

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**ITEM 12      DAC 17/09/19 - DA2018/00609 - 147 BEAUMONT STREET  
HAMILTON - DEMOLITION OF DWELLING AND OUTBUILDING,  
ERECTION OF THREE STOREY, SIXTEEN ROOM BOARDING  
HOUSE AND ASSOCIATED FENCING**

**Attachment A** - Submitted Plans - 147 Beaumont Street, Hamilton

**ITEM 13      DAC 17/09/19 - DA2019/00506 - 50 HONEYSUCKLE DRIVE  
NEWCASTLE - TORRENS SUBDIVISION ONE LOT INTO TWO LOT**

**Attachment A** - Submitted Plans - 50 Honeysuckle Drive, Newcastle

**ITEM 14      DAC 17/09/19 - DA2019/00247 - 352 HUNTER STREET, NEWCASTLE  
- COMMERCIAL PREMISES (EIGHT STOREY INCLUDING  
CARPARKING) AND OUTDOOR KIOSK**

**Attachment A** - Submitted Plans - 352 Hunter Street, Newcastle

**DEVELOPMENT APPLICATIONS COMMITTEE MEETING**

**17 September 2019**

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**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**REPORTS BY COUNCIL OFFICERS**

Item 12

**Attachment A - Plans**

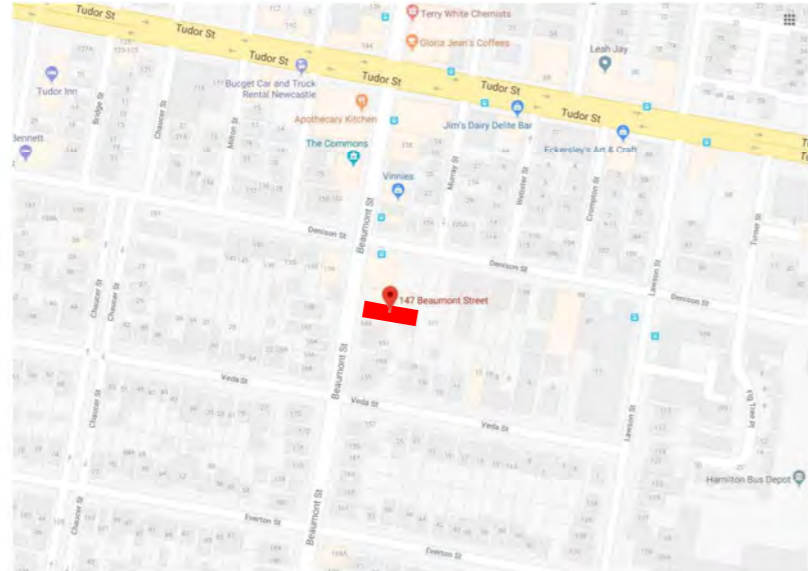
**DA2018/00609 - 147 Beaumont Street Hamilton**

**Demolition of dwelling and outbuilding erection of  
three storey sixteen room boarding house and  
associated fencing**

**DISTRIBUTED UNDER SEPARATE COVER**

# NEW GENERATION BOARDING HOUSE (NGBH)

## 147 BEAUMONT STREET HAMILTON, NSW 2303



**SITE LOCATION**

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
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p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

**LEGEND:**

 **NEW WORKS**

**DRAWING LIST:**

DA00	COVER PAGE	NTS
DA01	SITE PLAN	AS SHOWN
DA02	GROUND FLOOR PLAN	AS SHOWN
DA03	1st FLOOR PLAN	AS SHOWN
DA04	2nd FLOOR PLAN	AS SHOWN
DA05	ROOF PLAN	AS SHOWN
DA06	ELEVATIONS	AS SHOWN
DA07	ELEVATIONS & SECTIONS	AS SHOWN
DA08	TABLE OF AREAS	AS SHOWN
DA09	SHADOW DIAGRAM - WINTER	AS SHOWN
DA10	SHADOW DIAGRAM - SUMMER	AS SHOWN
DA11	MATERIAL SHEET	AS SHOWN
DA12	NOTIFICATION PLAN	AS SHOWN
DA13	SUN ANALYSIS	AS SHOWN

**SARM Architects**

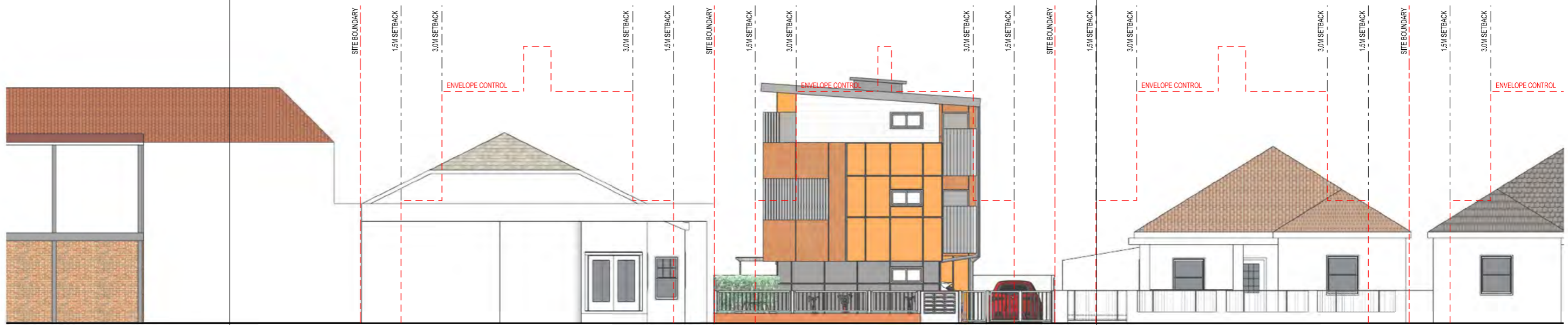
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Job Name  
**NGBH 147 BEAUMONT ST.**  
Client  
**OWARCO 2303 PTY. LPT.**  
Sheet Title  
**COVER PAGE**

Date  
AUG 19  
Scale  
**NTS@A3**  
Drawn  
**JF**  
Job No.  
**18003**  
Checked  
**SA**  
Drawing No.  
DA00 - p15  
Authorised  
**SA**  
Sheet No.  
**00**



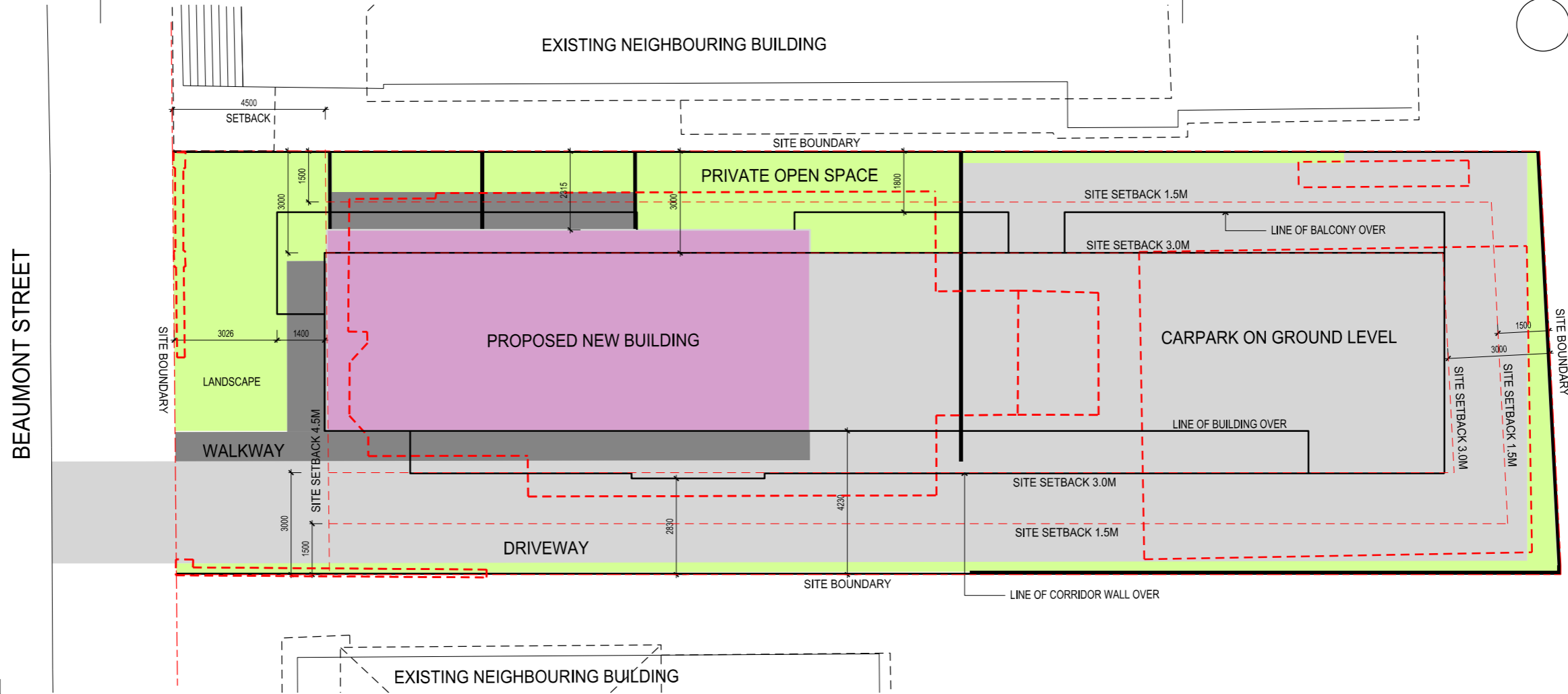
THE EXCHANGE HOTEL

EXISTING BUILDING  
145 BEAUMONT STREET

PROPOSED NEW BUILDING  
147 BEAUMONT STREET

EXISTING BUILDING  
149 BEAUMONT STREET

STREET VIEW



BEAUMONT STREET

LEGEND

- - - SITE BOUNDARY
- - - BUILDINGS TO BE DEMOLISHED SHOWN DOTTED IN RED WHICH INCLUDES EXISTING GARAGE, BRICK FENCE, FENCE, BUILDING, ROOF, CONCRETE SLAB, CLOTHES LINE
- - - BUILDING SETBACK
- PROPOSED NEW BUILDING
- LANDSCAPE AREA - REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- DRIVEWAY / CARPARK
- SLAB / DECKS / WALKWAY

1 SITE PLAN  
1:150



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p1	28/03/18	Preliminary Issue	SA
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p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revsrd	SA
p11	18/02/19	DA Issue - Revsrd	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

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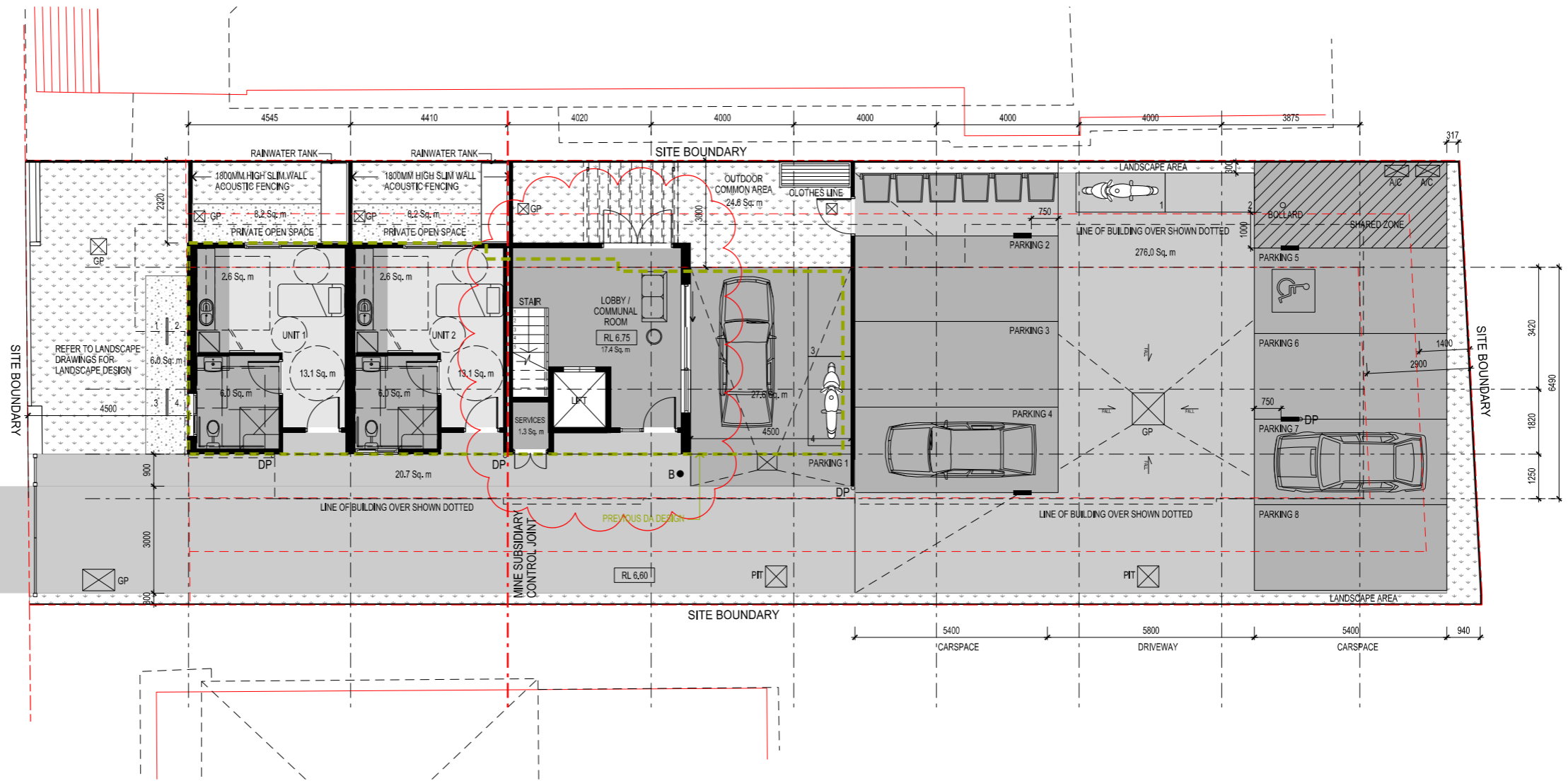
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e architects@sarm.com.au  
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Job Name  
**NGBH 147 BEAUMONT ST.**  
Client  
**OWARCO 2303 PTY. LPT.**  
Sheet Title  
**SITE PLAN**

Date  
AUG 19  
Scale  
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Job No.  
**18003**  
Checked  
**SA**  
Drawing No.  
DA01 - p15  
Authorised  
**SA**  
Sheet No.  
**01**

BEAUMONT STREET



1 GROUND FLOOR - PLAN  
1:150

LEGEND  
 A/C AIR CONDITIONING UNIT  
 DP DOWNPIPE  
 FW FLOOR WASTE  
 RL FLOOR LEVEL

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
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p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

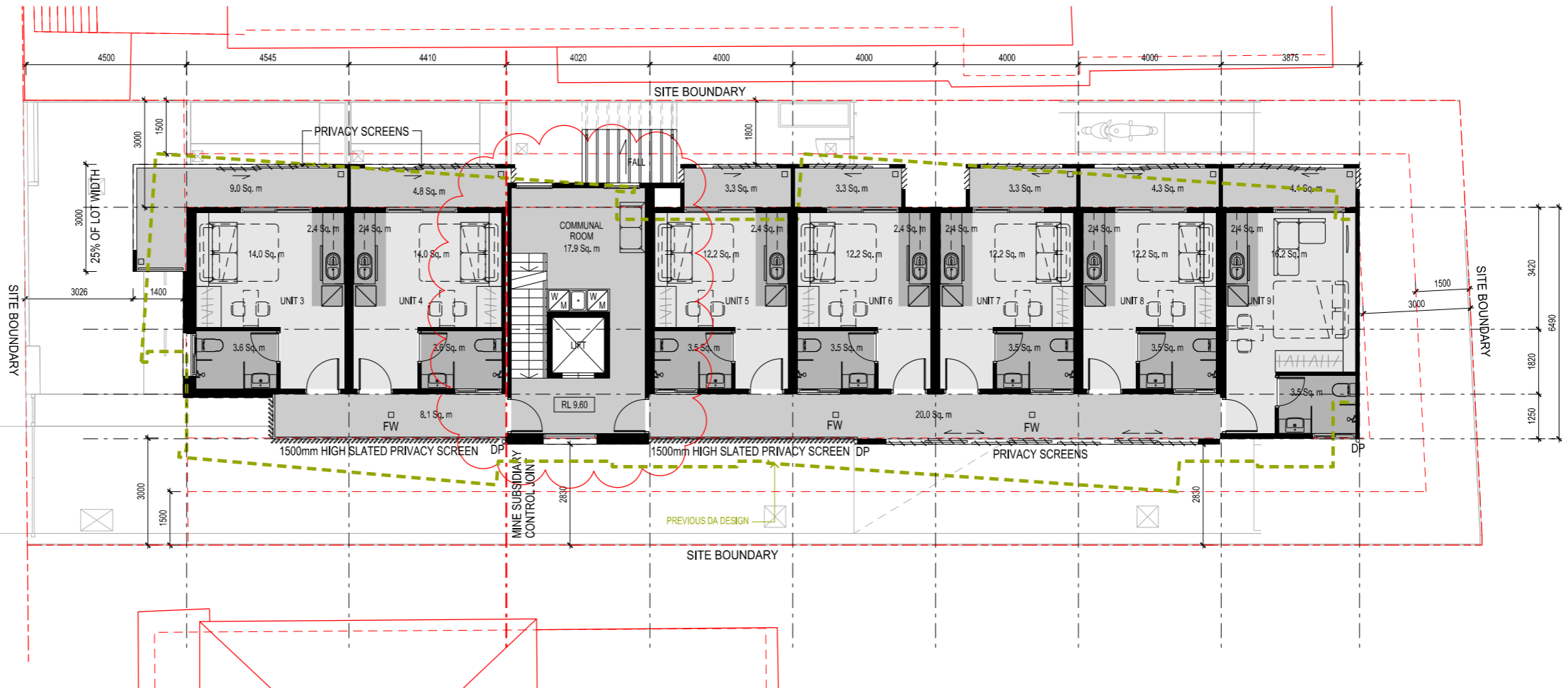
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Job Name  
**NGBH 147 BEAUMONT ST.**  
 Client  
**OWARCO 2303 PTY. LPT.**  
 Sheet Title  
**GROUND FLOOR PLAN**

Date  
 AUG 19  
 Scale  
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 Drawn  
 KO  
 Job No.  
**18003**  
 Checked  
 SA  
 Drawing No.  
 DA02 - p15  
 Authorised  
 SA  
 Sheet No.  
**02**

BEAUMONT STREET



1 1st. FLOOR - PLAN  
1:150

LEGEND  
A/C AIR CONDITIONING UNIT  
DP DOWNPIPE  
FW FLOOR WASTE  
RL FLOOR LEVEL

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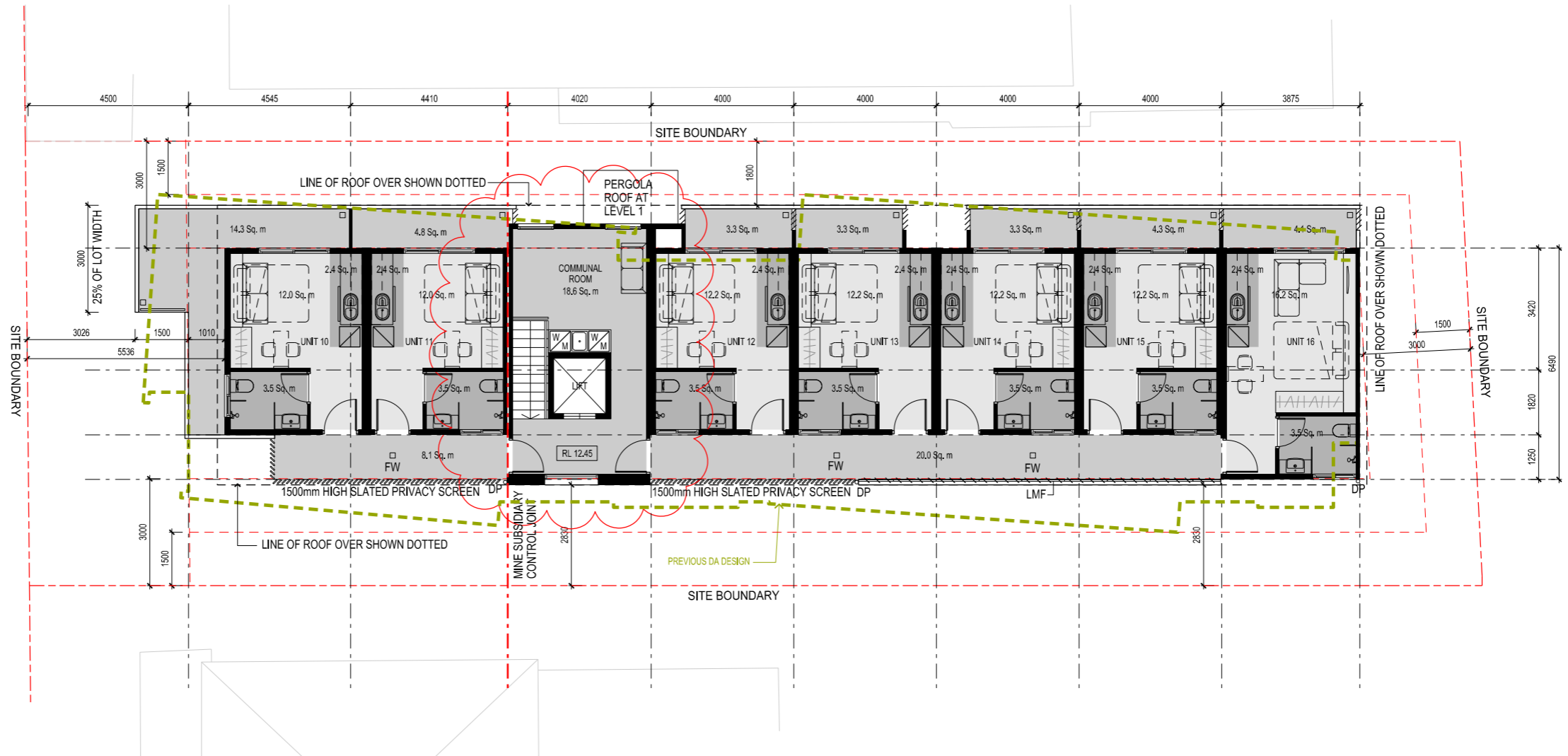
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Job Name  
**NGBH 147 BEAUMONT ST.**  
Client  
**OWARCO 2303 PTY. LPT.**  
Sheet Title  
**1ST FLOOR PLAN**

