



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 18/10/22 – 61 TERALBA ROAD ADAMSTOWN – DA2021/01656
AND DUAL OCCUPANCY - ERECTION OF DWELLING AND ONE
INTO TWO LOT SUBDIVISION INCLUDING DEMOLITION OF
DWELLING HOUSE**

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AND DUAL OCCUPANCY - ERECTION OF DWELLING AND ONE
INTO TWO LOT SUBDIVISION INCLUDING DEMOLITION OF
DWELLING HOUSE**

ITEM-17 Attachment A: Submitted Plans

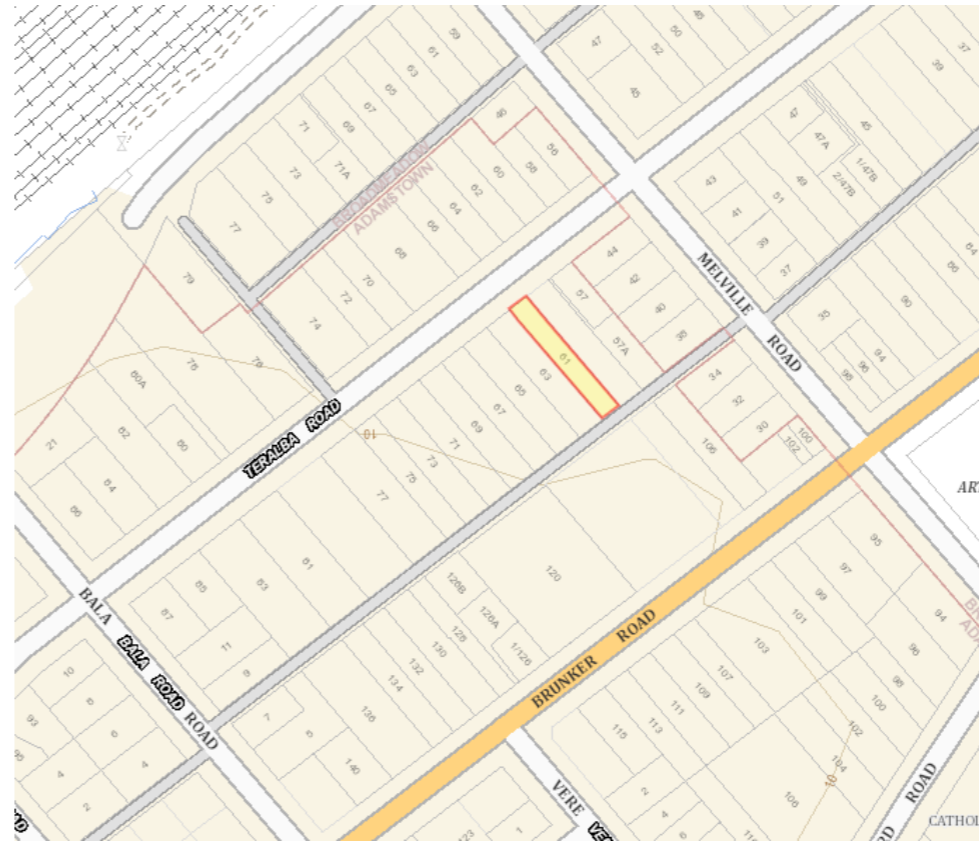
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WORKING DOCUMENTATION

