ Proposed Shadow Diagram - June 21 - 3pm

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P:\117\02 MK House\02 Drawings\02_3 Working Floor\07-042 MK House-DTL_for PDF.dwg

Legend

ISSUE	DESCRIPTION	BY	DATE
05	For DA Approval	Harry	17/08/2018
06	For DA RFI	Harry	25/09/2018
07	For DA RFI	Harry	3/10/2018
08	For DA RFI	Harry	20/02/2019
09	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 503

Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Shadow Diagrams 02-2

Issue No.
09

Scale
1:250@A3

SBA
SDARCH.COM.AU



Existing Shadow Perspective 9am



Existing Shadow Perspective 10am



Existing Shadow Perspective 11am



Existing Shadow Perspective 12pm



Existing Shadow Perspective 1pm



Existing Shadow Perspective 2pm



Existing Shadow Perspective 3pm

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P:\171717_042 MK House\02 Drawings\02_3 Working Files\07-042 MK House-DTL_for PDF.dwg



Legend

ISSUE	DESCRIPTION	BY	DATE
01	For DA RFI	Harry	25/09/2018
02	For DA RFI	Harry	3/10/2018
03	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 504

Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Shadow Perspectives 01

Issue No.
03

Scale
1:4.71@A3

SBA
SDARCH.COM.AU



○ Proposed Shadow Perspective 9am



○ Proposed Shadow Perspective 10am



○ Proposed Shadow Perspective 11am



○ Proposed Shadow Perspective 12pm



○ Proposed Shadow Perspective 1pm



○ Proposed Shadow Perspective 2pm



○ Proposed Shadow Perspective 3pm

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PR1917107 - MK House 02 Drawings 02 - Working Files 07 042
MK House - DTL for PR1917107



Legend

ISSUE	DESCRIPTION	BY	DATE
01	For DA RFI	Harry	25/09/2018
02	For DA RFI	Harry	3/10/2018
03	For DA RFI	Dylan	4/07/2019