Date  
AUG 19  
Scale  
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Job No.  
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Drawing No.  
DA03 - p15  
Sheet No.  
**03**

BEAUMONT STREET



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
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p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

1 2nd. FLOOR - PLAN  
1:150

LEGEND  
 A/C AIR CONDITIONING UNIT  
 DP DOWNPIPE  
 FW FLOOR WASTE  
 RL FLOOR LEVEL

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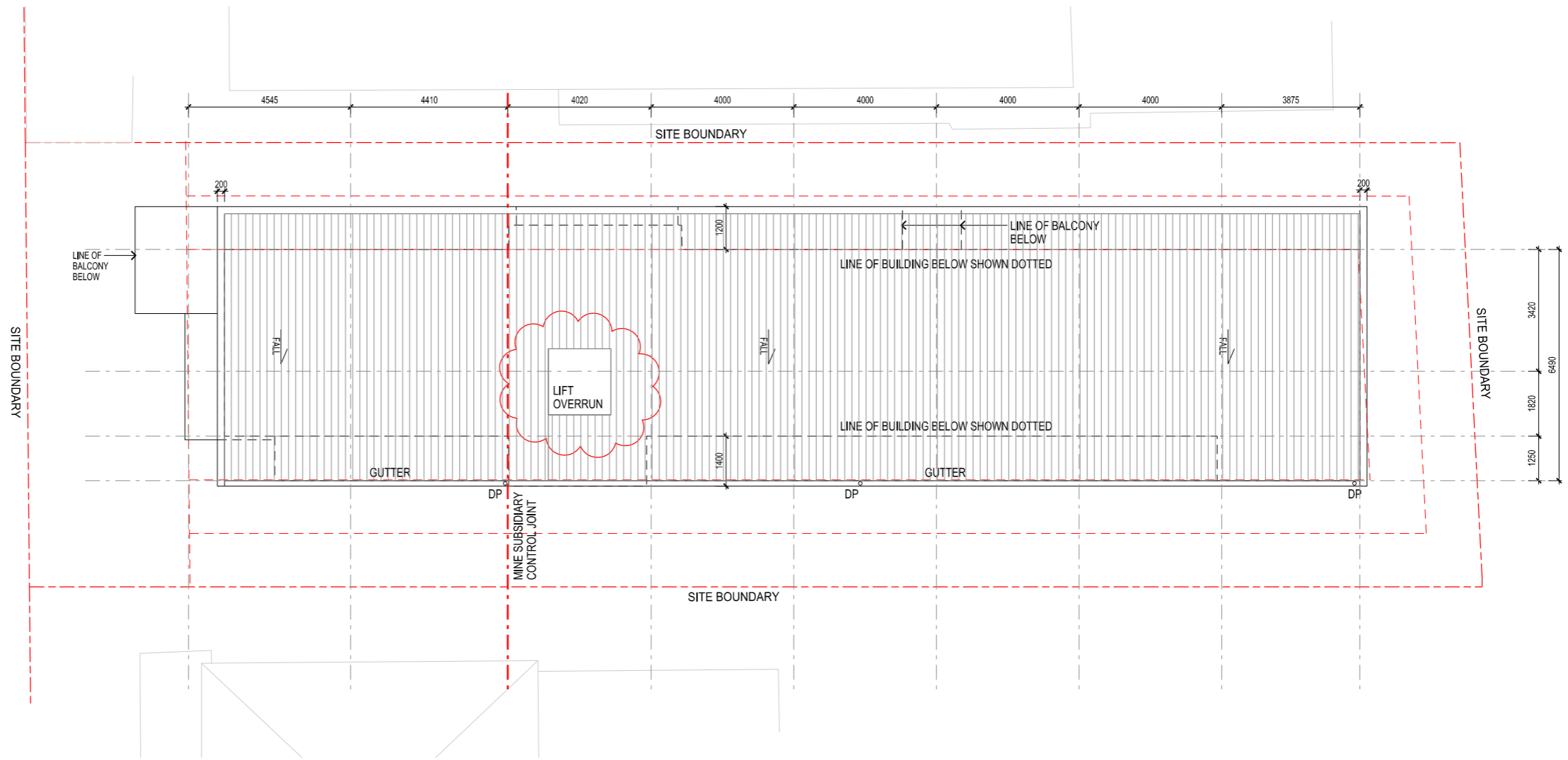
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Job Name  
**NGBH 147 BEAUMONT ST.**  
 Client  
**OWARCO 2303 PTY. LPT.**  
 Sheet Title  
**2ND FLOOR PLAN**

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 Job No.  
**18003**  
 Checked  
 SA  
 Drawing No.  
 DA04 - p15  
 Authorised  
 SA  
 Sheet No.  
**04**

BEAUMONT STREET



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
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p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

1 ROOF PLAN  
1:150

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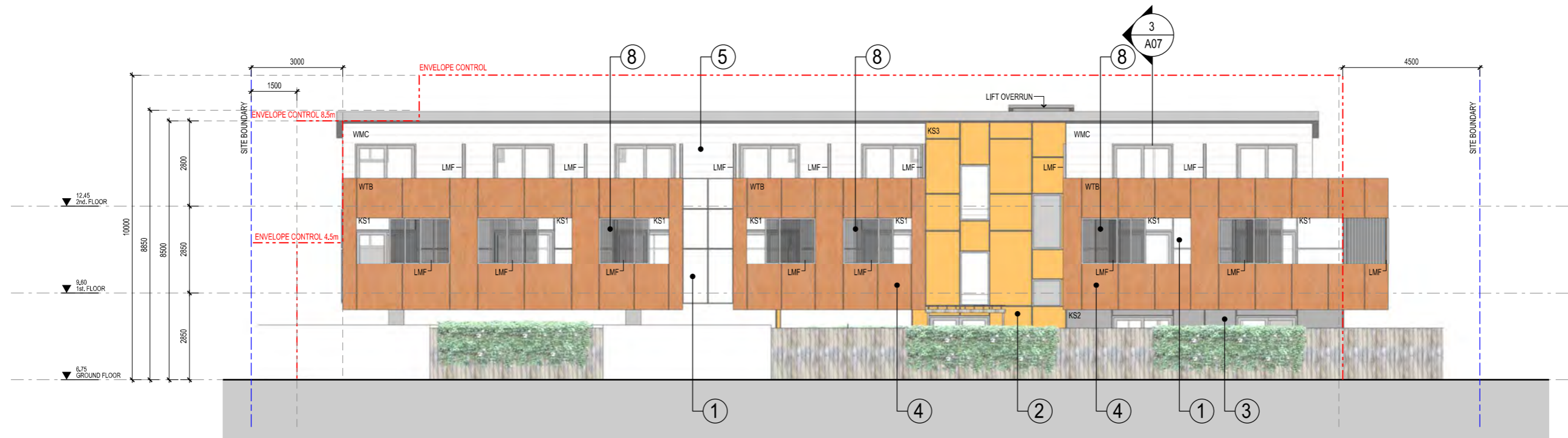
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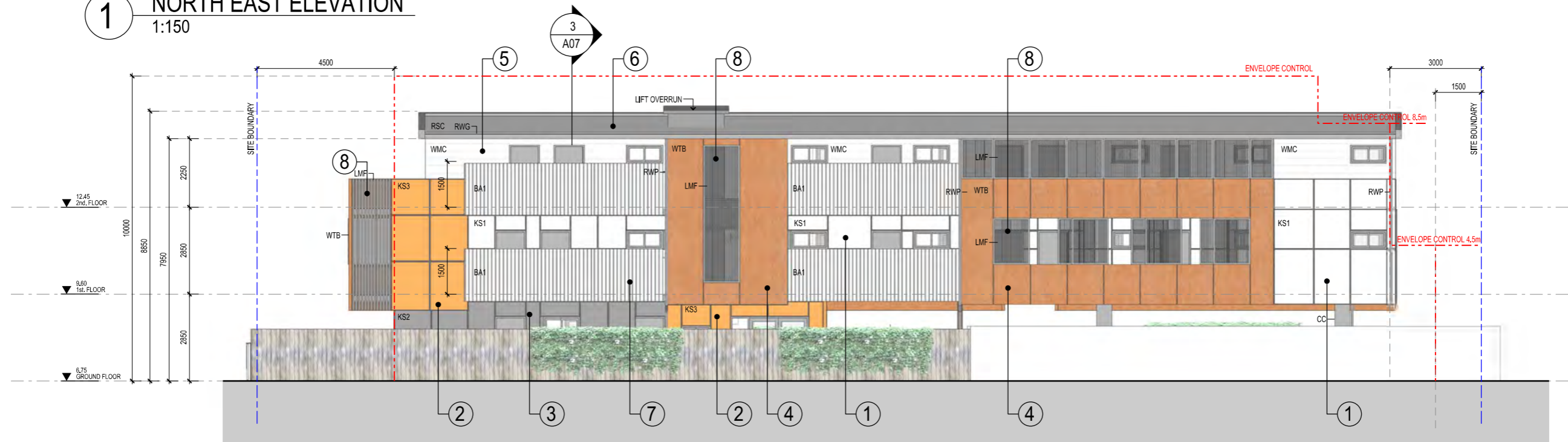
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**NGBH 147 BEAUMONT ST.**  
Client  
**OWARCO 2303 PTY. LPT.**  
Sheet Title  
**ROOF PLAN**

Date  
AUG 19  
Scale  
**1:150@A3**  
Drawn  
KO  
Job No.  
**18003**  
Checked  
SA  
Drawing No.  
DA05 - p15  
Authorised  
SA  
Sheet No.  
05





**1 NORTH EAST ELEVATION**  
1:150



**2 SOUTH WEST ELEVATION**  
1:150

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
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p10	14/02/19	DA Issue - Revs'd	SA
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p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

**MATERIALS LEGEND**

							
1. KINGSPAN PANEL - WHITE	2. KINGSPAN PANEL - ORANGE	3. KINGSPAN PANEL - DARK GREY	4. TIMBER WALL PANEL	5. CORRUGATED METAL SHEET	6. CORRUGATED ROOF SHEETING	7. 1500MM HIGH SLATED PRIVACY SCREEN	8. ALUMINIUM PRIVACY LOUVRES

**LEGEND**

BA1	BALUTRADE TYPE 1 - 1500mm HIGH SLATED PRIVACY SCREEN
KS1	KINGSPAN PANEL - WHITE
KS2	KINGSPAN PANEL - DARK GREY
KS3	KINGSPAN PANEL - ORANGE
LMF	ALUMINIUM PRIVACY LOUVRES
RSC	CORRUGATED METAL ROOF SHEETING
RWG	RAINWATER GUTTER
RWP	RAINWATER DOWNPIPE
WMC	CORRUGATED METAL WALL SHEETING
WTB	TIMBER WALL PANELS

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**Job Name**  
NGBH 147 BEAUMONT ST.

**Client**  
OWARCO 2303 PTY. LPT.

**Sheet Title**  
**ELEVATIONS**

**Date**  
AUG 19

**Scale**  
1:150@A3

**Drawn**  
KO

**Job No.**  
18003

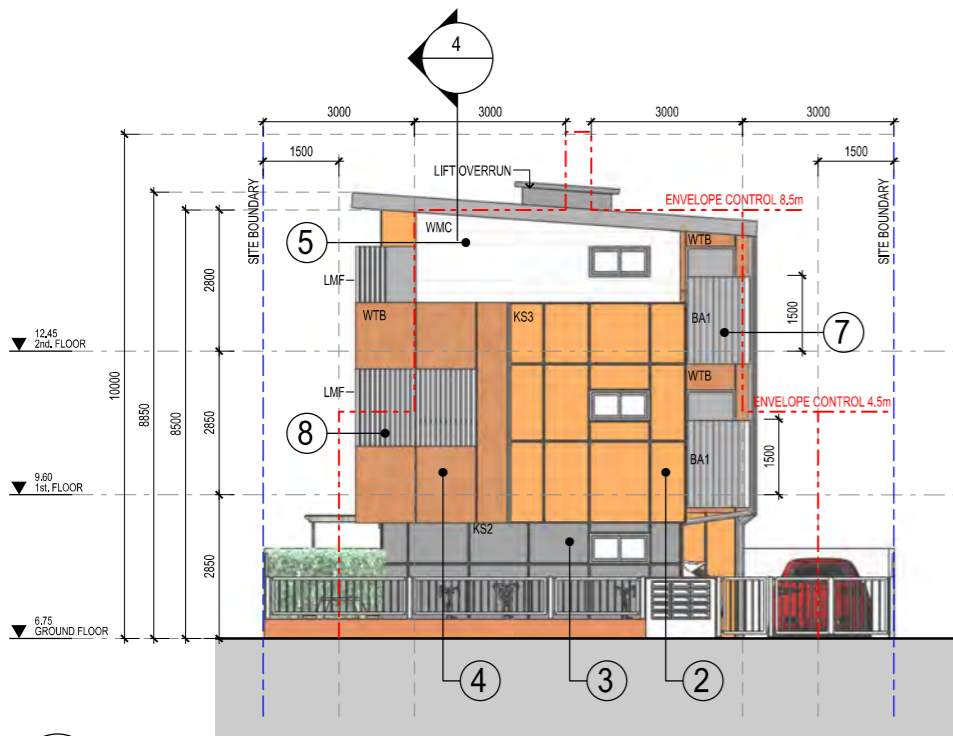
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DA06 - p15

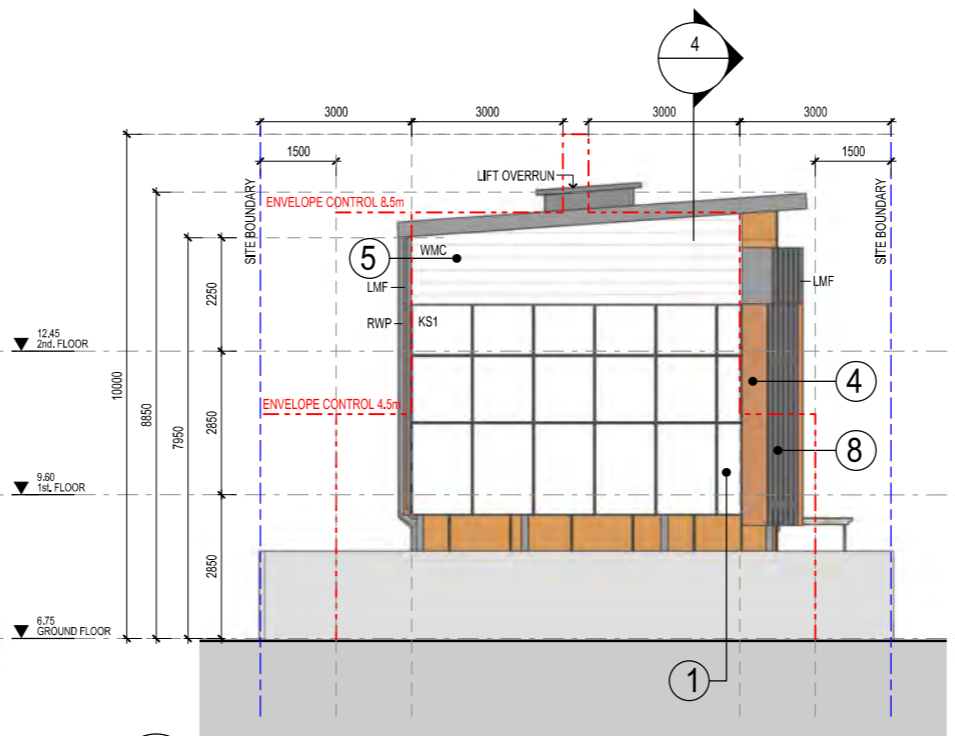
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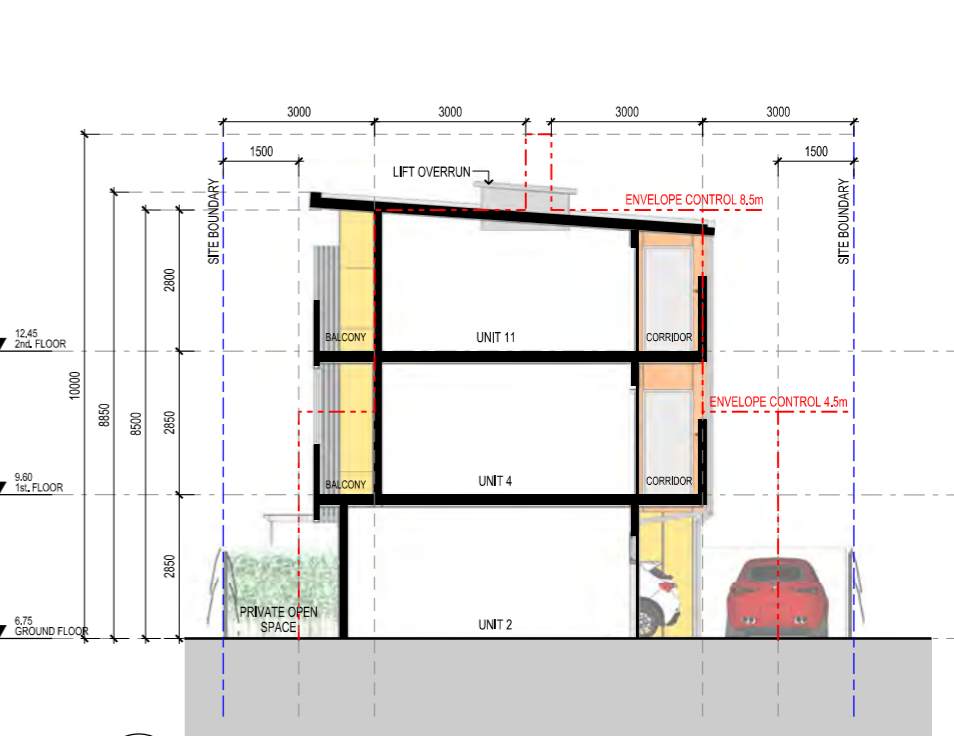
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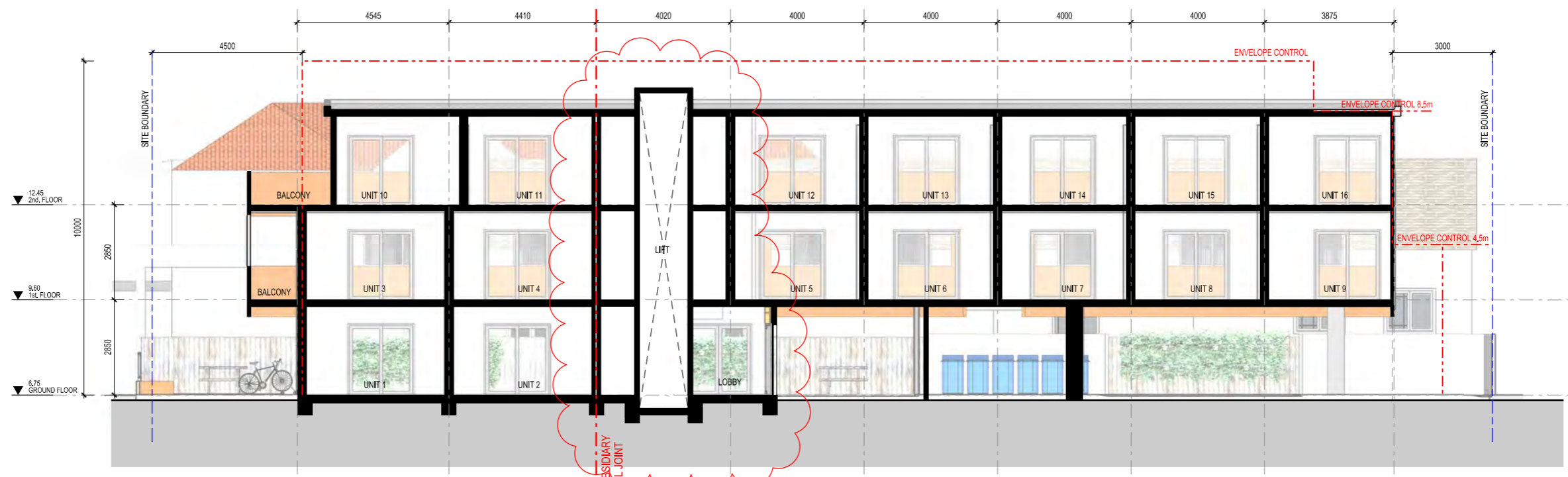
**1** NORTH WEST ELEVATION  
1:150



**2** SOUTH EAST ELEVATION  
1:150








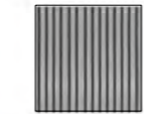


**3** SECTION 1  
1:150



**4** SECTION 2  
1:150

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
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**MATERIALS LEGEND**

-   
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-   
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-   
 3. KINGSPAN PANEL - DARK GREY
-   
 4. TIMBER WALL PANEL
-   
 5. CORRUGATED METAL SHEET
-   
 6. CORRUGATED ROOF SHEETING
-   
 7. 1500MM HIGH SLATED PRIVACY SCREEN
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 8. ALUMINIUM PRIVACY LOUVRES