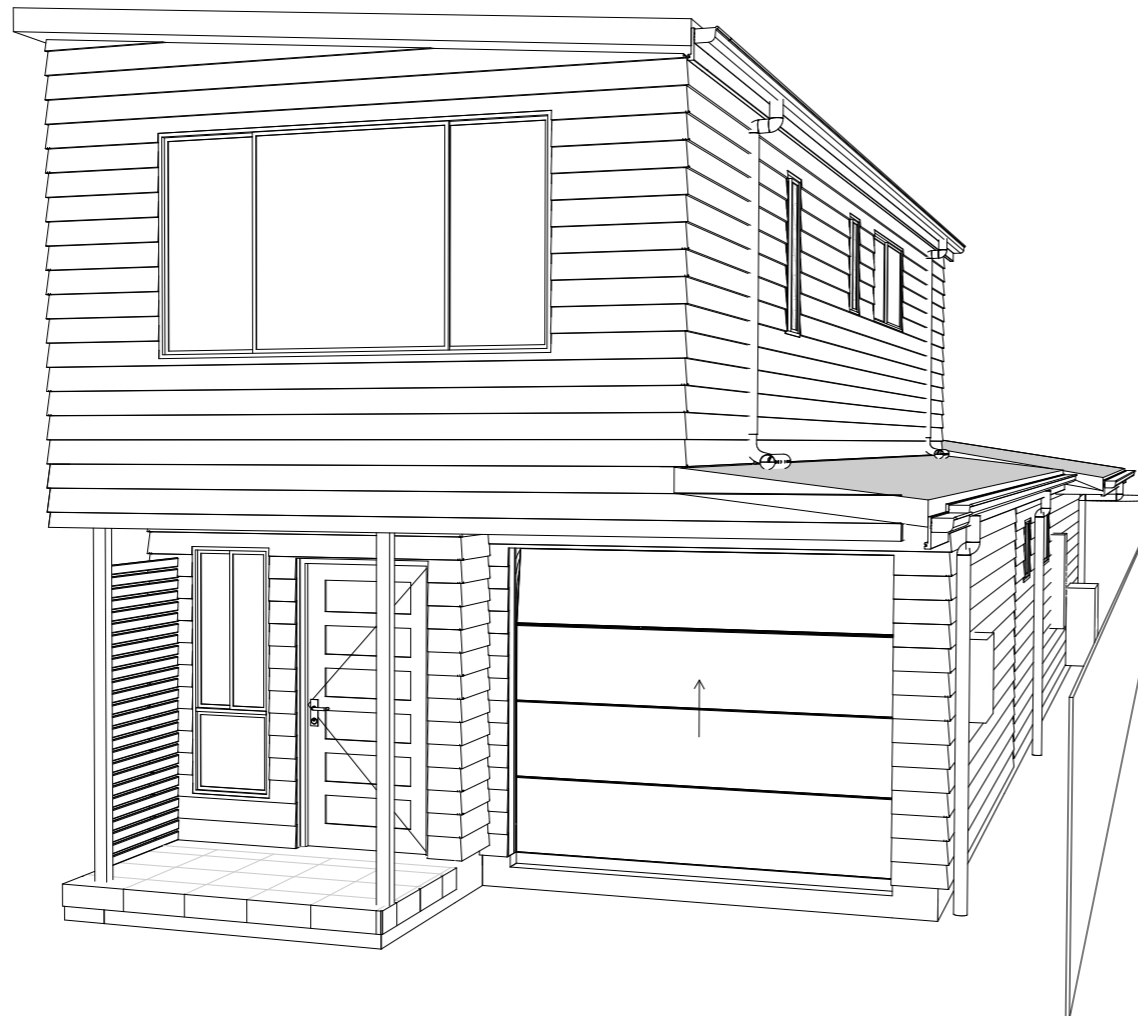
DWG No. DRAWING TITLE

WD01	COVER SHEET
WD02	SURVEY
WD03	BASIX COMMITMENTS
WD04	SITE SETOUT PLAN
WD05	DEMOLITION PLAN
WD06	LANDSCAPE PLAN
WD07	SHADOW DIAGRAM EXISTING
WD08	SHADOW DIAGRAM PROPOSED
WD09	SHADOW DIAGRAM PERSPECTIVE
WD10	SHADOW DIAGRAM PERSPECTIVE
WD11	FLOOR PLAN
WD12	ELEVATIONS
WD13	ELEVATIONS
WD14	SECTION A-A
WD15	STORMWATER PLAN
WD16	EXISTING STORMWATER ENGINE...
WD17	ELECTRICAL SERVICES PLAN
WD18	KITCHEN ELEVATIONS
WD19	WET AREA ELEVATIONS
WD20	WET AREA ELEVATIONS