Project
MK House

Client
MARK KENTWELL

Project No.
117-042

Drawing No.
DA 505

Location
**19 High Steet,
The Hill, NSW, 2300**

Drawings Title
Shadow Perspectives 02

Issue No.
03

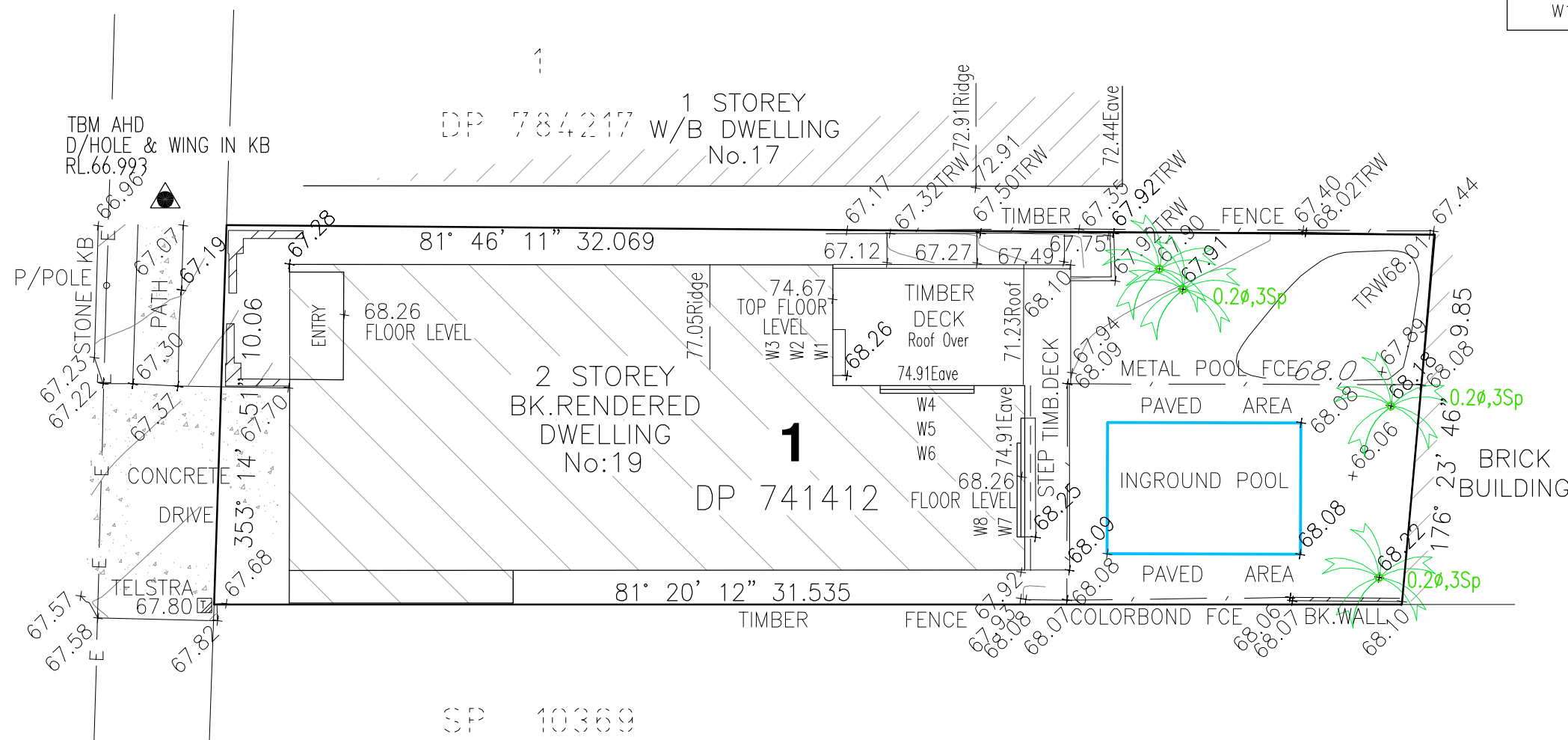
Scale
1:4.71@A3

SBA
SDARCH.COM.AU

SCHEDULE OF WINDOWS

WINDOW No.	Bottom RL.	Top RL.
W1	68.26	70.33
W2	70.49	71.02
W3	72.31	73.88
W4	69.11	70.33
W5	70.49	71.02
W6	72.78	74.34
W7	68.25	70.92
W8	72.78	74.34
W9	70.33	72.45
W10	73.05	75.21

HIGH STREET



NOTES:

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS AND DIMENSIONS ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE TO THE RELEVANT AUTHORITIES PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD). PM.19791, RL.60.542

CONTOUR INTERVAL 0.2m.

NOTE:
Boundary dimensions have been taken from Unregistered Plan Ref: 41517-DP.
Deed dimensions as shown in DP741412 must be adopted until plan has been registered at NSW Land Registry Service.



No.	DATE	REVISION DETAILS

Palmer Bruyn

Building 4 - One Steel Site, Ingall Street, MAYFIELD NSW 2304
 PO Box 174 NEWCASTLE NSW 2300
 Email: surveys@palmerbruyrn.com.au
 Website: www.palmerbruyrn.com.au
 Phone (02) 4926 2044

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TITLE:
Plan Showing Levels & Detail over Lot 1 in DP 741412
19 High Street
THE HILL

CLIENT: KENTWELL

SCALE: HOR: 1:150	VERT:
DATUM: AHD	DATE OF PLAN: 07.08.2018
CO-ORDS:	DRAWN: JN
DATE OF SURVEY: 02.08.2018	CAD REF: 41517-DET.dwg
SURVEY: SL/AB	REV:
CHECKED: SL/AB	A3
JOB REF: 41517	
SHEET 1 OF 1 SHEETS	

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

17 MARCH 2020

DAC 17/03/2020

DA2019/00998 - 19 HIGH STREET THE HILL

Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER

Application No:	DA2019/00998
Land:	Lot 1 DP 741412
Property Address:	19 High Street The Hill NSW 2300
Proposed Development:	Dwelling house – Alterations and additions

SCHEDULE 1**APPROVED DOCUMENTATION**

1. The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site Plan	117-042 DA 003 Issue 11	SDA	04/07/2019
Ground Floor Plan	117-042 DA 100 Issue 09	SDA	04/07/2019
First Floor Plan	117-042 DA 101 Issue 09	SDA	04/07/2019
Roof Plan	117-042 DA 102 Issue 11	SDA	04/07/2019
Elevation Plans	117-042 DA 200 + DA 201 Issue 11	SDA	04/07/2019
Section Plans	117-042 DA 300 + DA 301 Issue 11 + 09	SDA	04/07/2019
Statement of Environmental Effects	18072	Resolve Urban Planning	September 2019
Statement of Heritage Impact	18-53	Carste Studio	19/11/2018
BASIX Report	A324403_02	James Clarence	05/09/2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. Working drawings and specifications of the proposed building are to be submitted to the NSW Mine Subsidence Board for approval prior to an application for a Construction Certificate and any requirements of the Board are to be included in the documentation for a Construction Certificate application.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

3. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with Australian Standard 2601:2001 - The Demolition of Structures. A copy of the Hazardous Substances Management Plan is to be provided to Council and the demolisher prior to commencement of work.
4. The demolition works are to be undertaken in accordance with Australian Standard 2601:2001 - The Demolition of Structures and the following requirements:
 - a) Demolition works shall be conducted in accordance with the submitted Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan shall be kept on-site for the duration of the proposed development
 - b) The removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by the WorkCover Authority of NSW
 - c) A copy of all waste disposal receipts are to be kept on-site for the duration of the proposed development and made available to authorised Council Officers upon request
 - d) Seven working days' notice in writing is to be given to Council and the owners/occupiers of neighbouring premises prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises shall also include Council's contact telephone number (49742000) and the Workcover Authority of NSW telephone number (49212900) and
 - e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
5. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
6. All excavations and backfilling are to be executed safely in accordance with appropriate professional standards and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
7. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.

8. Stormwater is to be conveyed to the existing property stormwater drains by way of a sealed pipe system. The existing drains are to be checked for adequacy and cleared of any obstructions.
9. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
 - a) showing the name, address and telephone number of the Principal Certifying Authority for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

10. All building work must be carried out in accordance with the provisions of the National Construction Code.
11. In the case of residential building work for which the *Home Building Act 1989* (NSW) requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
12. All building materials, plant and equipment is to be placed on the site of the development so as to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Council reserves including the road reserve is not permitted.
13. A separate application must be lodged and consent obtained from Council for all works within the road reserve pursuant to Section 138 Roads Act 1993 (NSW), before the commencement of works.
14. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

15. Council's 'Prevent Pollution' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary so it is clearly visible to the public or at other locations on the site as otherwise directed by Council for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at Council's Customer Enquiry Counter, Wallsend Library or the Master Builders Association Newcastle.

16. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
17. All public trees that are required to be retained must be physically protected in accordance with the City of Newcastle Urban Forest Technical Manual 'Section 8.0 Protection Measures'.

The tree protection fencing must remain in place and maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

18. The following waste management measures are to be implemented during construction:
 - a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
 - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
 - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site and
 - d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

19. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to Council within fourteen days of receipt.
20. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
21. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a satisfactory state that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to Council's satisfaction prior to the completion of demolition work or prior to the issue of any occupation certificate in respect of development involving building work.

22. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.
23. Prior to the issue of an Occupation Certificate, the building shall be upgraded to comply with Performance Criteria P2.3.2 (Automatic warning for occupants) of the Building Code of Australia.

ADVISORY MATTERS

- An application is to be submitted to Council for the removal or pruning of any trees located more than three metres from the dwelling, wall measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required of any adjoining owner under the provisions of the *Dividing Fences Act 1991* (NSW).
- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development' as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* (NSW) are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to the retaining wall taking place.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of both Council and any other relevant authorities. Council and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Prior to commencing any building works, the following provisions of Division 6.2 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and Council is to be notified of the appointment; and
 - c) Council is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000* (NSW).
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* (NSW) to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice ('on-the-spot fine') or prosecution.

- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979* (NSW), which may be subject to a penalty infringement notice ('on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Council has considered and accepted the proposed development standard variation made under Clause 4.3 (Height of Buildings) of the Newcastle Local Environmental Plan 2012. The proposed 6.2% variation is considered acceptable in the particular circumstances of this case as the variation will not significantly overshadow neighbouring properties, obstruct significant view corridors and detrimentally impact prevailing breezes.
- Council has considered and accepted the proposed development standard variation made under Clause 4.4 (Floor Space Ratio) of the Newcastle Local Environmental Plan 2012. The proposed 25% variation is considered acceptable in the particular circumstances of this case as the bulk and scale of the existing development will remain unchanged when the development is viewed from the streetscape, and the proposed works will not result in any detrimental impact to adjoining residences with respect to overshadowing, privacy or loss of prevailing breezes.
- The proposed development has acceptable heritage impacts and well-considered site planning.
- The proposed development has satisfactorily resolved privacy, overshadowing and view sharing issues.
- Any issues raised in submission have been taken into account in the assessment report and where appropriate conditions of consent have been included in the determination.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

17 MARCH 2020

DAC 17/03/2020

DA2019/00998 - 19 HIGH STREET THE HILL

Attachment C: Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER

PROCESSING CHRONOLOGY

DA 2019/00998 – 19 High Street The Hill

- 13 September 2019 - Application lodged
- 19 September –
3 October 2019 - Public notification. One submission received in response.
- 24 September 2019 - Preliminary request for additional information
- 25 September 2019 - Additional information received
- 17 March 2020 - Application scheduled to proceed to DAC