**LEGEND**

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**SARM Architects**

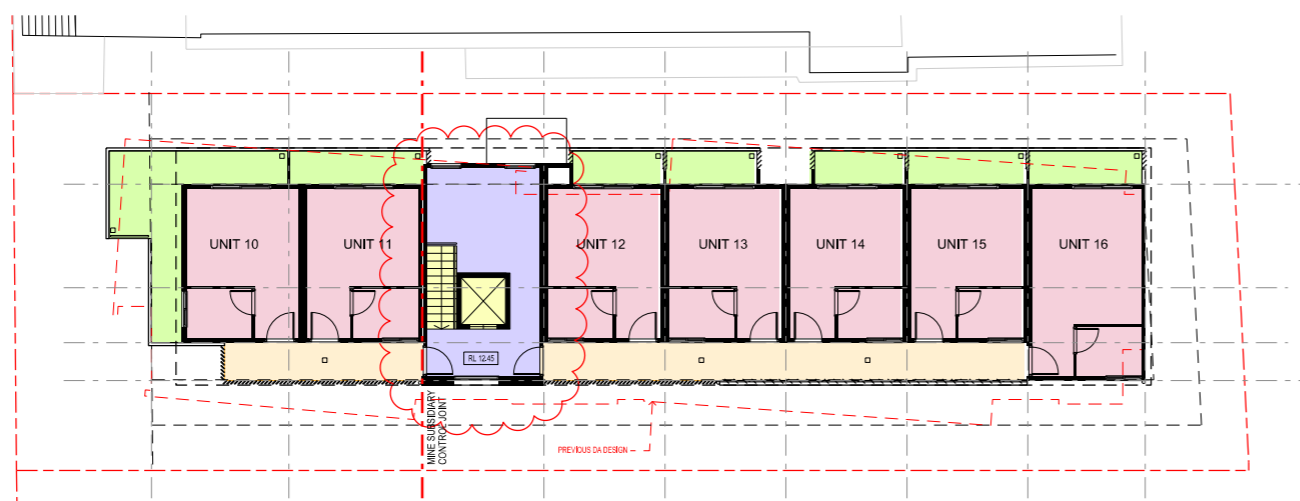
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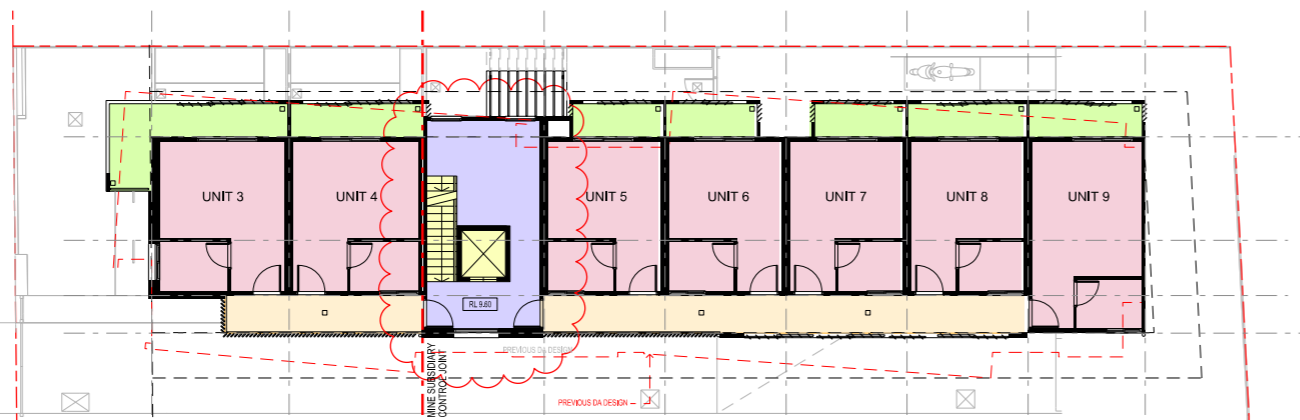
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Job Name	NGBH 147 BEAUMONT ST.	Date	AUG 19	Scale	1:150@A3
Client	OWARCO 2303 PTY. LPT.	Drawn	KO	Job No.	18003
Sheet Title	<b>ELEVATIONS</b>	Checked	SA	Drawing No.	DA07 - p15
		Authorised	SA	Sheet No.	07

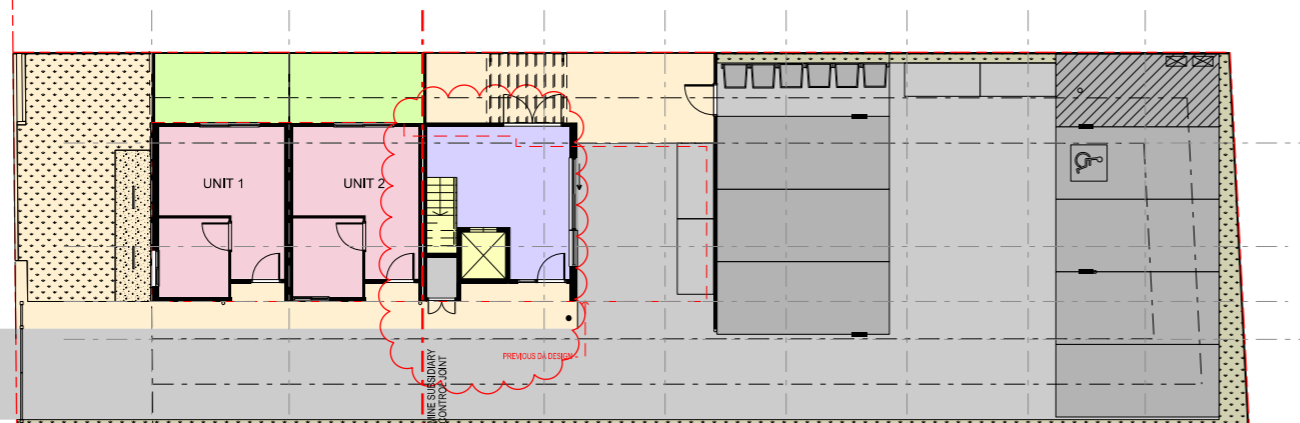
# NGBH 147 BEAUMONT STREET HAMILTON



2nd FLOOR



1st FLOOR



GROUND FLOOR

SITE AREA	499.5 Sq.m
FSR	0.9 : 1 (449.6 Sq.m)
FLOOR AREA - UNIT	312.2 Sq.m
FLOOR AREA - COMMON AREA	53.9 Sq.m
TOTAL FLOOR AREA	366.1 Sq.m (0.73:1)

LEGEND:

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE / BALCONY
- UNITS
- COMMON AREA
- VERTICAL CIRCULATION
- PARKING
- LANDSCAPING

## TABLE OF AREAS

GROUND FLOOR		Sq.m	TOTAL Sq.m
UNIT 1 ADAPTABLE	ROOM	13.1	29.9
	KITCHEN	2.6	
	AMENITY	6.0	
	PRIVATE OPEN SPACE	8.2	
UNIT 2 ADAPTABLE	ROOM	13.1	29.9
	KITCHEN	2.6	
	AMENITY	6.0	
	PRIVATE OPEN SPACE	8.2	
<b>TOTAL AREA</b>		<b>43.4</b>	<b>59.8</b>
		16.4	
<b>OTHER</b>		<b>17.4</b>	<b>345.7</b>
		26.4	
		276.0	
		24.6	
		1.3	

1st. FLOOR		Sq.m	TOTAL Sq.m
UNIT 3	ROOM	14.0	29.0
	KITCHEN	2.4	
	AMENITY	3.6	
	BALCONY	9.0	
UNIT 4	ROOM	14.0	24.8
	KITCHEN	2.4	
	AMENITY	3.6	
	BALCONY	4.8	
UNIT 5	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 6	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 7	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 8	ROOM	12.2	22.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.3	
UNIT 9	ROOM	16.2	26.2
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.1	
<b>TOTAL AREA</b>		<b>134.4</b>	<b>166.6</b>
		32.2	
<b>OTHER</b>		<b>17.9</b>	<b>46.0</b>
		28.1	

2nd. FLOOR		Sq.m	TOTAL Sq.m
UNIT 10	ROOM	12.0	32.2
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	14.3	
UNIT 11	ROOM	12.0	22.7
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.8	
UNIT 12	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 13	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 14	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 15	ROOM	12.2	22.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.3	
UNIT 16	ROOM	16.2	26.2
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.1	
<b>TOTAL AREA</b>		<b>134.4</b>	<b>166.6</b>
		37.5	
<b>OTHER</b>		<b>18.6</b>	<b>46.7</b>
		28.1	

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

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reg. no. 7271

Job Name  
**NGBH 147 BEAUMONT ST.**

Client  
**OWARCO 2303 PTY. LPT.**

Sheet Title  
**TABLE OF AREAS**

Date  
AUG 19

Scale  
A3

Drawn  
KO

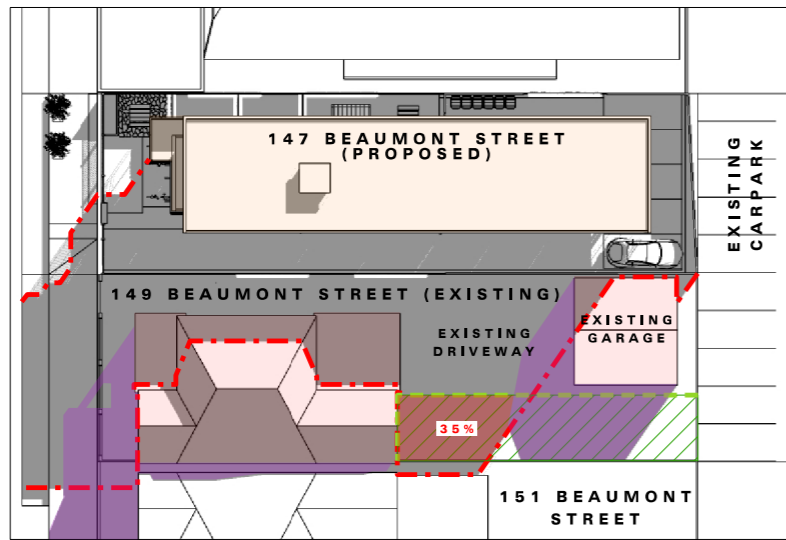
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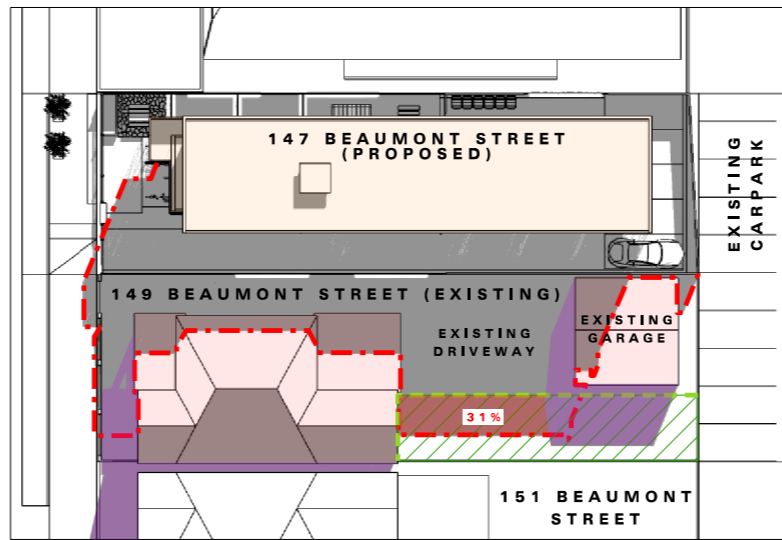
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Drawing No.  
DA08-p15

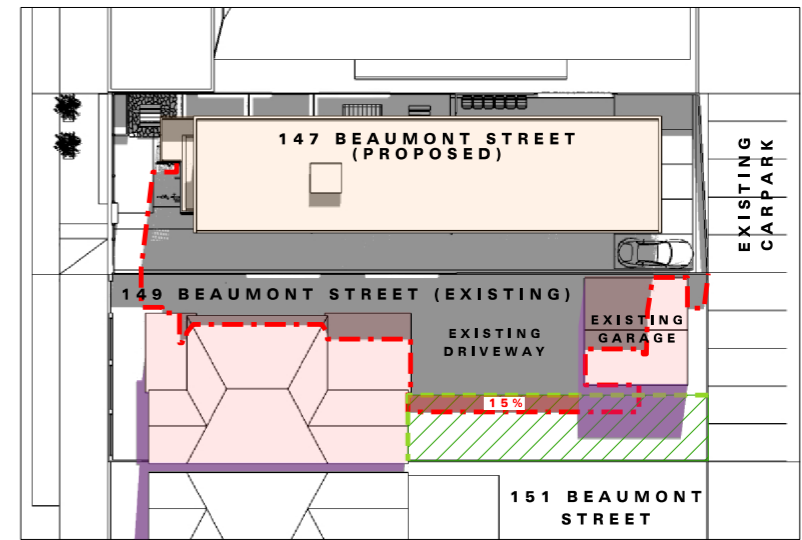
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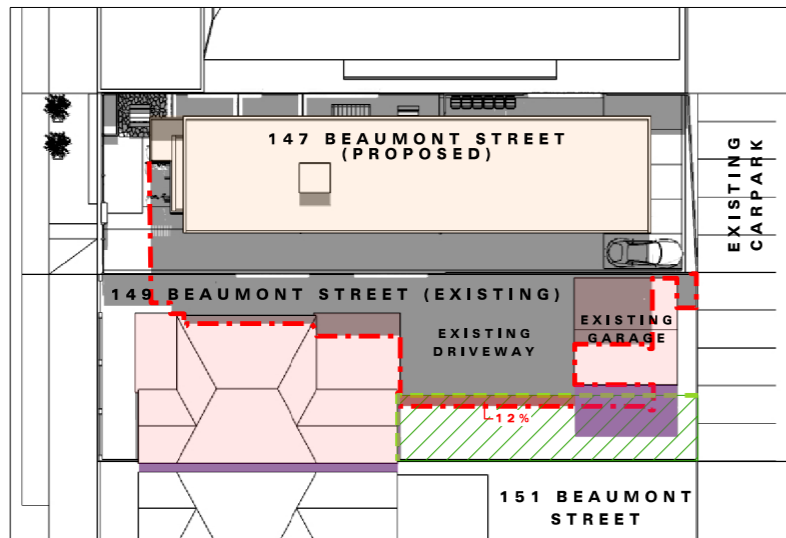
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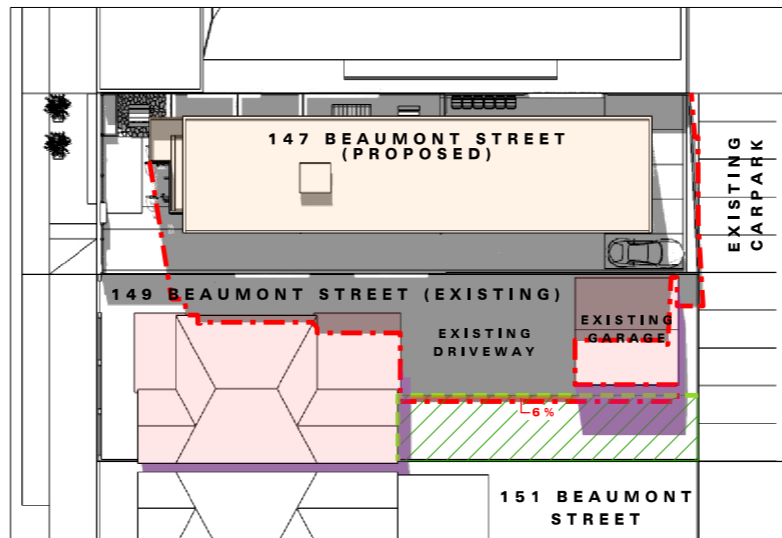
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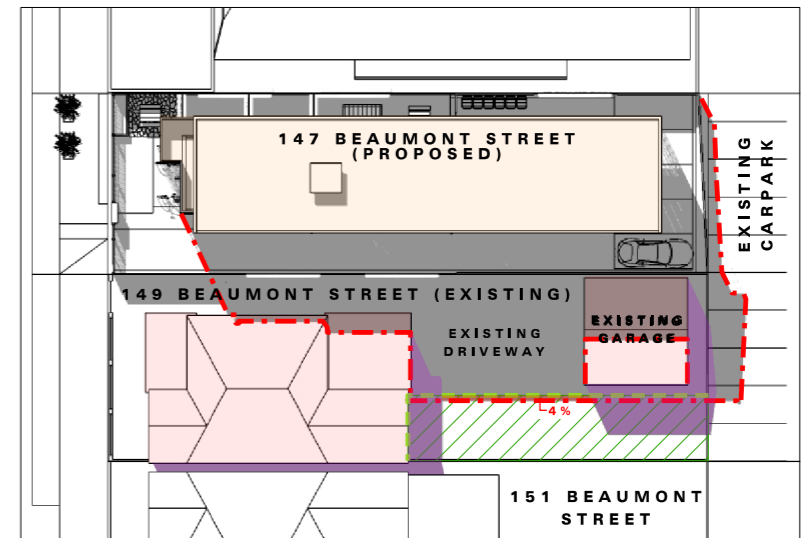
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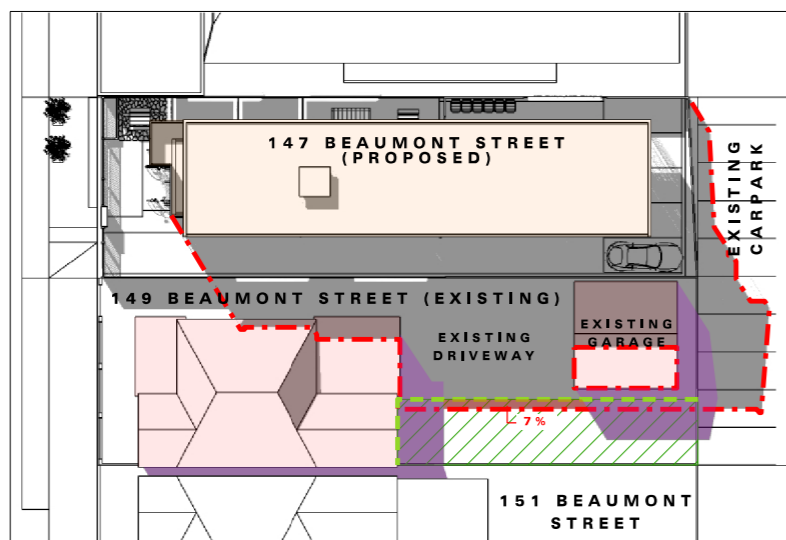
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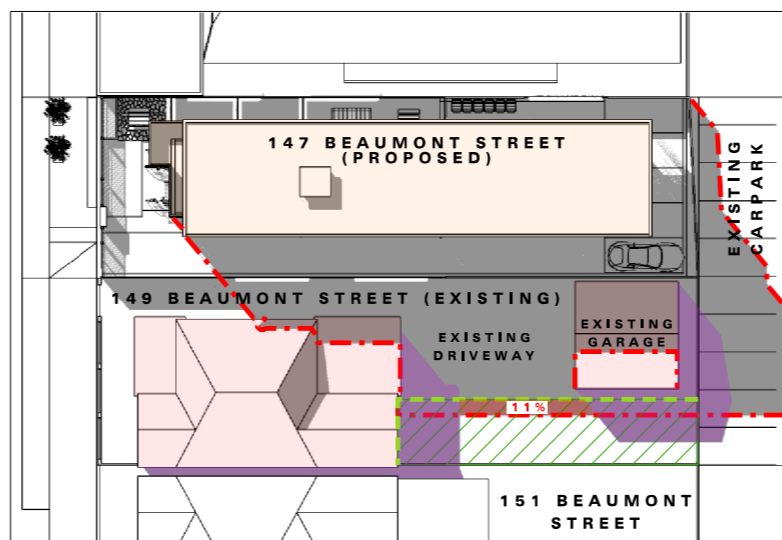
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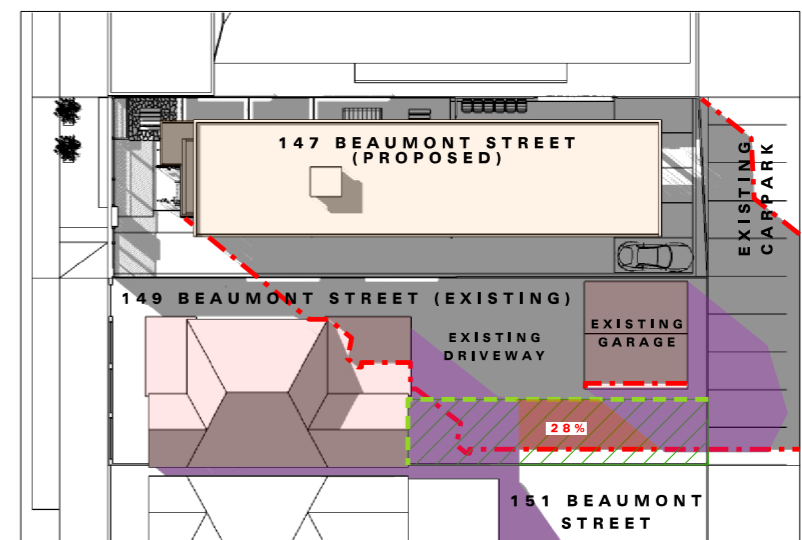
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1 : 3 0 p m ●



2 : 0 0 p m ●



3 : 0 0 p m ●

## SHADOW DIAGRAM | WINTER SOLSTICE | JUNE 21st

### LEGEND:

- 147 BEAUMONT STREET (PROPOSED NEW BUILDING)
- 149 BEAUMONT STREET (EXISTING BUILDING)
- EXTENT OF PROPOSED NEW BUILDING SHADOW (147 BEAUMONT STREET)
- EXTENT OF EXISTING BUILDING SHADOW (149 BEAUMONT STREET)
- EXISTING PRIVATE OPEN SPACE ON 149 BEAUMONT STREET
- PERCENTAGE OF ADDITIONAL SHADOW CAST BY PROPOSED BUILDING (147 BEAUMONT STREET)
- MORE THAN 20% OF AREA IS AFFECTED
- LESS THAN 20% OF AREA IS AFFECTED