SITE LOCALITY

NOT TO SCALE



WD01⁵ of 20

COVER SHEET

For Job:

0061TERA

On:

30/08/2022

CONTRACT
PLANS

For the design of a:

CUSTOM CLADDED RESIDENCE AND
ATTACHED GARAGE WITH CUSTOM
FACADE

For:

BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5

At:

1 / - / 343748

61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289

DETACHED DUAL
OCCUPANCY

Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	

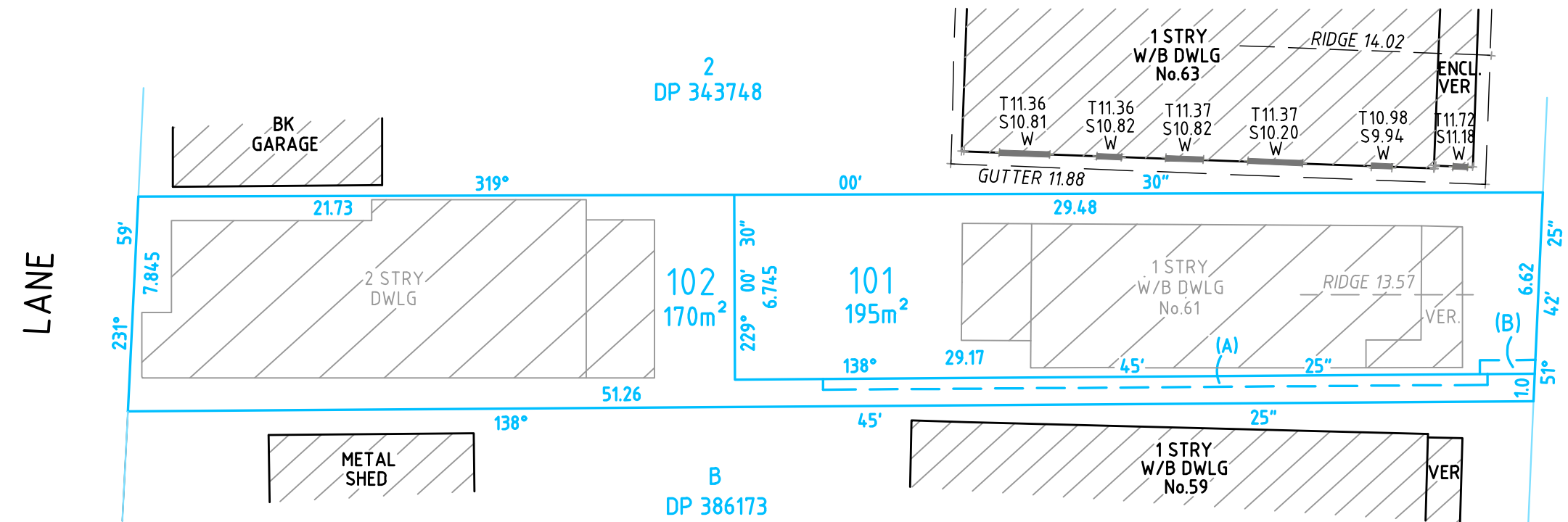
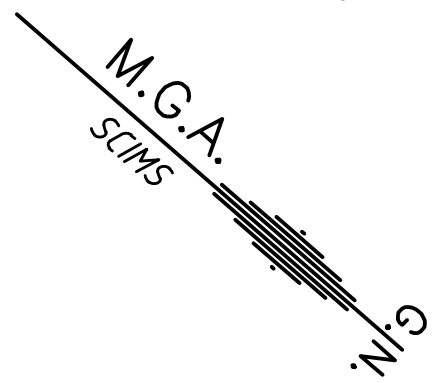