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

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Robert McNameara  
reg. no. 7271

Job Name  
**NGBH 147 BEAUMONT ST.**

Client  
**OWARCO 2303 PTY. LPT.**

Sheet Title  
**SHADOW DIAGRAM WINTER**

Date  
AUG 19

Scale  
**NTS@A3**

Drawn  
KO

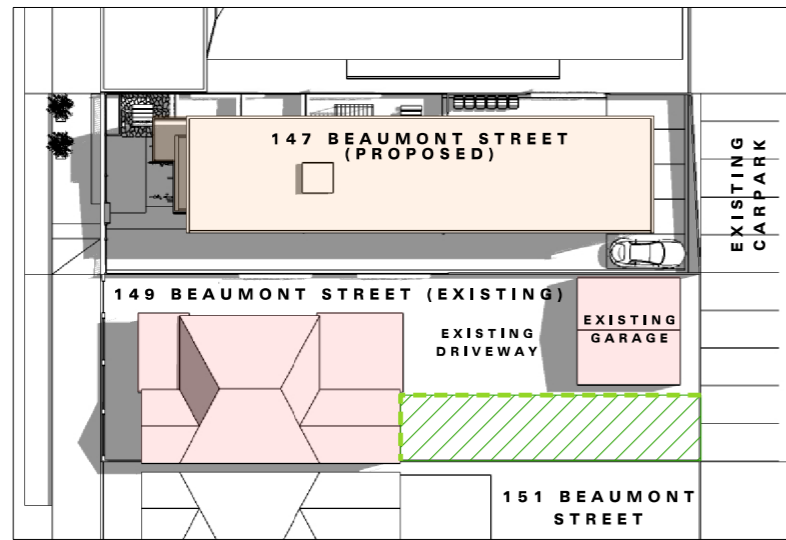
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**18003**

Checked  
SA

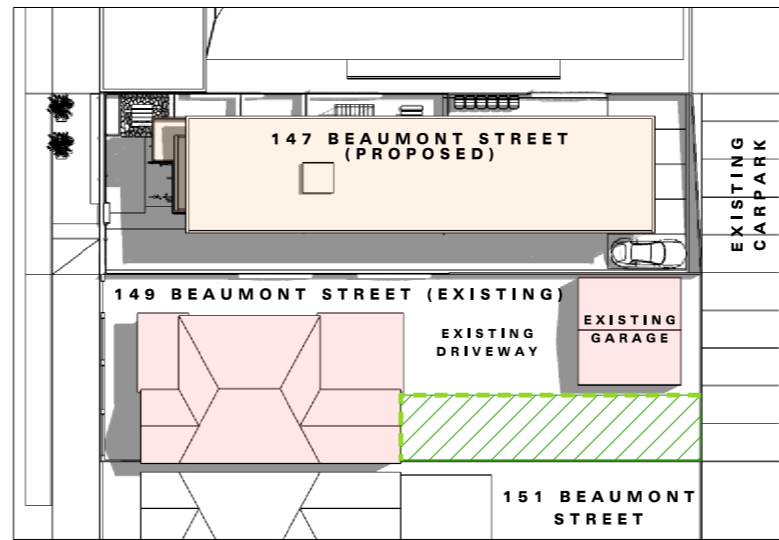
Drawing No.  
DA09-p15

Authorised  
SA

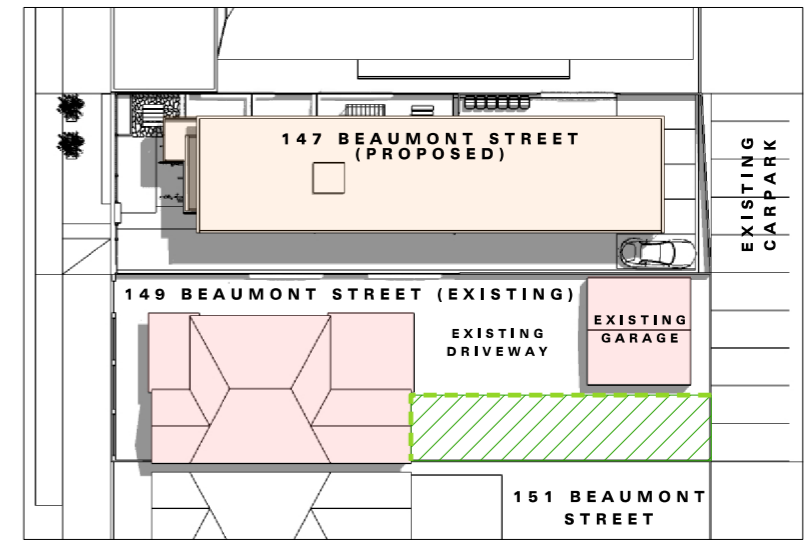
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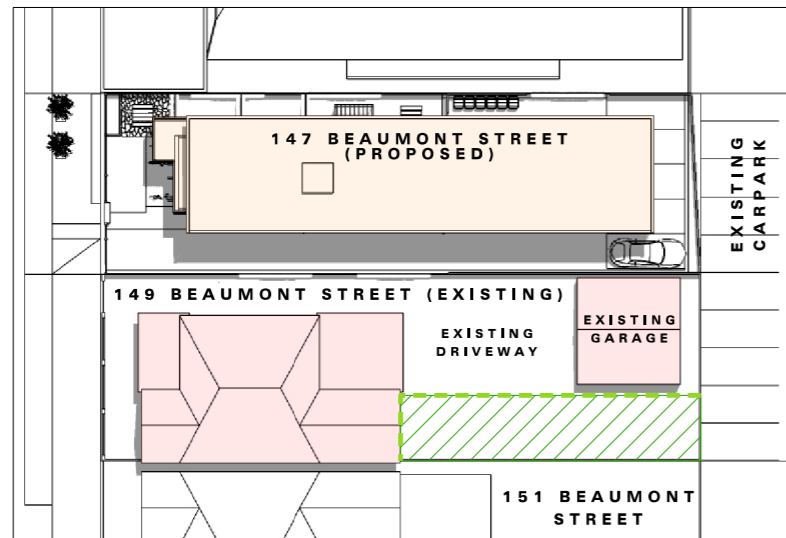
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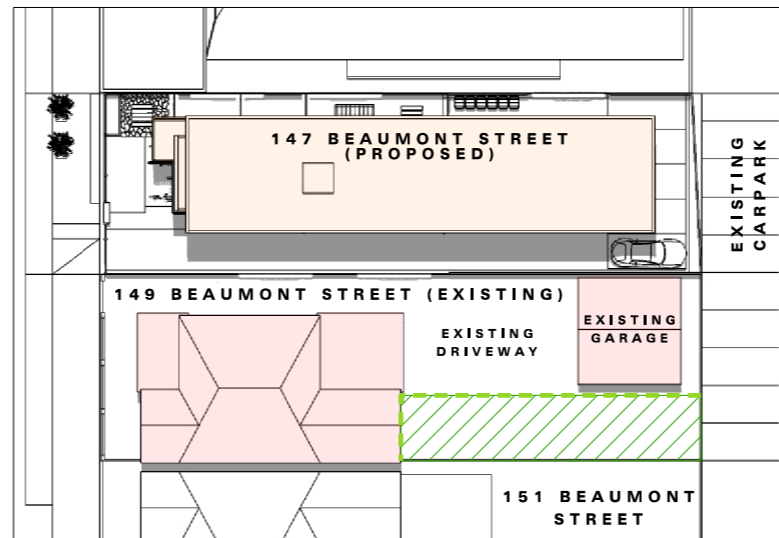
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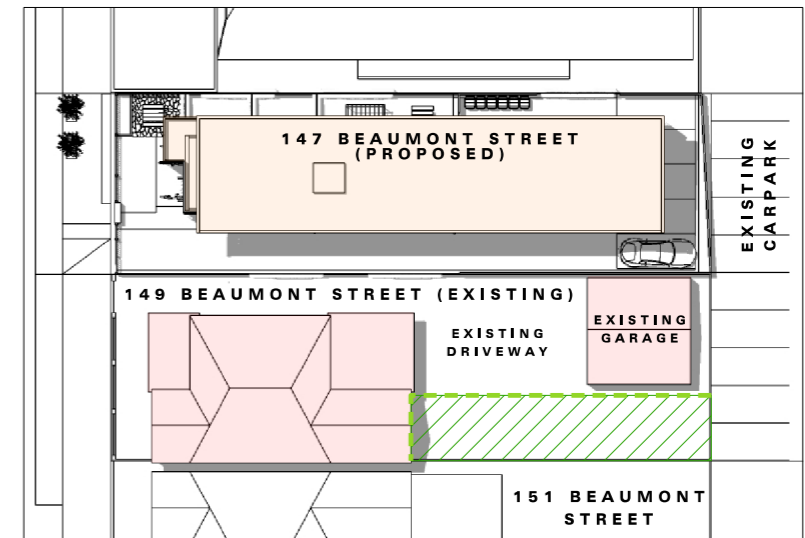
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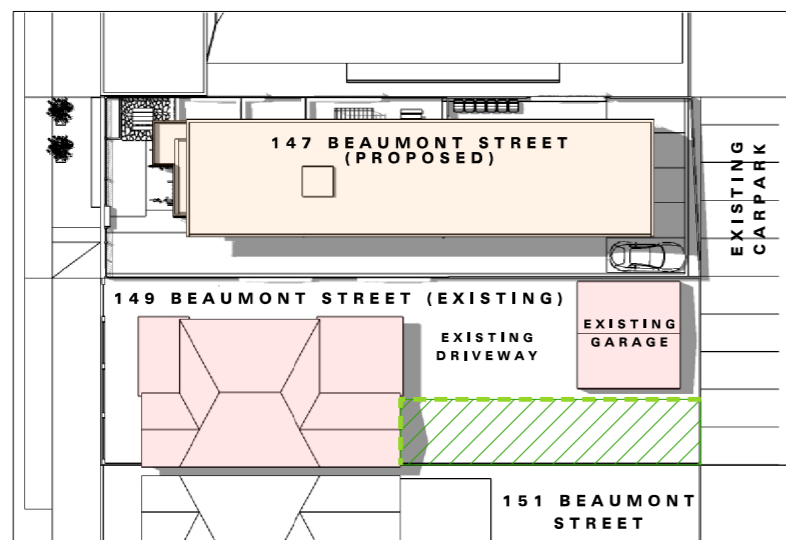
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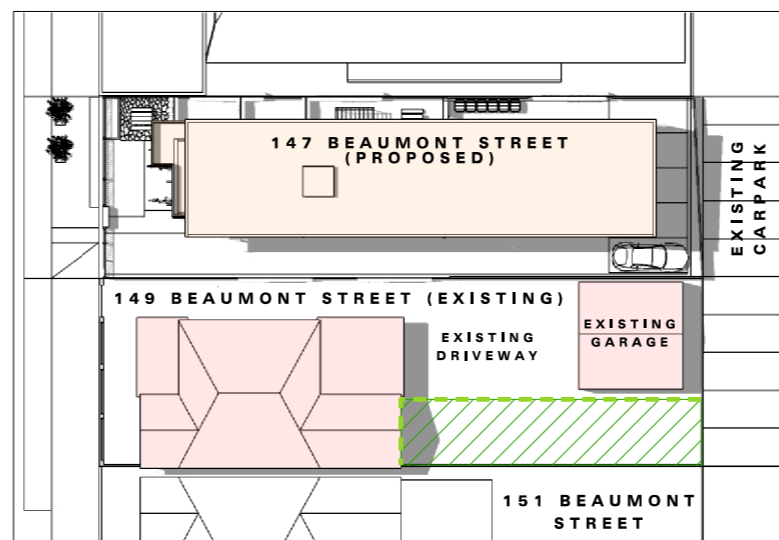
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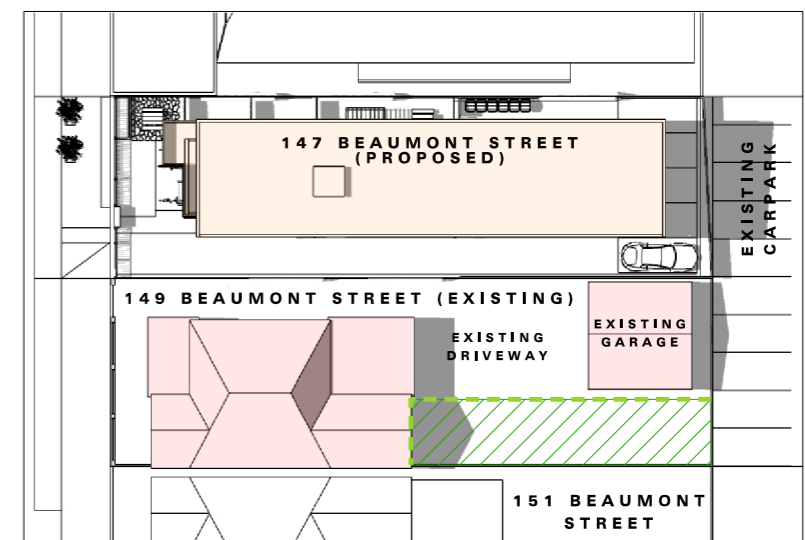
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1 : 3 0 p m



2 : 0 0 p m



3 : 0 0 p m

# SHADOW DIAGRAM | SUMMER SOLSTICE | JANUARY 21st

LEGEND:

- 147 BEAUMONT STREET (PROPOSED NEW BUILDING)
- 149 BEAUMONT STREET (EXISTING BUILDING)
- EXISTING PRIVATE OPEN SPACE ON 149 BEAUMONT STREET

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

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Stephen Arforn reg. no. 7645  
Robert McNamara reg. no. 7271

Job Name  
**NGBH 147 BEAUMONT ST.**

Client  
**OWARCO 2303 PTY. LPT.**

Sheet Title  
**SHADOW DIAGRAM  
SUMMER**

Date  
AUG 19

Scale  
**NTS@A3**

Drawn  
KO

Job No.  
**18003**

Checked  
SA

Drawing No.  
DA10-p15

Authorised  
SA

Sheet No.  
**10**



## MATERIALS / COLOUR PALLETE



1. KINGSPAN PANEL - WHITE



2. KINGSPAN PANEL - ORANGE



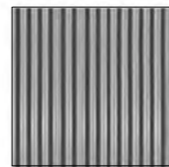
3. KINGSPAN PANEL - DARK GREY



4. TIMBER WALL PANEL



5. CORRUGATED METAL SHEET



6. CORRUGATED ROOF SHEETING



7. 1500MM HIGH SLATED PRIVACY SCREEN



8. ALUMINIUM PRIVACY LOUVRES

## PRECEDENT STUDIES



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA

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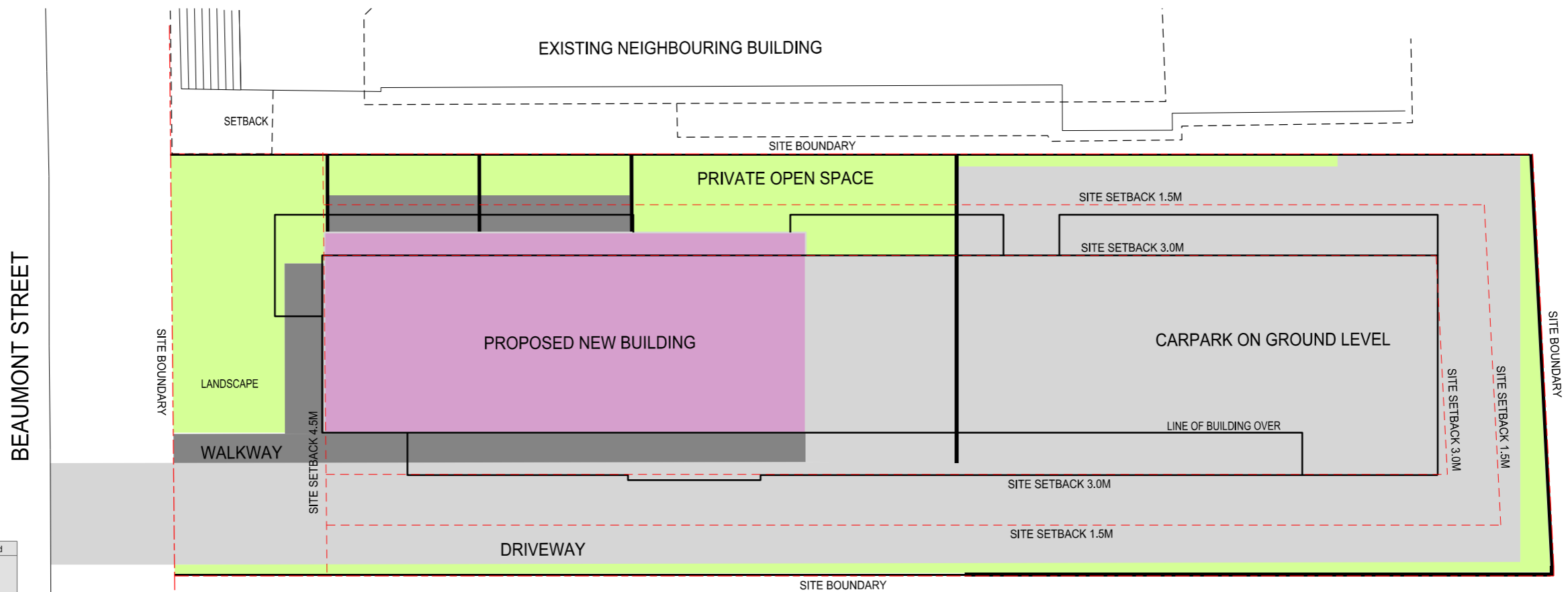
Job Name  
**NGBH 147 BEAUMONT ST.**  
Client  
**OWARCO 2303 PTY. LPT.**  
Sheet Title  
**MATERIAL SHEET**

live learn  
work care

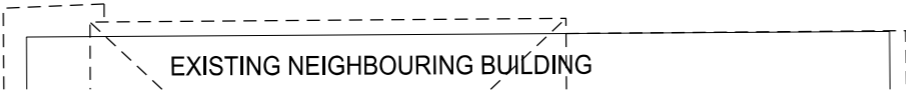
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AUG 19  
Scale  
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Drawn  
JF  
Job No.  
18003  
Checked  
SA  
Drawing No.  
DA11-p15  
Authorised  
SA  
Sheet No.  
11



ELEVATIONS



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA
p15	22/08/19	Revised DA Issue	SA



SITE PLAN

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Job Name  
**NGBH 147 BEAUMONT ST.**

Client  
**OWARCO 2303 PTY. LPT.**

Sheet Title  
**NOTIFICATION PLAN**

Date  
AUG 19

Scale  
**NTS**

Drawn  
**KO**

Job No.  
**18003**

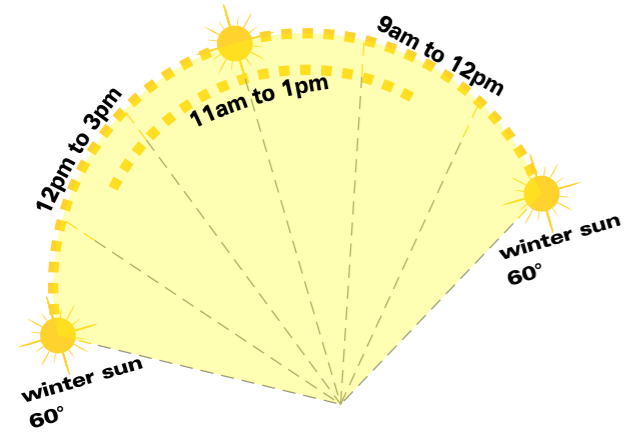
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Drawing No.  
DA12 - p15

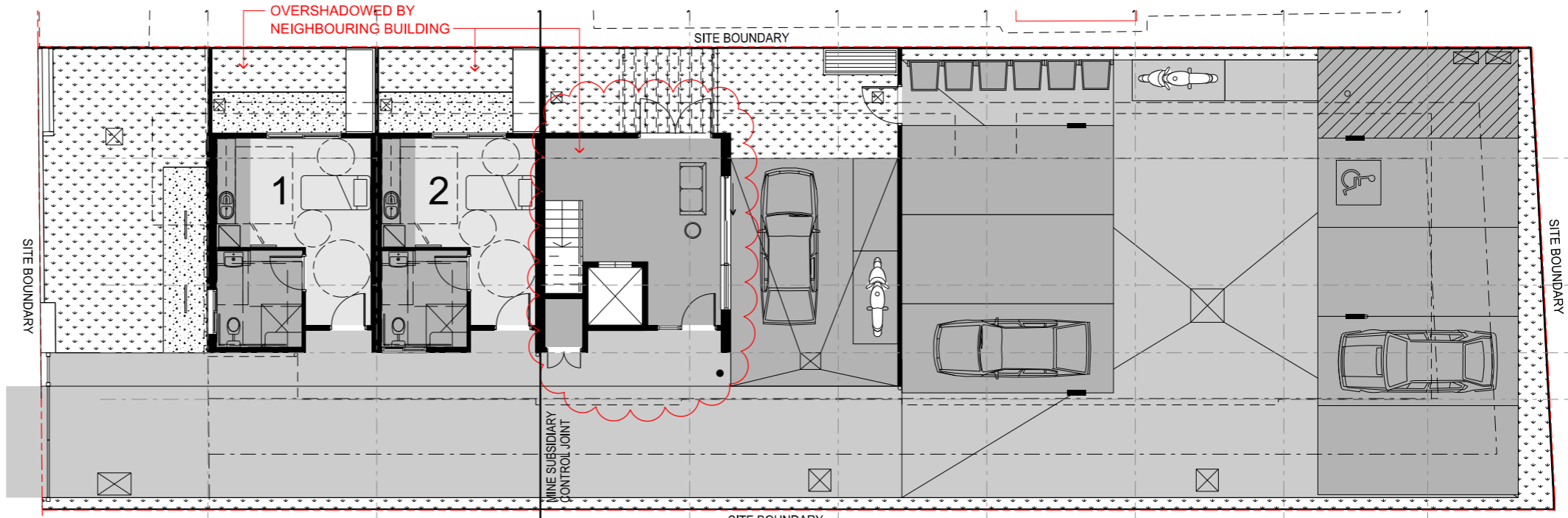
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Sheet No.  
**12**

live learn work care



SUN PATH LEGEND



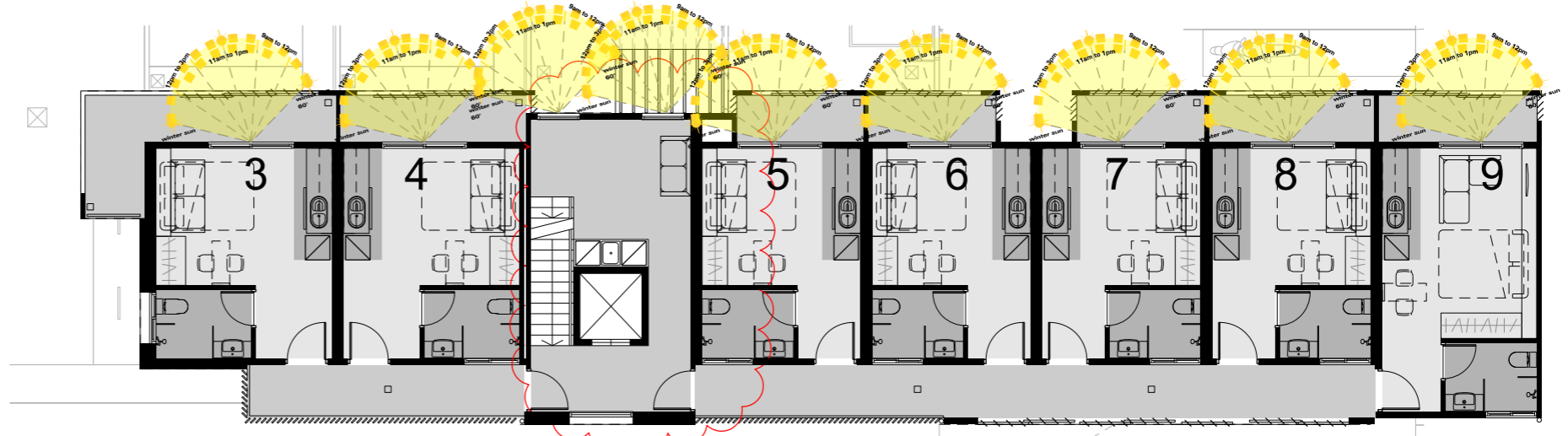
GROUND FLOOR PLAN

SUNLIGHT TO LIVING ROOM & PRIVATE OPEN SPACE

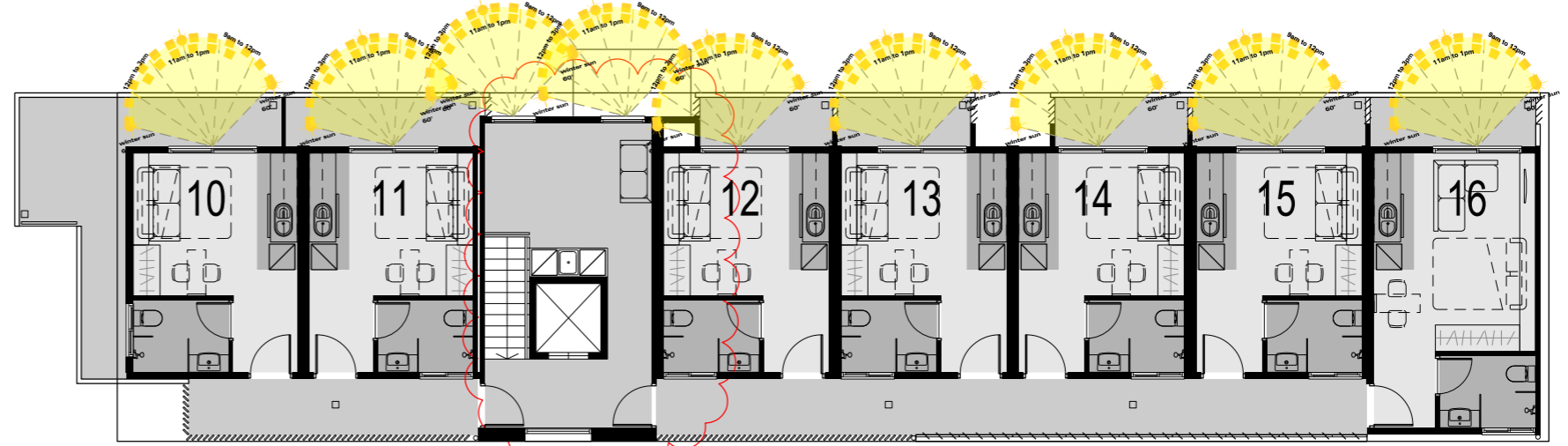
UNIT	MORE THAN 3 HOUR SUN ACHIEVED	COMMENTS
1		OVERSHADOWED BY NEIGHBOURING BUILDING
2		OVERSHADOWED BY NEIGHBOURING BUILDING
3		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
4		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
5		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
6		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
7		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
8		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
9		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
10		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
11		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
12		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
13		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
14		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
15		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
16		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
COMMUNAL ROOM (GF)		OVERSHADOWED BY NEIGHBOURING BUILDING
COMMUNAL ROOM (L1)		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER
COMMUNAL ROOM (L2)		RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER

RECEIVES 3 HOURS OF SUNLIGHT DURING MID-WINTER  
 OVERSHADOWED BY NEIGHBOURING BUILDING

14 OF 16 UNITS (87%) RECEIVES MORE THAN 3 HOURS OF SUN TO PRIVATE OPEN SPACE + LIVING AREA  
 COMMUNAL ROOM IN L1 & L2 RECEIVES MORE THAN 3 HOURS OF SUN



LEVEL 1 PLAN



LEVEL 2 PLAN

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**Job Name**  
 NGBH 147 BEAUMONT ST.  
**Client**  
 OWARCO 2303 PTY. LPT.  
**Sheet Title**  
 SUN ANALYSIS

**Date**  
 AUG 19  
**Drawn**  
 KO  
**Checked**  
 SA  
**Authorised**  
 SA

**Scale**  
 1:150@A3  
**Job No.**  
 18003  
**Drawing No.**  
 DA13 - p2  
**Sheet No.**  
 13

**live learn work care**

Rev	Date	Amendment	Ckd
p1	15/08/19	Sun Analysis Added	SA
p2	22/08/19	Revised DA Issue	SA



**DEVELOPMENT APPLICATIONS COMMITTEE MEETING**

**17 September 2019**

---

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**REPORTS BY COUNCIL OFFICERS**

Item 13

**Attachment A - Plans**

**DA2019/00506 - 50 Honeysuckle Drive Newcastle**

**Torrens subdivision one into two lot**

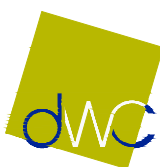
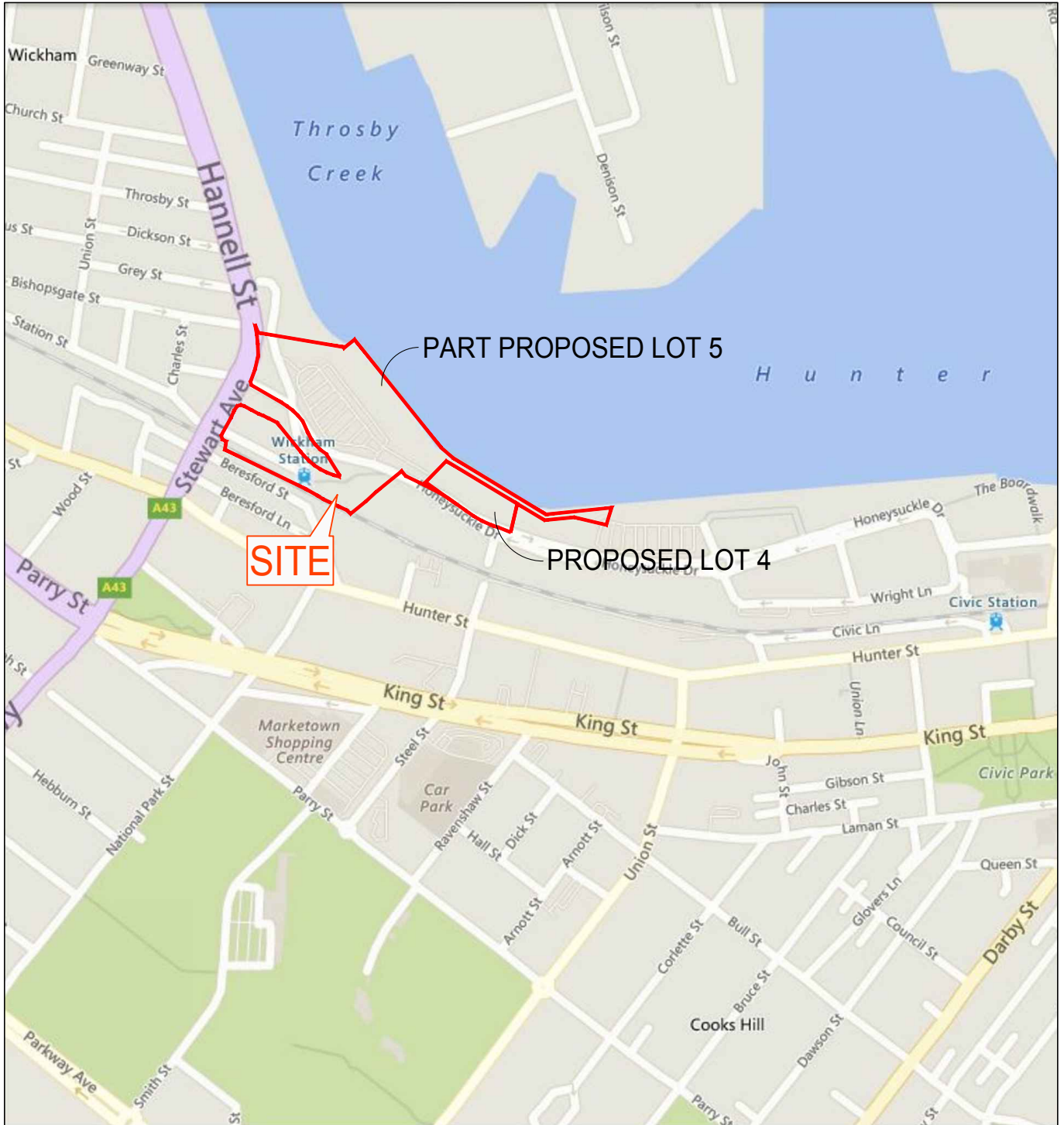
**DISTRIBUTED UNDER SEPARATE COVER**



NORTH

PROPERTY REFERENCE :

PROPOSED SUBDIVISION OF PART LOT 40  
D.P.1251908



**de Witt Consulting**  
planning ■ surveying ■ project management

**HUNTER REGION**  
7 Canberra Street Charlestown  
PO Box 850 Charlestown NSW 2290  
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E admin@dewittconsulting.com.au

**WESTERN REGION**  
87 Herbert Street Gulgong  
PO Box 232 Gulgong NSW 2852  
P 02 6374 2911 F 02 6374 2922  
ABN 23 104 067 405

TITLE: LOCATION PLAN

JOB ADDRESS: 35 HONEYSUCKLE DRIVE, NEWCASTLE

CLIENT: HUNTER DEVELOPMENT CORPORATION

SCALE: N/A

PLAN DATE: 19.03.19

CAD REF: N/A

DRAWN BT CHECKED HM  
DESIGNED N/A APPROVED HM

DWG REF: 9274-FIGURES-19.03.19

JOB REF:

9274

DRAWING No.

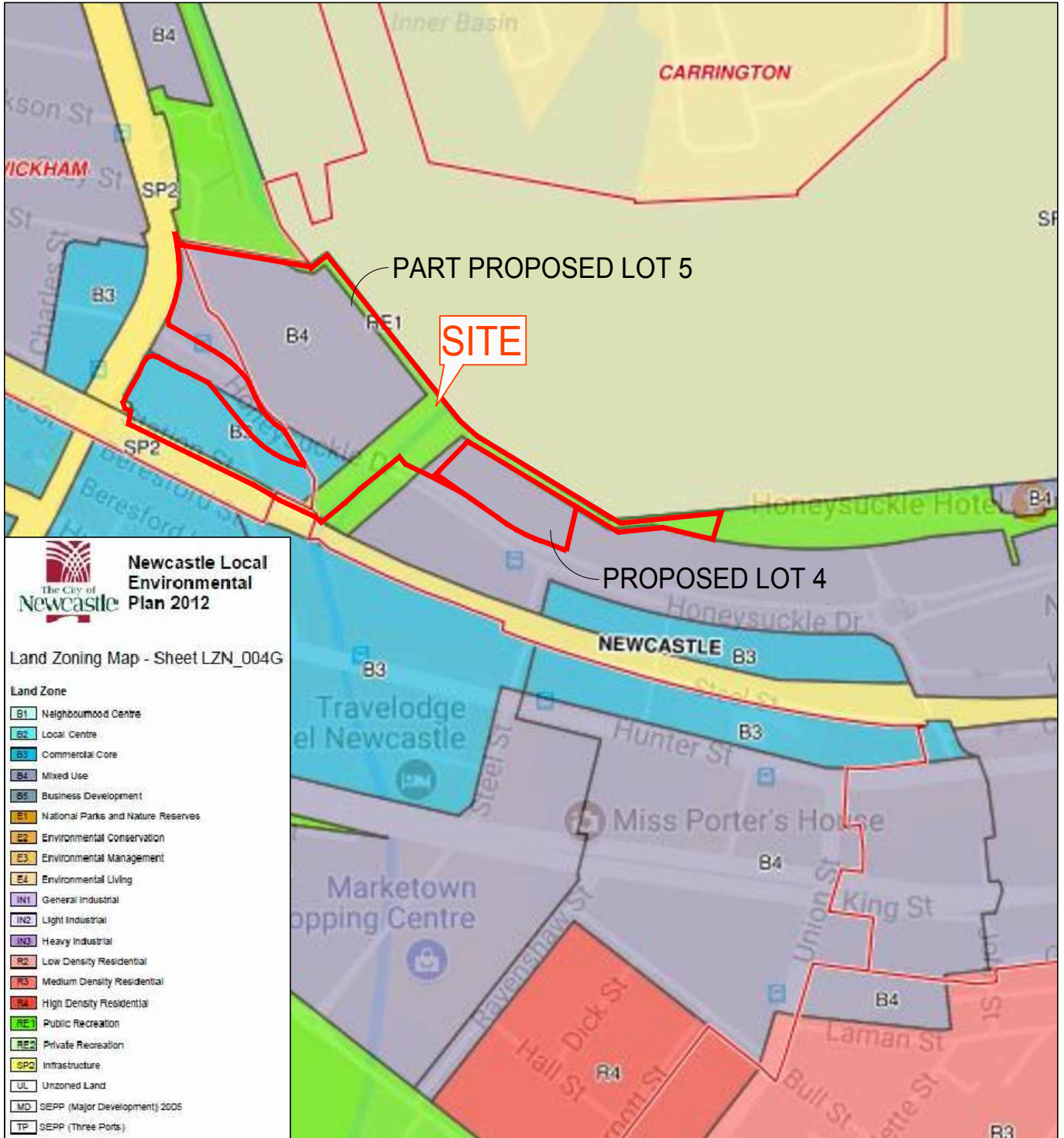
1



NORTH

PROPERTY REFERENCE :

PROPOSED SUBDIVISION OF PART LOT 40  
D.P.1251908



Land Zoning Map - Sheet LZN\_004G

**de Witt Consulting**  
planning ■ surveying ■ project management

**HUNTER REGION**  
7 Canberra Street Charlestown  
PO Box 850 Charlestown NSW 2290  
P 02 4942 5441 F 02 4942 5301  
E admin@dewittconsulting.com.au

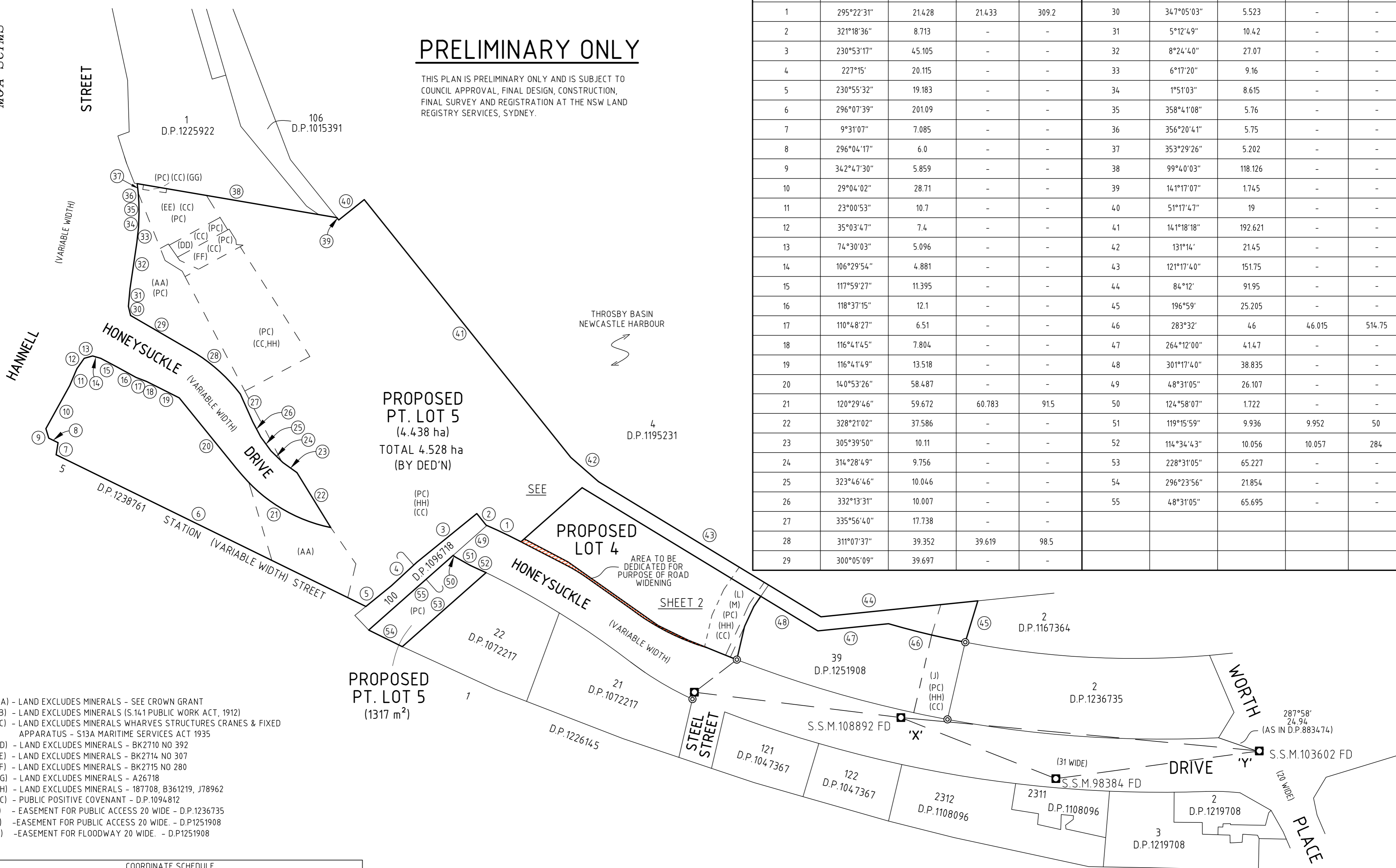
**WESTERN REGION**  
87 Herbert Street Gulgong  
PO Box 232 Gulgong NSW 2852  
P 02 6374 2911 F 02 6374 2922  
ABN 23 104 067 405

TITLE: ZONING PLAN		JOB REF: 9274	
JOB ADDRESS: 35 HONEYSUCKLE DRIVE, NEWCASTLE		DRAWING No. 1	
CLIENT: HUNTER DEVELOPMENT CORPORATION		SCALE: N/A	
PLAN DATE: 19.03.19	CAD REF: N/A	DRAWN BT	CHECKED HM
		DESIGNED N/A	APPROVED HM
		DWG REF: 9274-FIGURES-19.03.19	



# PRELIMINARY ONLY

THIS PLAN IS PRELIMINARY ONLY AND IS SUBJECT TO COUNCIL APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION AT THE NSW LAND REGISTRY SERVICES, SYDNEY.