No.	DETAIL	DATE
1. KD	PRELIMINARY PLANS	23/08/2021
2. KD	CONTRACT PRELIMINARY PLANS FOR REVIEW	16/09/2021
3. MI	UPDATED SHADOW DIAGRAMS	15/03/2022
4. AR	PLANS AMENDED TO REFLECT COUNCIL RFI	10/05/2022
5. AR	ATTACHED ADDITIONAL SHADOW DIAGRAMS	11/05/2022
6. AR	COUNCIL RFI'S ADDRESSED	08/07/2022
7. AR	PLANS UPDATED WITH ADDITIONAL INFORMATION	12/07/2022

Hunter Homes Pty Ltd Builders Lic: 216162C
 55 Port Stephens Street, Raymond Terrace, NSW, 2324
 Website: www.hotoondo.com.au Email: info@hhgps.com.au
 Phone: (02) 4987 4909 ABN: 76 133 887 064
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NOTES:

1. THE SITE BOUNDARIES WHERE SHOWN WERE NOT MARKED AT TIME OF SURVEY AND ARE APPROXIMATE. ACCURATE BOUNDARY POSITIONS ARE TO BE DETERMINED ON SITE PRIOR TO ANY WORK.
2. THIS DOCUMENT IS FOR PLANNING PURPOSES ONLY.



ROAD

TERALBA

▲ T.B.M. DRILLHOLE
RL 8.23 (AHD)



- (A) PROPOSED EASEMENT FOR OVERHANG 0.3 WIDE
- (B) PROPOSED RIGHT OF FOOTWAY 0.5 WIDE

REV	DETAILS & AMENDMENTS	DATE	PLAN TITLE:	17 William Street HAMILTON NSW 2303 PO Box 986 HAMILTON NSW 2303 Ph: 4969 6995 www.parkerscanlon.com.au Email: surveys@parkerscanlon.com.au ABN 36124 624 022	
A	INITIAL PLAN	28/06/2022	DETAIL SURVEY	CLIENT:	BEER
			ADDRESS:	61 TERALBA ROAD - ADAMSTOWN	
			TITLE DETAILS:	PROPOSED SUBDIVISION OF LOT 1 IN DP343748	
REF No: B1903DET-A		SHEET 1 OF 2	DATUM:	SOURCE:	PARKER SCANLON CONTACT:
		A3	A.H.D.	SSM90962 RL7.859 BY SCIMS DATED 27/09/2018	LISA BLANDFORD
			SURVEYED/DRAWN/CHECKED:		TM/WW/MS



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 12414455 lodged with the consent authority or certifier on 06 December 2021 with application PAN - 175921.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000.

Secretary
Date of issue: Friday, 08 July 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	0061TERA - BEER_03	
Street address	61 TERALBA ROAD ADAMSTOWN 2289	
Local Government Area	Newcastle City Council	
Plan type and plan number	deposited 343748	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	3	
Project score		
Thermal Comfort	✓ 55	Target 40
Energy	✓ 90	Target 50

Certificate Prepared by	
Name / Company Name:	Hunter Homes
ABN (if applicable):	76133897064

Description of project

Project address		Assessor details and thermal loads	
Project name	0061TERA - BEER_03	Assessor number	n/a
Street address	61 TERALBA ROAD ADAMSTOWN 2289	Certificate number	n/a
Local Government Area	Newcastle City Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 343748	Area adjusted cooling load (MJ/m ² /year)	n/a
Lot no.	1	Area adjusted heating load (MJ/m ² /year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type	separate dwelling house	Ceiling fan in at least one living room or other conditioned area	n/a
No. of bedrooms	3	Project score	
Site details		Water	✓ 85 Target 40
Site area (m ²)	165	Thermal Comfort	✓ Pass Target Pass
Roof area (m ²)	150	Energy	✓ 90 Target 50
Conditioned floor area (m ²)	134.66		
Unconditioned floor area (m ²)	12.11		
Total area of garden and lawn (m ²)	30		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CO/CCDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 5 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 107 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:		✓	✓
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

For Job:

0061TERA

On:

30/08/2022
CONTRACT PLANS

For the design of a:
CUSTOM CLADDED RESIDENCE AND ATTACHED GARAGE WITH CUSTOM FACADE