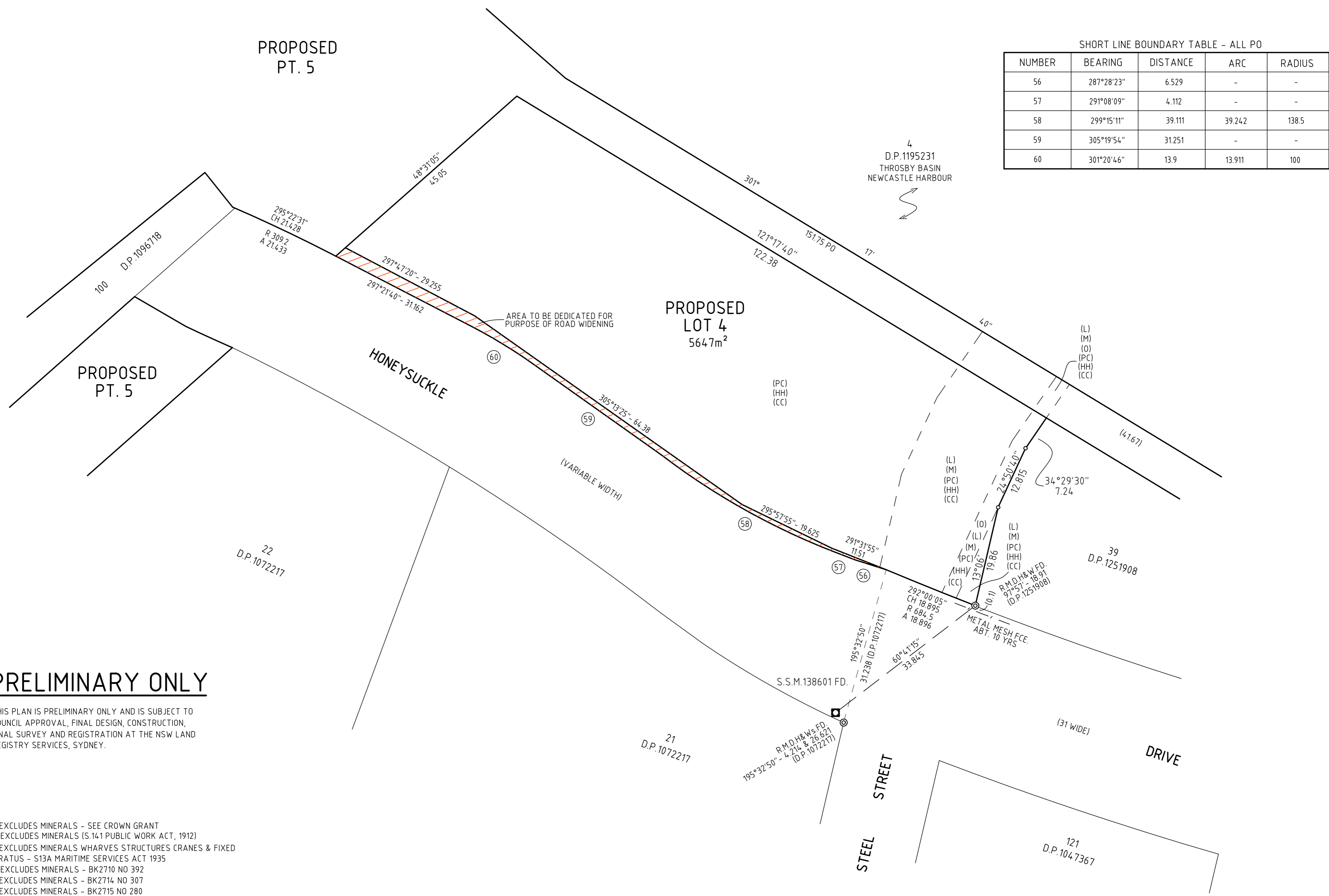
SHORT LINE BOUNDARY TABLE - ALL PO

NUMBER	BEARING	DISTANCE	ARC	RADIUS	NUMBER	BEARING	DISTANCE	ARC	RADIUS
1	295°22'31"	21.428	21.433	309.2	30	347°05'03"	5.523	-	-
2	321°18'36"	8.713	-	-	31	5°12'49"	10.42	-	-
3	230°53'17"	45.105	-	-	32	8°24'40"	27.07	-	-
4	227°15'	20.115	-	-	33	6°17'20"	9.16	-	-
5	230°55'32"	19.183	-	-	34	1°51'03"	8.615	-	-
6	296°07'39"	201.09	-	-	35	358°41'08"	5.76	-	-
7	9°31'07"	7.085	-	-	36	356°20'41"	5.75	-	-
8	296°04'17"	6.0	-	-	37	353°29'26"	5.202	-	-
9	342°47'30"	5.859	-	-	38	99°40'03"	118.126	-	-
10	29°04'02"	28.71	-	-	39	14°17'07"	1.745	-	-
11	23°00'53"	10.7	-	-	40	51°17'47"	19	-	-
12	35°03'47"	7.4	-	-	41	14°18'18"	192.621	-	-
13	74°30'03"	5.096	-	-	42	131°14'	21.45	-	-
14	106°29'54"	4.881	-	-	43	121°17'40"	151.75	-	-
15	117°59'27"	11.395	-	-	44	84°12'	91.95	-	-
16	118°37'15"	12.1	-	-	45	196°59'	25.205	-	-
17	110°48'27"	6.51	-	-	46	283°32'	46	46.015	514.75
18	116°41'45"	7.804	-	-	47	264°12'00"	41.47	-	-
19	116°41'49"	13.518	-	-	48	301°17'40"	38.835	-	-
20	140°53'26"	58.487	-	-	49	48°31'05"	26.107	-	-
21	120°29'46"	59.672	60.783	915	50	124°58'07"	1.722	-	-
22	328°21'02"	37.586	-	-	51	119°15'59"	9.936	9.952	50
23	305°39'50"	10.11	-	-	52	114°34'43"	10.056	10.057	284
24	314°28'49"	9.756	-	-	53	228°31'05"	65.227	-	-
25	323°46'46"	10.046	-	-	54	296°23'56"	21.854	-	-
26	332°13'31"	10.007	-	-	55	48°31'05"	65.695	-	-
27	335°56'40"	17.738	-	-					
28	311°07'37"	39.352	39.619	98.5					
29	300°05'09"	39.697	-	-					

- (AA) - LAND EXCLUDES MINERALS - SEE CROWN GRANT
- (BB) - LAND EXCLUDES MINERALS (S.141 PUBLIC WORK ACT, 1912)
- (CC) - LAND EXCLUDES MINERALS WHARVES STRUCTURES CRANES & FIXED APPARATUS - S13A MARITIME SERVICES ACT 1935
- (DD) - LAND EXCLUDES MINERALS - BK2710 NO 392
- (EE) - LAND EXCLUDES MINERALS - BK2714 NO 307
- (FF) - LAND EXCLUDES MINERALS - BK2715 NO 280
- (GG) - LAND EXCLUDES MINERALS - A26718
- (HH) - LAND EXCLUDES MINERALS - 187708, B361219, J78962
- (PC) - PUBLIC POSITIVE COVENANT - D.P.1094812
- (J) - EASEMENT FOR PUBLIC ACCESS 20 WIDE - D.P.1236735
- (L) - EASEMENT FOR PUBLIC ACCESS 20 WIDE - D.P.1251908
- (M) - EASEMENT FOR FLOODWAY 20 WIDE - D.P.1251908

COORDINATE SCHEDULE						
MARK	M.G.A. COORDINATES		CLASS	ORDER	METHOD	STATE
	EASTING	NORTHING				
S.S.M.98384	384 638.322	6 356 231.632	C	3	SCIMS	FOUND
S.S.M.103602	384 791.108	6 356 244.843	C	3	SCIMS	FOUND
S.S.M.108892	384 582.243	6 356 264.334	C	3	SCIMS	FOUND
S.S.M.138601	384 457.075	6 356 281.527	C	4	SCIMS	FOUND
DATE OF SCIMS COORDINATES: 06/12/2017 MGA ZONE: 56 MGA DATUM: GDA94						
COMBINED SCALE FACTOR: 0.999760						

Surveyor: COLIN JOHN PETHERS de Witt Consulting Date of Survey: - Surveyor's Reference: 9274	PROPOSED SUBDIVISION OF LOT 40 D.P.1251908	LGA: NEWCASTLE Locality: NEWCASTLE Subdivision No: Lengths are in metres. Reduction Ratio 1:1500	Registered
---	--	---	------------



SHORT LINE BOUNDARY TABLE - ALL PO

NUMBER	BEARING	DISTANCE	ARC	RADIUS
56	287°28'23"	6.529	-	-
57	291°08'09"	4.112	-	-
58	299°15'11"	39.111	39.242	138.5
59	305°19'54"	31.251	-	-
60	301°20'46"	13.9	13.911	100

**PRELIMINARY ONLY**

THIS PLAN IS PRELIMINARY ONLY AND IS SUBJECT TO COUNCIL APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION AT THE NSW LAND REGISTRY SERVICES, SYDNEY.

- (AA) - LAND EXCLUDES MINERALS - SEE CROWN GRANT
- (BB) - LAND EXCLUDES MINERALS (S.141 PUBLIC WORK ACT, 1912)
- (CC) - LAND EXCLUDES MINERALS WHARVES STRUCTURES CRANES & FIXED APPARATUS - S13A MARITIME SERVICES ACT 1935
- (DD) - LAND EXCLUDES MINERALS - BK2710 NO 392
- (EE) - LAND EXCLUDES MINERALS - BK2714 NO 307
- (FF) - LAND EXCLUDES MINERALS - BK2715 NO 280
- (GG) - LAND EXCLUDES MINERALS - A26718
- (HH) - LAND EXCLUDES MINERALS - 187708, B361219, J78962
- (PC) - PUBLIC POSITIVE COVENANT - D.P.1094812
- (J) - EASEMENT FOR PUBLIC ACCESS 20 WIDE - D.P.1236735
- (L) - EASEMENT FOR PUBLIC ACCESS 20 WIDE & VARIABLE - D.P.....
- (M) - EASEMENT FOR FLOODWAY 20 WIDE & VARIABLE - D.P.....
- (O) - EASEMENT TO DRAIN WATER 3.0 WIDE

Surveyor: COLIN JOHN PETHERS de Witt Consulting Date of Survey: - Surveyor's Reference: 9274	PROPOSED SUBDIVISION OF LOT 40 D.P.1251908	LGA: NEWCASTLE Locality: NEWCASTLE Subdivision No: Lengths are in metres. Reduction Ratio 1:300	Registered
---	--	--	------------

**DEVELOPMENT APPLICATIONS COMMITTEE MEETING**

17 September 2019

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**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**REPORTS BY COUNCIL OFFICERS**

Item 14

Attachment A - Plans      DA2019/00247 - 352 Hunter Street, Newcastle  
Commercial Premises (eight storey  
including carparking) and outdoor Kiosk







**DISTRIBUTED UNDER SEPARATE COVER**

# SITE PLAN | L01

## DARBY PLAZA



### LEGEND

-  EXISTING TREES TO BE REMOVED
-  NEW TREES REFER TO PLANT SCHEDULE
-  NEW MASS PLANTING REFER TO PLANT SCHEDULE
-  BLUESTONE PAVING AS PER COUNCIL STD
-  PLAIN COVE FINISHED CONCRETE
-  1500MM HIGH MESH PANEL WITH SS FRAME

- RELOCATED STREET SIGNAGE
- RELOCATED LIGHTPOLE
- MESH SCREEN PROVIDES SUPPORT FOR CLIMBER TO SCREEN SUBSTATIONS
- SMART POLE
- DECO GRANITE SURROUNDING SUBSTATION MASS PLANTING BEYOND EASEMENT TO HELP SCREEN
- CANOPY PLANTING OF PLANE TREES PROVIDE VISUAL LINK TO THE PLAZA FROM HUNTER, ARGYLE AND DARBY STREETS WHILE OFFERING SHADE TO SEATING AREAS. TREES TO BE UPLIFT. MASS PLANTING BELOW TO PROVIDE SCREEN TO SUBSTATION

- E 8/16/19 FOR REVIEW
- D 8/8/19 FOR REVIEW
- C 8/2/19 FOR REVIEW
- B 8/1/19 FOR DISCUSSION
- A 30/7/19 DRAFT FOR REVIEW

SITE:  
770 HUNTER STREET

CLIENT:  
GWH

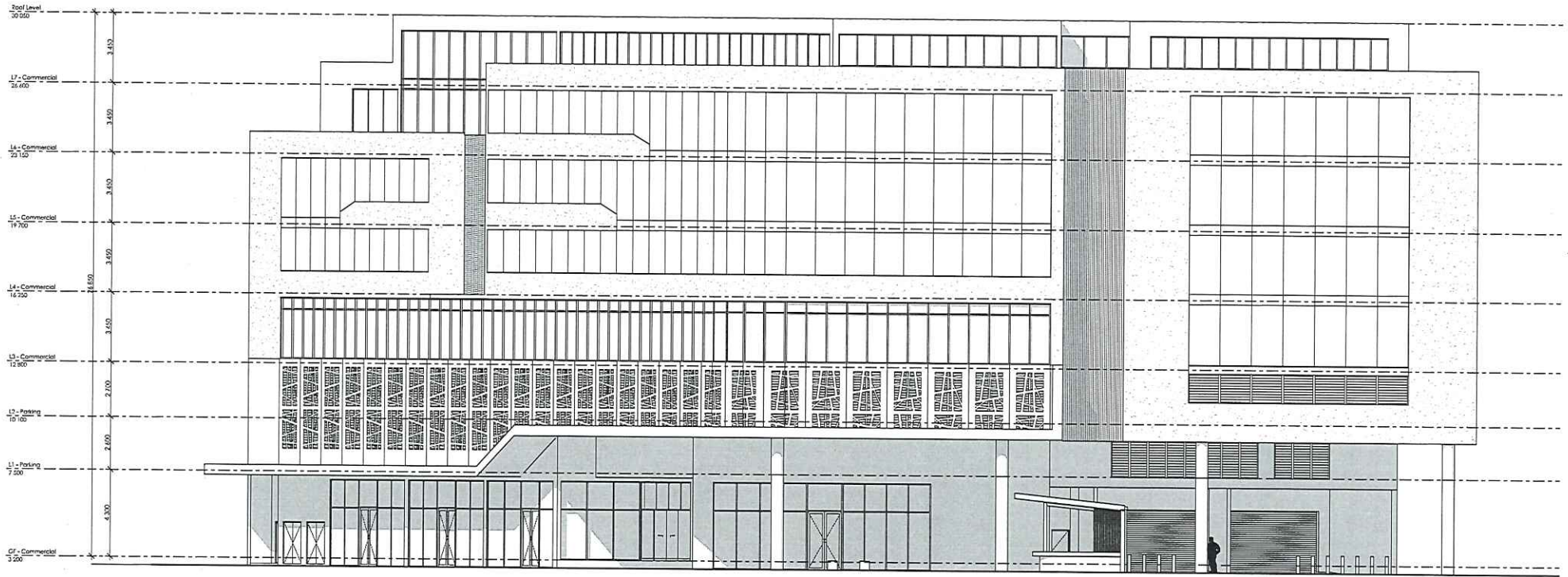
DRAFT - 8/8/19

HUNTER STREET

ARGYLE STREET

**1** DARBY PLAZA SKETCH  
L01 Scale: 1:200

- CLIMBER PLANTED TO BASE OF COLUMNS AND SUPPORTED TO FULL LENGTH OF COLUMN TO CREATE "GREEN SUPPORT" TO BUILDING
- OPEN SPACE PROVIDES FOR OPPORTUNITY FOR MOVEABLE TABLES AND CHAIRS
- PYRUS PLANTED AT 10M CENTRES WITHIN EXISTING PLANTING TO STREET EDGE
- QUANTRO FLINDERS BENCH SEATS WITH TIMBER SECTIONS
- BANDING OF PLAIN COVE CONCRETE HELPS TO TIE THE BUILDING INTO THE PLAZA SPACE WHILE CREATING INTEREST.



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ABN: 55 150 820 312  
[www.gwh.com.au](http://www.gwh.com.au)

rev no.	description
06	revised issue for DA
05	Revised Issue for DA
04	Revised Issue for DA

date
2019/06/23
2019/05/17
2019/05/23

### GWH Build

Suite 1, 770 Hunter Street  
PO Box 2189 Dangar  
Newcastle, NSW 2302

### Darby Plaza

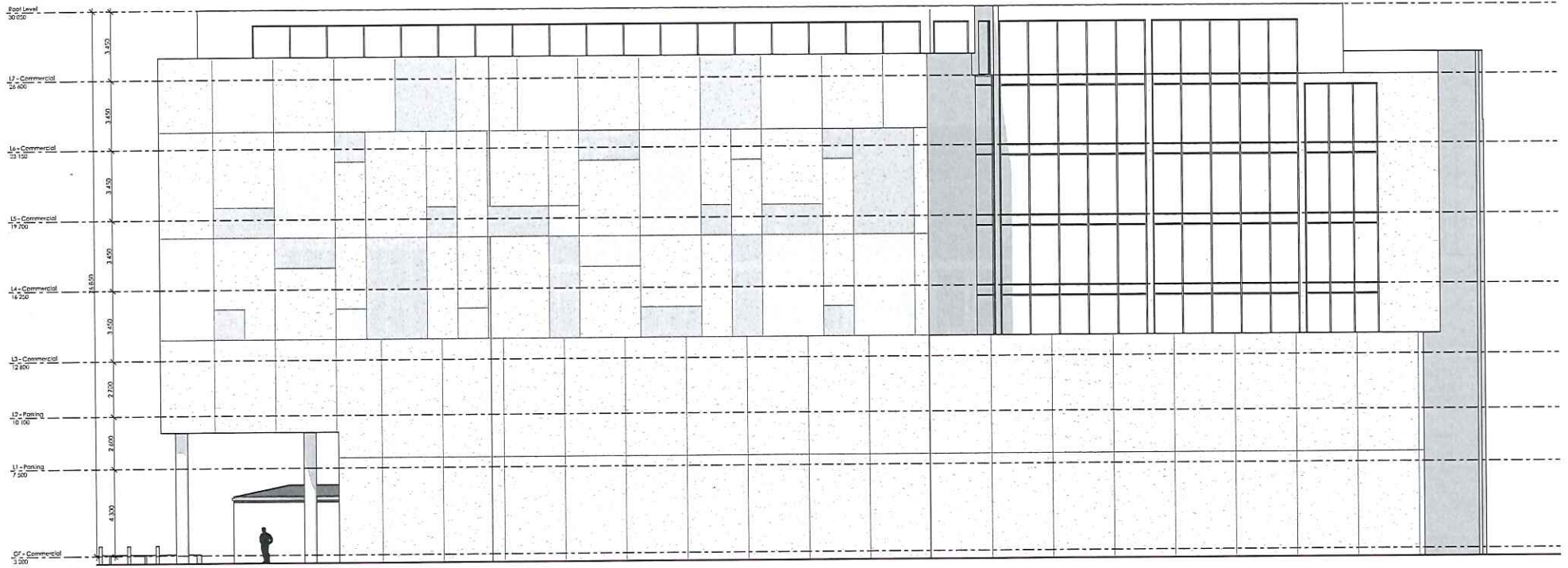
Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

### East Elevation

project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A602  
scale: 1:100 @ A1  
rev no. 06





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rev no.	description	date
06	Revised Issue for DA	2019/08/23
05	Revised Issue for DA	2019/08/17
04	Revised Issue for DA	2019/05/23

#### GWH Build

Suite 1, 770 Hunter Street  
PO Box 2189 Darling  
Newcastle, NSW 2302

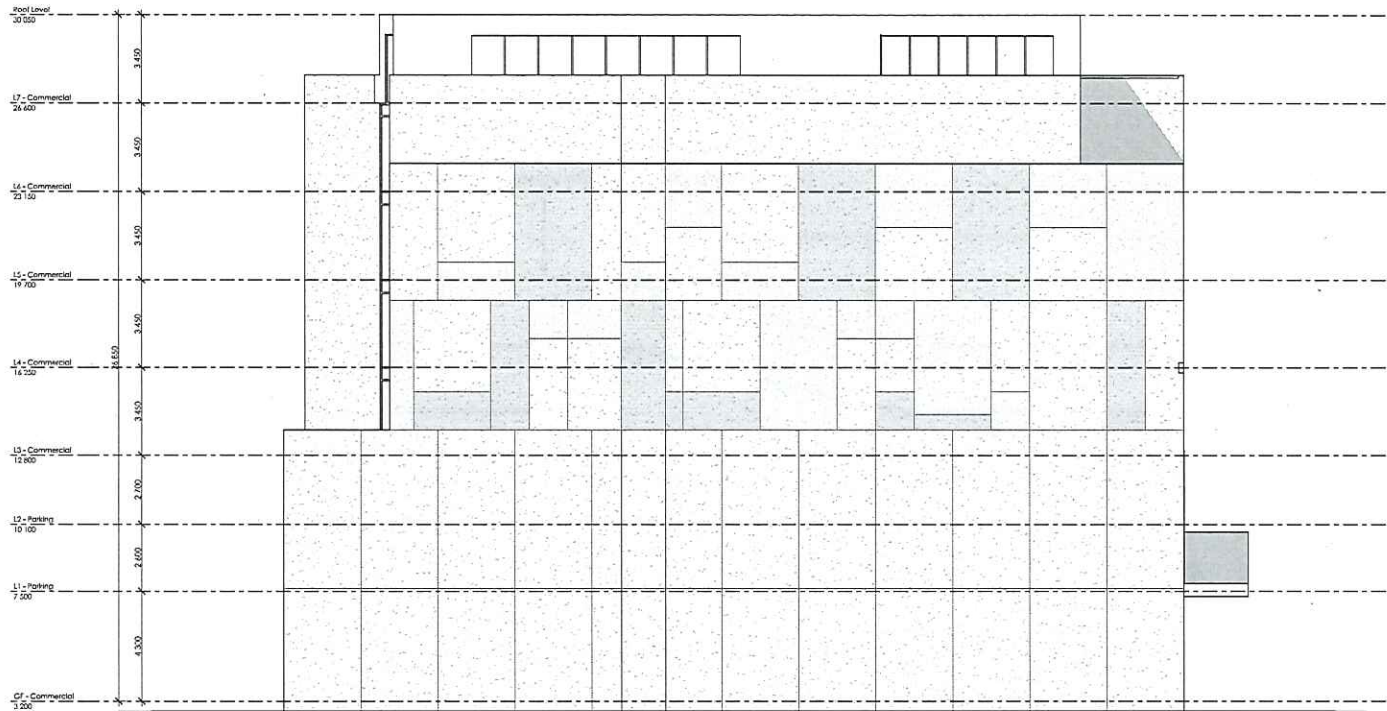
#### Darby Plaza

Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

#### North Elevation

project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A403  
scale: 1:100 @ A1  
rev no. 06



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rev no.	description
06	Revised issue for DA
C	Revised issue for DA
8	Revised issue for DA

date
2019/06/23
2019/07/17
2019/05/23
date

### GWH Build

Suite 1, 770 Hunter Street  
PO Box 2189 Dangar  
Newcastle, NSW 2302

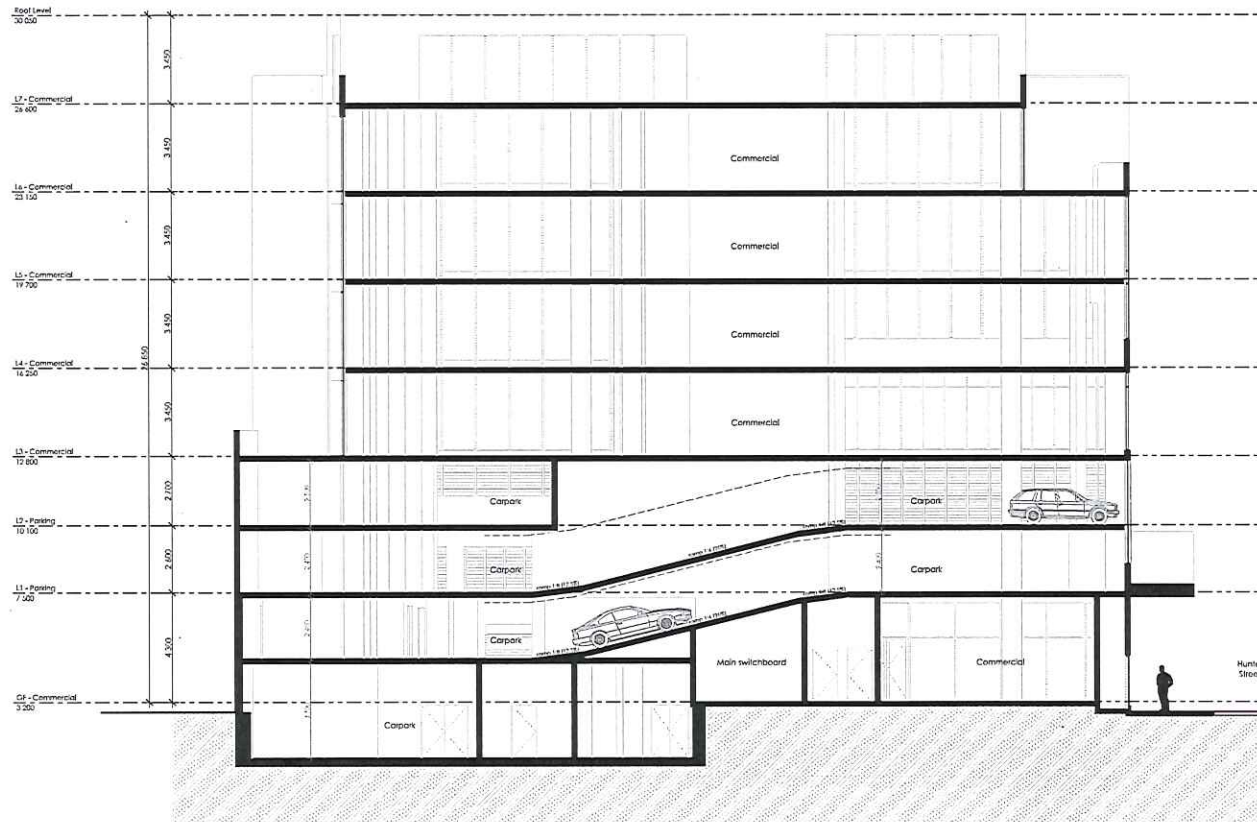
### Darby Plaza

Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

### West Elevation

project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A604  
scale: 1:100 @ A1  
rev no. 06



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REV	NO.	DESCRIPTION	DATE
D		Revised issue for DA	2019/06/23
C		Revised issue for DA	2019/07/17
B		Revised issue for DA	2019/05/23

GWH Build

Suite 1, 770 Hunter Street  
PO Box 2189 Dangar  
Newcastle, NSW 2302

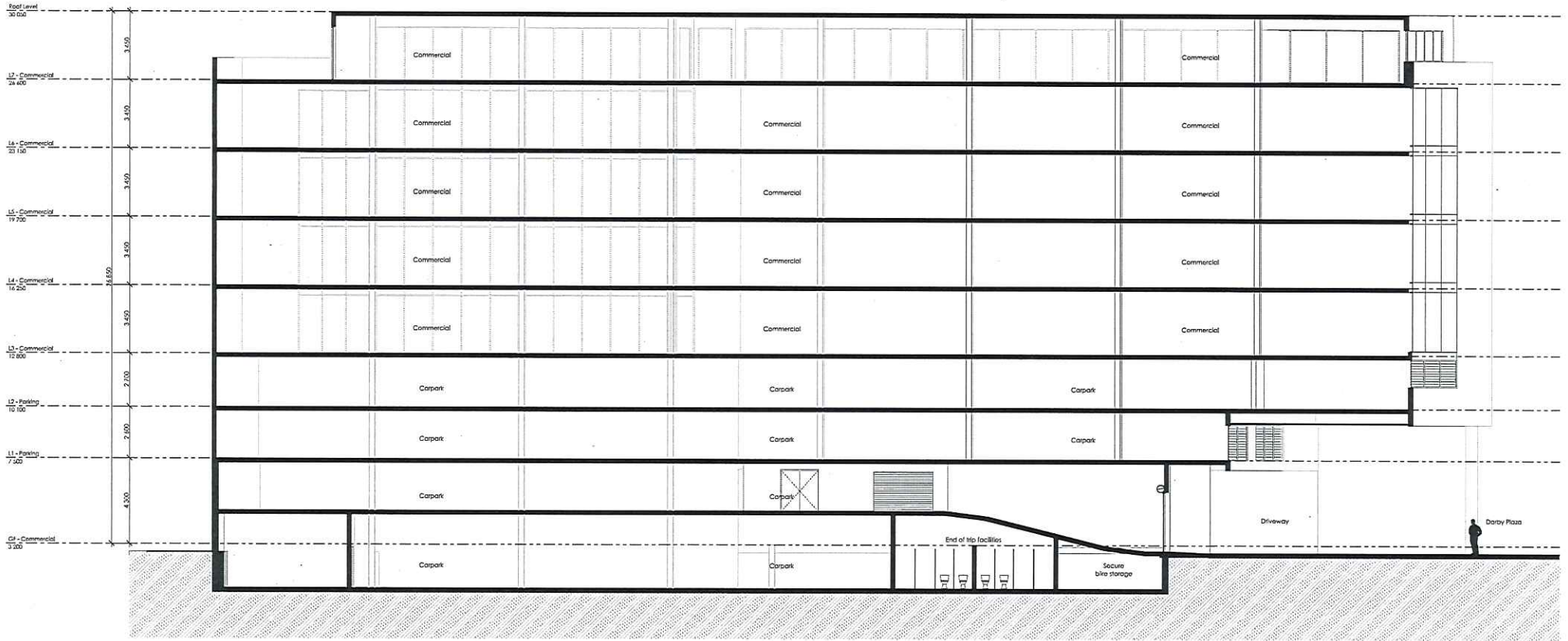
Darby Plaza

Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

Section A-A

project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A605  
scale: 1:100 @ A1  
rev no. 06



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rev no.	description
D6	Revised Issue for DA
D	Revised Issue for DA
C	Revised Issue for DA

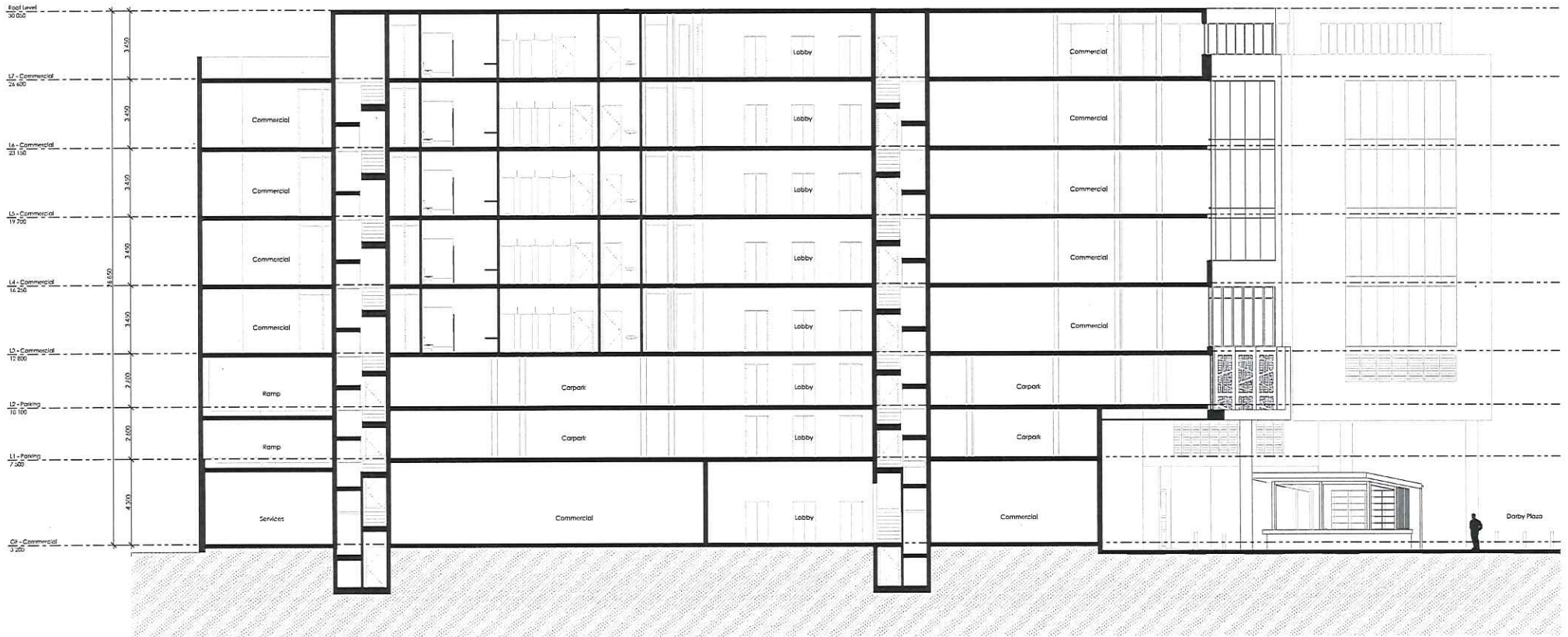
date	description
2019/08/23	Revised Issue for DA
2019/07/17	Revised Issue for DA
2019/05/23	Revised Issue for DA

GWH Build  
Suite 1, 770 Hunter Street  
PO Box 2189 Dangar  
Newcastle, NSW 2302

Darby Plaza  
Lot 1000/DP1095836, part Lot 2//DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

Section B-B  
project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A606  
scale: 1:100 @ A1  
rev no. 06



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fax: (02) 4764 3866  
ABN: 55 150 820 312  
[www.gwh.com.au](http://www.gwh.com.au)

rev no.	description
D	Revised issue for DA
B	Revised issue for DA
C	Revised issue for DA

date
2019/06/23
2019/09/17
2019/05/23

**GWH Build**

Suite 1, 770 Hunter Street  
PO Box 2189 Dangar  
Newcastle, NSW 2302

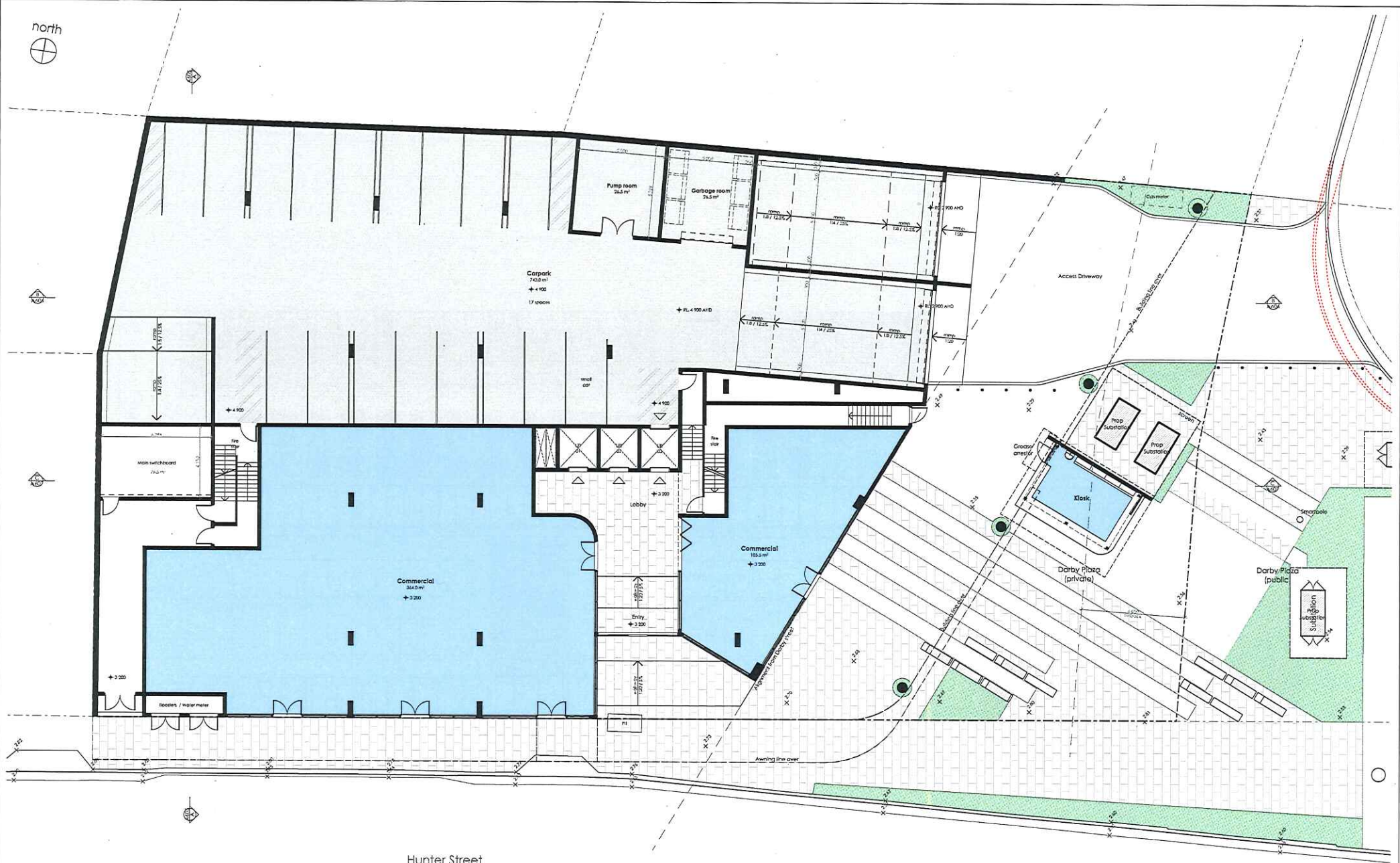
**Darby Plaza**

Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

**Section C-C**

project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A607  
scale: 1:100 @ A1  
rev no. 06



Hunter Street



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[www.gwh.com.au](http://www.gwh.com.au)

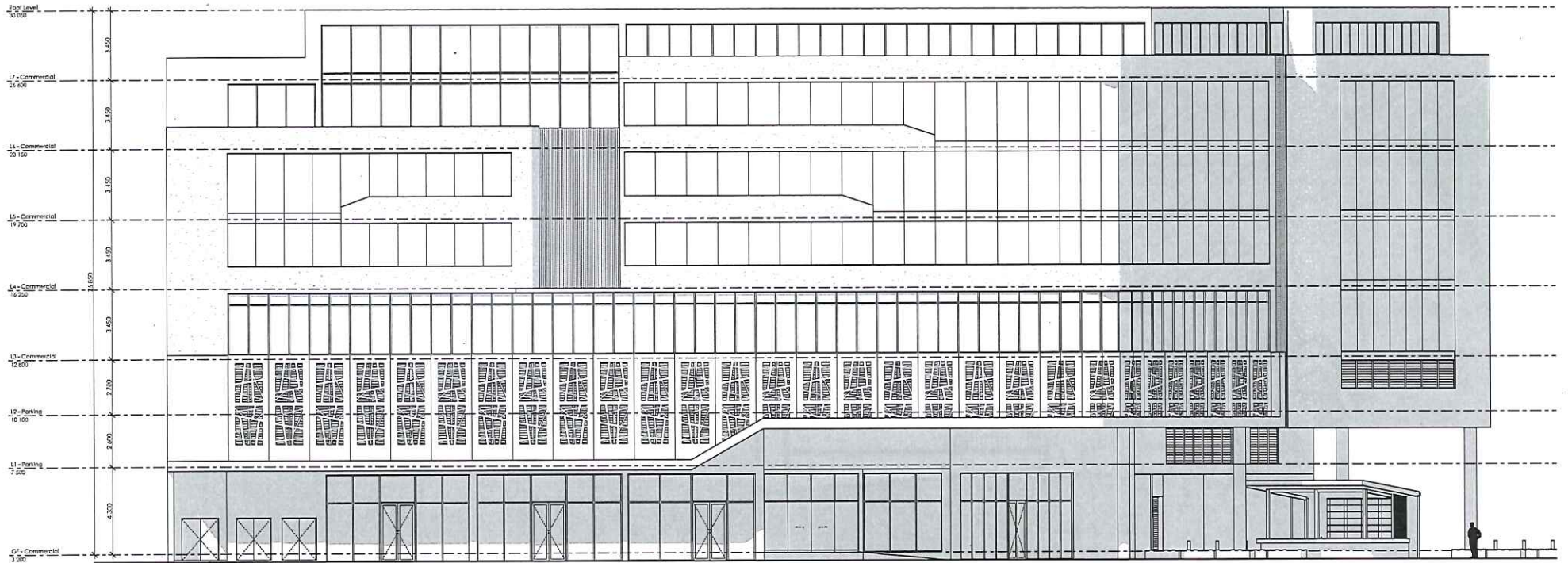
rev no.	description
06	Revised Issue for DA
05	Revised Issue for DA
04	Revised Issue for DA

date	date
20/10/2023	20/10/2023
20/10/2023	20/10/2023
20/10/2023	20/10/2023

GWH Build  
Suite 1, 770 Hunter Street  
PO Box 2189 Dangar  
Newcastle, NSW 2302

Darby Plaza  
Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

project no.	date:	drawn:	dwg no.	scale:	rev no.
A18005	2019/08/23	FH	A102	1:100 @ A1	06



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no.	description	date
06	Revised issue for DA	2019/05/23
05	Revised issue for DA	2019/05/17
04	Revised issue for DA	2019/05/23

2019/05/23  
2019/05/17  
2019/05/23

### GWH Build

Suite 1, 770 Hunter Street  
PO Box 2189 Danger  
Newcastle, NSW 2302

### Darby Plaza

Lot 1000/DP1095836, part Lot 2/DP1226551  
352 Hunter Street  
Newcastle, NSW 2300

### South Elevation

project no. A18005  
date: 2019/08/23  
drawn: FH

dwg no. A601  
scale: 1:100 @ A1  
rev no. 06

# visual and pedestrian linkages | L003

## DARBY PLAZA



### LEGEND

- COMMERCIAL SPACE PROPOSED ON GROUND FLOOR
- DARBY PLAZA PRIVATE SPACE TO WHICH THIS DA APPLIES
- DARBY PLAZA PUBLIC SPACE
- DEVELOPMENT BOUNDARY
- KEY VISUAL LINKS
- PEDESTRIAN LINKAGES

DRIVEWAY ACCESS TO BE RETAINED

VISUAL LINK ALONG ARGYLE STREET FROM THE HARBOUR CURRENTLY TERMINATED BY BUILDINGS TO THE SOUTH (REFER IMAGE A)

SECONDARY VISUAL LINK FROM HUNTER STREET AND PASSING TRAFFIC TOWARDS THE PROPOSED BUILDING (REF IMAGE E)

TRAM LINE AND MASS PLANTING TO THE NORTH PROVIDES A PHYSICAL BARRIER BETWEEN THE SOUTHERN SIDE OF HUNTER STREET AND THE PLAZA

G	9/6/19	FOR REVIEW
F	8/5/16	FOR REVIEW
E	13/2/19	BOUNDARY ADJUSTED FOR DA
D	6/2/19	DRAFT DA APPLICATION FOR REVIEW
C	29/1/19	REVISED DA SUBMISSION
B	29/1/19	DA SUBMISSION
A	23/1/19	INITIAL CONCEPT
REV	DATE	COMMENTS

PROJECT:  
**DARBY PLAZA**

SITE:  
**770 HUNTER STREET,  
NEWCASTLE WEST**

CLIENT:  
**GWH**

12513.5\_DARBY PLAZA\_DA\_12513.5\_02.dwg 9/19/19

DRAWN: KH / PW DATE: JAN 19 SCALE: 1:100  
JOB NUMBER: PHASE: DWG No: REV: **12513.5 DA L003 G**

**1** VISUAL AND PEDESTRIAN LINKAGES  
L003 Scale: 1:500

VISUAL LINK FROM DARBY STREET TO PLAZA (REF IMAGE B)



**terras**  
landscape architects

412 KING STREET NEWCASTLE NSW AUSTRALIA 2300  
TERRAS.COM.AU PH: 47 294 726 FAX: 47 263 067



# integrated private and public plaza concept | L004

DARBY PLAZA



- LEGEND**
- EXISTING TREES TO BE REMOVED
  - NEW TREES REFER TO PLANT SCHEDULE
  - NEW MASS PLANTING REFER TO PLANT SCHEDULE
  - BLUESTONE PAVING AS PER COUNCIL STD
  - DECO GRANITE
  - PLAIN COVE FINISHED CONCRETE
  - 1500MM HIGH MESH PANEL WITH SS FRAME
  - QUANTRO BENCH
  - BOLLARD
- | REV | DATE    | COMMENTS                                     |
|-----|---------|--|
| H   | 0/6/19  | FOR REVIEW                                   |
| G   | 0/5/19  | FOR REVIEW                                   |
| F   | 4/24/19 | REVISED FOR TRAFFIC BOUNDARY ADJUSTED FOR DA |
| E   | 13/2/19 | BOUNDARY ADJUSTED FOR DA                     |
| D   | 6/2/19  | DRAFT DA APPLICATION FOR REVIEW              |
| C   | 20/1/19 | REVISED DA SUBMISSION                        |
| B   | 20/1/19 | DA SUBMISSION                                |
| A   | 23/1/19 | INITIAL CONCEPT                              |

CONCRETE DRIVEWAY TO CREATE CLEAR DEFINITION BETWEEN DRIVEWAY AND PEDESTRIAN AREAS. ROAD TO BE REALIGNED

SLIM LINE BOLLARDS TO DIFFERENTIATE BETWEEN THE PLAZA AND THE DRIVEWAY WHILE NOT OBSTRUCTING SIGHT LINES

RELOCATED LIGHT POLE

MESH SCREEN PROVIDES SUPPORT FOR CLIMBER TO SCREEN SUBSTATIONS

SMART POLE

CAFE / KIOSK PROVIDED TO ACTIVATE THE PLAZA SPACE

PLANTING OF PLANE TREES PROVIDE VISUAL LINK TO THE PLAZA FROM HUNTER ARGYLE AND DARBY STREETS WHILE OFFERING SHADE. TREES TO BE UPLIT

MASS PLANTING HELPS TO SCREEN SUBSTATION. DECO GRANITE SURROUNDING SUBSTATION

BANDING OF PLAIN COVED CONCRETE HELPS TO TIE THE BUILDING INTO THE PLAZA SPACE WHILE CREATING INTEREST

QUANTRO FLINDERS BENCH SEATS WITH TIMBER SECTIONS

BLUESTONE PAVING PROVIDES VISUAL LINK FROM HUNTER STREET THROUGH PLAZA

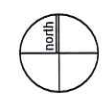
PLANTING OF PYRUS AT 10M CENTRES WITHIN EXISTING PLANTING TO STREET EDGE

OPEN SPACE PROVIDES FOR OPPORTUNITY FOR MOVEABLE TABLES AND CHAIRS

CLIMBER PLANTED TO BASE OF COLUMNS AND SUPPORTED TO FULL LENGTH OF COLUMN TO CREATE "GREEN SUPPORT" TO BUILDING. COLUMNS TO BE LIT

**1** PLAZA CONCEPT PLAN  
L004 Scale: 1:200










HUNTER STREET

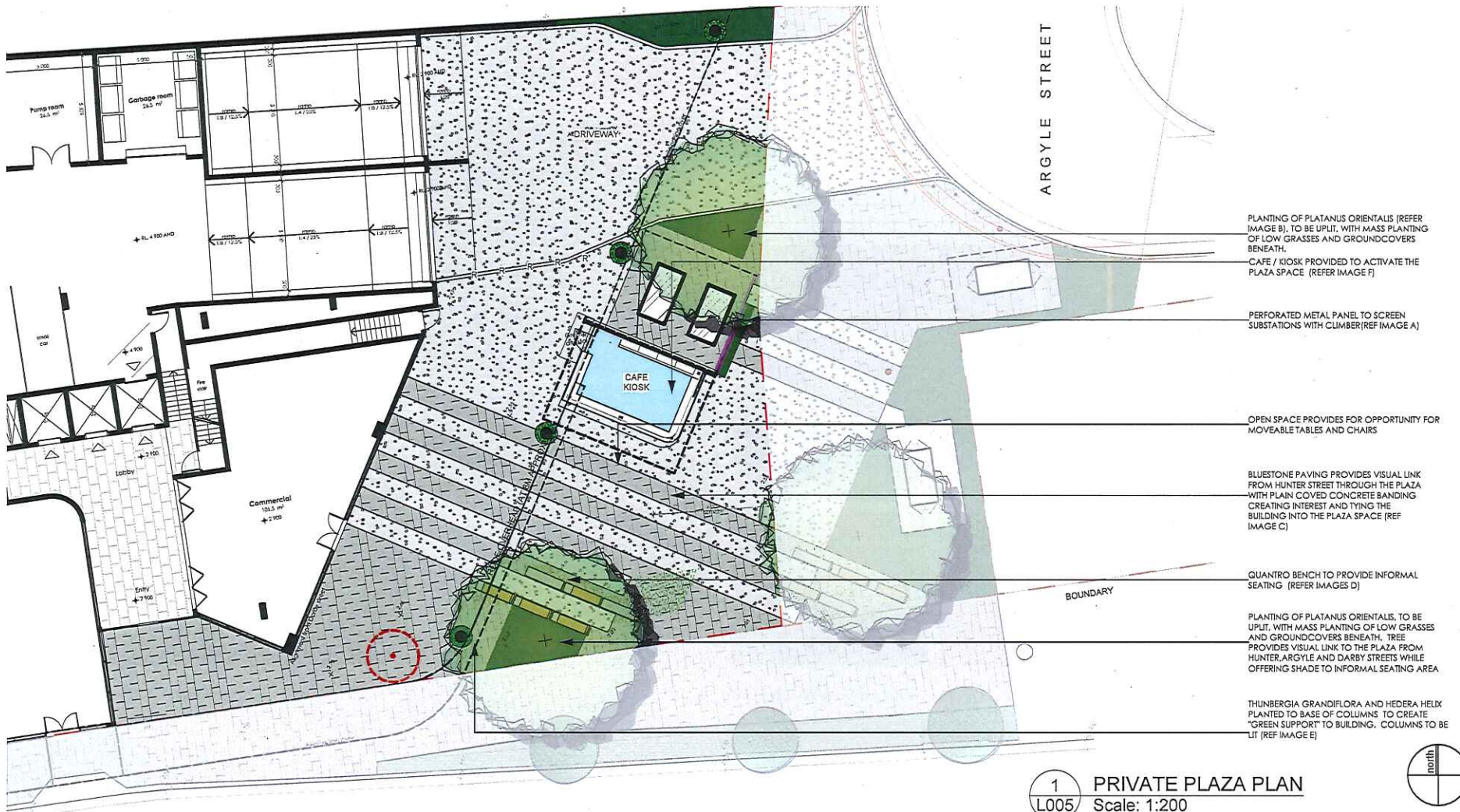


# private plaza plan | L005

DARBY PLAZA



-  EXISTING TREES TO BE REMOVED
-  NEW TREES REFER TO PLANT SCHEDULE
-  NEW MASS PLANTING REFER TO PLANT SCHEDULE
-  BLUESTONE PAVING AS PER COUNCIL STD
-  DECO GRANITE
-  PLAIN COVE FINISHED CONCRETE
-  1500MM HIGH MESH PANEL WITH SS FRAME
-  QUANTRO BENCH
-  BOLLARD



PLANTING OF PLATANUS ORIENTALIS (REFER IMAGE B), TO BE UPLIT, WITH MASS PLANTING OF LOW GRASSES AND GROUNDCOVERS BENEATH.  
 CAFE / KIOSK PROVIDED TO ACTIVATE THE PLAZA SPACE (REFER IMAGE F)

PERFORATED METAL PANEL TO SCREEN SUBSTATIONS WITH CLIMBER (REFER IMAGE A)

OPEN SPACE PROVIDES FOR OPPORTUNITY FOR MOVEABLE TABLES AND CHAIRS

BLUESTONE PAVING PROVIDES VISUAL LINK FROM HUNTER STREET THROUGH THE PLAZA WITH PLAIN COVE CONCRETE BANDING CREATING INTEREST AND TYPING THE BUILDING INTO THE PLAZA SPACE (REF IMAGE C)

QUANTRO BENCH TO PROVIDE INFORMAL SEATING (REFER IMAGES D)

PLANTING OF PLATANUS ORIENTALIS, TO BE UPLIT, WITH MASS PLANTING OF LOW GRASSES AND GROUNDCOVERS BENEATH. TREE PROVIDES VISUAL LINK TO THE PLAZA FROM HUNTER, ARGYLE AND DARBY STREETS WHILE OFFERING SHADE TO INFORMAL SEATING AREA.

THUNBERGIA GRANDIFLORA AND HEDERA HELIX PLANTED TO BASE OF COLUMNS TO CREATE "GREEN SUPPORT" TO BUILDING. COLUMNS TO BE LIT (REFER IMAGE E)

H	3/8/19	FOR REVIEW
G	6/5/19	FOR REVIEW
F	4/24/19	REVISED FOR TRAFFIC
E	13/2/19	BOUNDARY ADJUSTED FOR DA
D	6/2/19	DRAFT DA APPLICATION FOR REVIEW
C	20/1/19	REVISED DA SUBMISSION
B	20/1/19	DA SUBMISSION
A	23/1/19	INITIAL CONCEPT
REV	DATE	COMMENTS

PROJECT:  
**DARBY PLAZA**

SITE:  
**770 HUNTER STREET,  
 NEWCASTLE WEST**

CLIENT:  
**GWH**

12513.5\_DARBY PLAZA\_DA\_12513.5\_02.DWG 19/1/19

DRAWN: KH / PW DATE: JAN 19 SCALE: 1:100

JOB NUMBER: PHASE: DWG NO: REV: **12513.5 DA L005 H**



**1 PRIVATE PLAZA PLAN**  
 L005 Scale: 1:200

HUNTER STREET

## CONCEPT IMAGES



OPEN PAVED AREAS FOR PEDESTRIAN LINKAGES



PAVED TRANSITION SPACE WITH SHADED SEATING AREAS



TREED PLAZA SPACE



CAFE/KIOSK TO ACTIVATE SPACE



PLANE TREES TO NORTHERN END OF DARBY STREET



BLUESTONE PAVING TO BE DRAWN INTO PLAZA FROM HUNTER STREET PROVIDES PEDESTRIAN LINKAGE



TREATMENT OF COLUMNS

## PLANT MATERIALS



HEDERA HELIX



FESTUCA GLAUCA



LOMANDRA TANIKA



THUNBERGIA GRANDIFLORA



PENNISETUM NAFRAY



PLATANUS ACERIFOLIA



WESTRINGIA MUNDI

BOTANICAL NAME	COMMON NAME	HEIGHT
<b>TREES</b>		
<i>Pyrus calleryana</i> "Capital"	Capital Pear	10 x 3 150 Lt
<i>Platanus acerifolia</i>	London Plane Tree	20 x 10 300Lt
<b>SHRUB PLANTING</b>		
<i>Syzygium paniculatum</i> "Beach Ball"		1.5 x 1.5 5Lt
<i>Westringia fruticosa</i> "Naringa"	Rosemary	1.2 x 1 5Lt
<b>SHRUBS AND GROUNDCOVERS</b>		
<i>Lomandra "Tanika"</i>	Dwarf Mat Rush	0.7 x 0.7 2.5Lt
<i>Gardenia radicans</i> "O So Fine"		0.3 x 1 2.5Lt
<i>Poa labillardieri</i> "Eskdale"		0.6 x 0.5 2.5Lt
<i>Pennisetum "Nafray"</i>		0.6 x 0.6 2.5Lt
<i>Westringia fruticosa</i> "Mundi"	Rosemary	0.4 x 1.5 2.5Lt
<i>Festuca glauca</i>	Blue fescue	0.4 x 0.4 2.5Lt
<i>Hardenbergia violacea</i>	Happy wanderer	0.5 x 2 2.5Lt
<b>CLIMBER</b>		
<i>Trachelospermum jasminoides</i>	Star Jasmine	0.5 x 1.5 2.5Lt
<i>Hedera helix</i>	Ivy	4.5 x 0.6 2.5Lt
<i>Thunbergia grandiflora</i>	Blue Thunbergia	1.5 x 3 2.5Lt

G 06/19 FOR REVIEW  
 F 05/19 FOR REVIEW  
 E 13/2/19 BOUNDARY ADJUSTED FOR DA  
 D 02/19 DRAFT DA APPLICATION FOR REVIEW  
 C 29/1/19 REVISED DA SUBMISSION  
 B 29/1/19 DA SUBMISSION  
 A 23/1/19 INITIAL CONCEPT  
 REV DATE COMMENT

PROJECT:  
**DARBY PLAZA**

SITE:  
**770 HUNTER STREET,  
 NEWCASTLE WEST**

CLIENT:  
**GWH**

12513.5\_DARBY PLAZA\_DA\_20190802.dwg 13/1/19

DRAWN: DATE: SCALE:  
 KH / PW JAN 19 1:100

JOB NUMBER: PHASE: DWG NO: REV:  
**12513.5 DA L006 G**

# infastructure landscape design | L007

DARBY PLAZA

THE FOLLOWING OBJECTIVES AND PERFORMANCE CRITERIA SPECIFICALLY RELATE TO VIEWS AND CONNECTIONS THROUGH THE PLAZA (NCC DCP 2012) 6.01 CITY CENTRE

## F. DARBY PLAZA

### Objectives

1. Provide new open space and improve pedestrian amenity.
2. Promote a permeable street network and enhance pedestrian connections from Darby Street to the foreshore.

### Performance criteria

- F1. Pedestrian permeability and amenity is improved with the capacity to generate safe public movement from Darby Street and Argyle Street to the waterfront.
- F4. Significant views are strengthened (refer to Section B2 View and vistas).

TWO KEY VIEWS HAVE BEEN IDENTIFIED AS RELEVANT WITHIN THE DCP WHICH ARE APPLICABLE TO THIS SITE.  
09 DARBY STREET TO DARBY STREET PLAZA  
10 ARGYLE STREET AT HUNTER STREET

BOTH VISTAS HAVE BEEN RECOGNISED AND STRENGTHENED BY THE DESIGN AND LAYOUT OF THE PLAZA AND BY THE SELECTION OF MATERIALS WITHIN THE SITE. THE PLANTING OF PYRUS WITHIN THE PLAZA SPACE HELPS TO PROVIDE A VISUAL LINK TO DARBY STREET. THE SITING OF THE CAFE KIOSK, GARDEN AREAS AND SUBSTATIONS HAVE BEEN LOCATED TO REINFORCE THE PEDESTRIAN AND VISUAL CORRIDORS RELEVANT TO THE SITE.

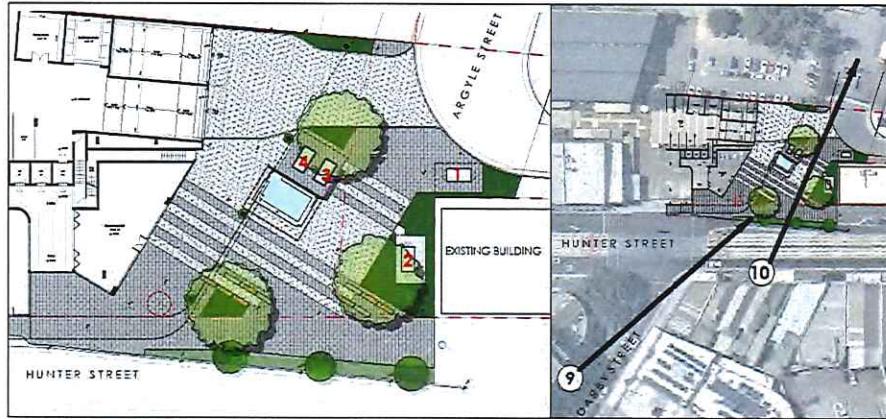


FIG 1. LOCATION OF SUBSTATIONS

FIG 2. IDENTIFIED VIEWS AND VISTAS 09 & 10  
NCC DCP 2012

### LOCATION OF SUBSTATIONS

THE LOCATION OF THE SUBSTATIONS HAS BEEN SELECTED TO ENSURE VISUAL AND PEDESTRIAN CORRIDORS IDENTIFIED FOR THE SITE WITHIN THE DCP ARE RETAINED.

SUBSTATION 1 HAS BEEN LOCATED BEHIND THE EXISTING BUILDING AND THEREFORE OUT OF VIEW FROM THE SOUTHERN APPROACH TO THE PLAZA. THE SUBSTATION WILL NOT BE VISIBLE FROM EITHER OF THE KEY VIEWPOINTS IDENTIFIED. FROM THE NORTHERN APPROACH TO THE PLAZA FROM ARGYLE STREET, THE SUBSTATION WILL MERGE WITH THE BUILT INFRASTRUCTURE BEHIND.

SUBSTATION 2 HAS BEEN LOCATED ON THE EASTERN EDGE OF THE PLAZA. SPACE HAS BEEN ALLOCATED FOR MASS PLANTING SURROUNDING THE STRUCTURE AND THE PROPOSED PLANTING DETAILED BELOW WILL HELP TO PROVIDE SCREENING.

SUBSTATION 3 AND 4 HAVE BEEN LOCATED TO THE NORTH OF THE KIOSK AND THEREFORE WILL NOT BE VISIBLE FROM EITHER OF THE KEY VIEWS IDENTIFIED. SUBSTATIONS 3 AND 4 WILL MERGE WITH THE BUILT FORM OF THE KIOSK.



FIG 3. RENDER OF PROPOSED SITE

### REQUESTED CHANGES INCORPORATED INTO THE LANDSCAPE PLAN AT THE REQUEST OF CITY OF NEWCASTLE INFRASTRUCTURE AND PROPERTY

- ADDITIONAL STREET TREES TO BE INCLUDED IN THE GARDEN BED ADJACENT TO THE PLAZA
- GARDEN BEDS TO THE WESTERN TREES INCREASED TO ALLOW UNRESTRICTED TRUNK GROWTH. THIS WILL ALSO SLIGHTLY REDUCE HARDSTAND AND INCREASE THE VISUAL BUFFER TO THE SUBSTATIONS

### COMMENTS FROM THE CITY OF NEWCASTLE INFRASTRUCTURE AND PROPERTY TEAM

"THE REVISED LOCATION OF THE SUBSTATION AND RE ORIENTATION OF THE KIOSK WORKS WELL WITH THE SITE AND POTENTIAL FLOW OF PEDESTRIANS"

### PLANT MATERIALS USED

MASS PLANTING OF LOW GRASSES, GROUND COVERS AND SCATTERED SHRUBS WILL SOFTEN AND SCREEN VIEWS OF SUBSTATION 2 FROM THE SOUTHERN AND NORTHERN APPROACHES. MASS PLANTING IS PROPOSED TO THE NORTH OF SUBSTATION 3 AND 4 TO PROVIDE SCREENING WHILE A CLIMBER IS PROPOSED TO THE WEST OF THESE SUBSTATIONS TO PROVIDE A GREEN SCREEN. CANOPY PLANTING OF PLATANUS ORIENTALIS WILL PROVIDE VERTICAL ACCENT WITHIN THE SPACE PROVIDING A LINK THROUGH TO DARBY STREET.

### ADDITIONAL SCREENING

VERTICAL SCREENING HAS BEEN PROPOSED FOR SUBSTATION 3 AND 4, LOCATED BEHIND THE CAFE KIOSK. A 1500MM HIGH MESH PANEL WITH STAINLESS STEEL FRAME IS PROPOSED TO SUPPORT A CLIMBER PROVIDING A "GREEN SCREEN". THIS WILL PROVIDE A GREEN EDGE TO THE MAIN PEDESTRIAN LINK BETWEEN HUNTER AND ARGYLE STREETS WHILE EFFECTIVELY SCREENING VIEWS OF THE SUBSTATIONS FROM THE SOUTHERN APPROACH.



MESH SCREEN SUPPORTING CLIMBER

LOMANDRA TANIKA

WESTRINGIA NARINOSA

HEDERA HELIX

PLATANUS ORIENTALIS

E	9/6/19	FOR REVIEW
D	9/5/19	FOR REVIEW
C	9/2/19	FOR REVIEW
B	8/29/19	FOR REVIEW
A	8/28/19	FOR REVIEW

PROJECT:  
**DARBY PLAZA**

SITE:  
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CLIENT:  
**GWH**

DRAWING: KH/PW DATE: JAN 19 SCALE: 1:100

JOB NUMBER: 12513.5 DA L007 E

**terras**  
landscape architects

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OFF FORM RECKLI  
PRECAST CONCRETE  
PANEL. SEALED. 2/176  
RABA



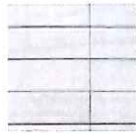
OFF FORM RECKLI  
PRECAST CONCRETE  
PANEL. SEALED.  
2/29 FULDA



ANODISED ALUMINIUM  
EXPRESSED WINDOW  
MULLIONS.  
"BRONZE".



LASER CUT METAL  
SCREEN. POWDER COAT  
FINISH "GOLD".  
WITH PERFERATED BLACK  
MESH BEHIND.



EXPRESSED JOINT FIBRE  
CEMENT SHEETING.  
PAINT FINISH "WHITE".



SHOP FRONT GLAZING  
POWDERCOAT  
ALUMINIUM  
"BLACK".

CLEAR GLASS



TINTED GLASS

PREFINISHED FLAT SHEET  
CLADDING WITH  
POWDERCOAT ALUMINIUM  
GLAZING. "BLACK"



OFF FORM RECKLI  
PRECAST CONCRETE  
PANEL. SEALED. 2/176  
RABA



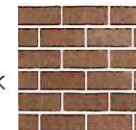
OFF FORM RECKLI  
PRECAST CONCRETE  
PANEL. SEALED. 2/29  
FULDA



POWDERCOAT ALUMINIUM  
SCREEN. "BLACK"



FACE BRICKWORK.  
GRAVEL BY PGH.  
BREEZEWAY LAID  
BRICKWORK TO CARPARK  
LEVEL.



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rev no. description

date

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352 Hunter Street  
Newcastle, NSW 2300

Schedule of Materials

project no. A18005  
date: 2019/02/18  
drawn: FH

dwg no. A1004  
scale: @ A1  
rev no. A