For:
BFB HOLDINGS PTY LTD ATF BEER PROPERTY TRUST 5

At:

1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289

Thermal Comfort Commitments	Show on DA plans	Show on CO/CCDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction			
floor - concrete slab on ground	Additional insulation required (R-Value)		Other specifications
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)		
internal wall shared with garage - plasterboard	nil		
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.5 (up), roof: foil/blanketing		unventilated; dark (solar absorbance > 0.70)
Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Thermal Comfort Commitments	Show on DA plans	Show on CO/CCDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction			
floor - concrete slab on ground	Additional insulation required (R-Value)		Other specifications
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internal wall shared with garage - plasterboard	nil		
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.5 (up), roof: foil/blanketing		unventilated; dark (solar absorbance > 0.70)
Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W02	600	2170	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 3040 mm above head of window or glazed door	not overshadowed
W14	860	2170	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
South-East facing					
W15	860	2170	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W08	1800	850	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	solid overhang 3485 mm, 300 mm above head of window or glazed door	not overshadowed
D02	2100	3129	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	solid overhang 3485 mm, 300 mm above head of window or glazed door	not overshadowed
W07	1800	850	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	solid overhang 3485 mm, 300 mm above head of window or glazed door	not overshadowed
South-West facing					
W09	720	1510	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 3585 mm above head of window or glazed door	not overshadowed
W17	860	610	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W18	1200	610	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W16	860	2170	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W12	600	850	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 3040 mm above head of window or glazed door	not overshadowed
W10	600	2170	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 3040 mm above head of window or glazed door	not overshadowed
D03	2100	1450	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 3040 mm above head of window or glazed door	not overshadowed
W11	600	1210	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 3040 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North-West facing					
W12	1460	2650	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed
W01	1800	610	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 600 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CO/CCDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: EER 3.0 - 3.5.	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: EER 3.0 - 3.5.	✓	✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: EER 3.5 - 4.0.	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: EER 3.5 - 4.0.	✓	✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Kitchen: no mechanical ventilation (ie. natural). Operation control: n/a	✓	✓	✓
Laundry: natural ventilation only, or no laundry. Operation control: n/a	✓	✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 3 of the bedrooms / study; dedicated	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CO/CCDC plans & specs	Certifier check
• at least 2 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 2.7 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	✓
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	✓

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CO/CCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

No.	DETAIL	DATE
1. KD	PRELIMINARY PLANS	23/08/2021
2. KD	CONTRACT PRELIMINARY PLANS FOR REVIEW	16/09/2021
3. MI	UPDATED SHADOW DIAGRAMS	15/03/2022
4. AR	PLANS AMENDED TO REFLECT COUNCIL RFI	10/05/2022
5. AR	ATTACHED ADDITIONAL SHADOW DIAGRAMS	11/05/2022
6. AR	COUNCIL RFI'S ADDRESSED	08/07/2022
7. AR	PLANS UPDATED WITH ADDITIONAL INFORMATION	12/07/2022

Wind Classification:	N2	Soil Classification:	M/H/P
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class/No
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		



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For Job:

0061TERA

On:

30/08/2022
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For the design of a:

CUSTOM CLADDED RESIDENCE AND
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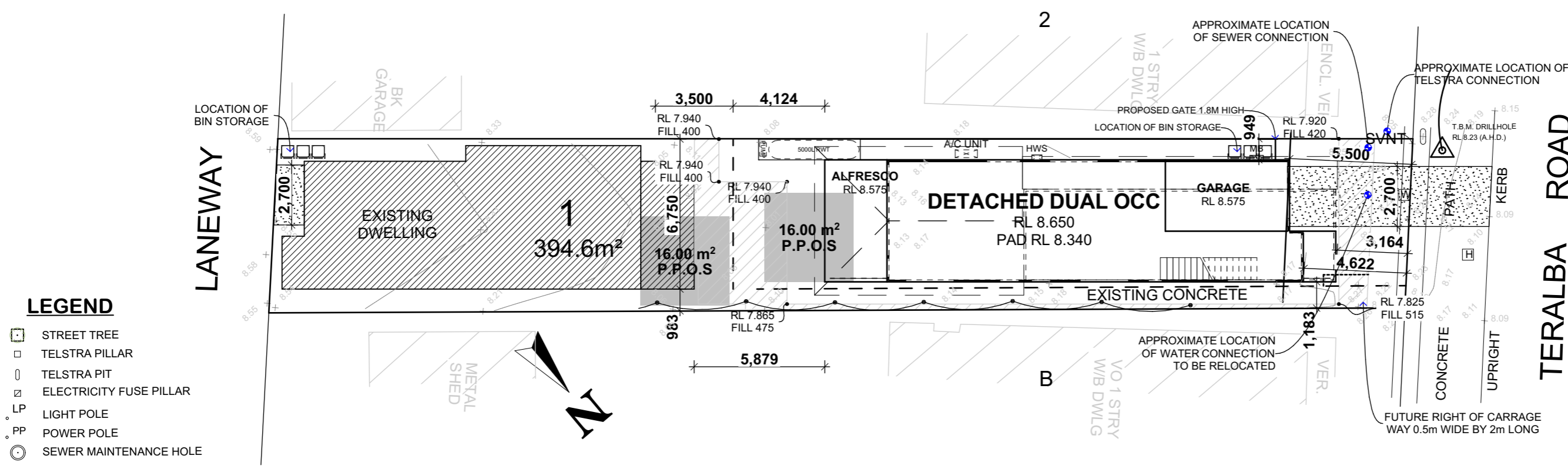
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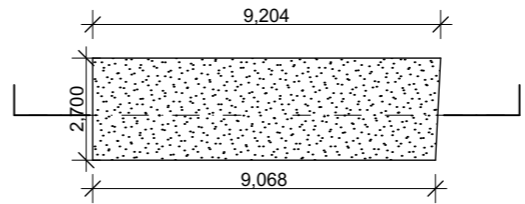
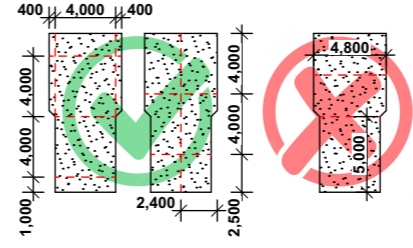
12.00 m²
P.P.O.S



SITE PLAN

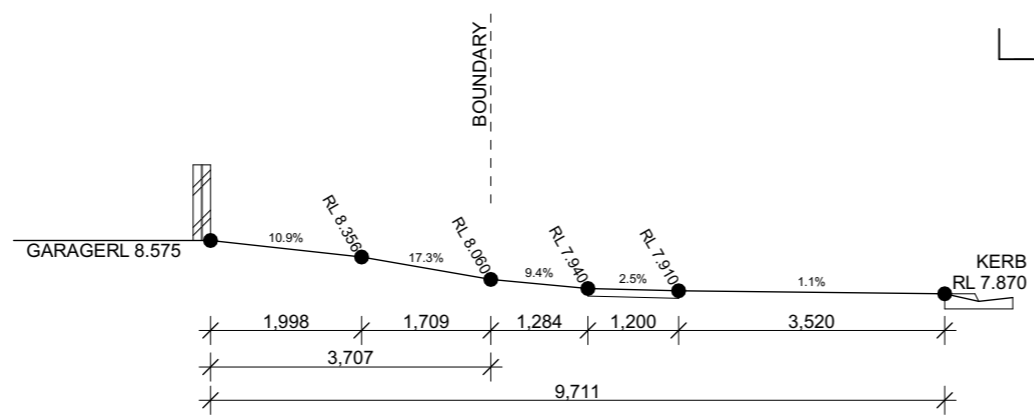
SCALE 1:200 @A3

EXPANSION JOINT MAX SPACING 4m IN ANY DIRECTION



DRIVEWAY SETOUT PLAN

SCALE 1:200 @A3



DRIVEWAY GRAIDENT

SCALE 1:100 @A3

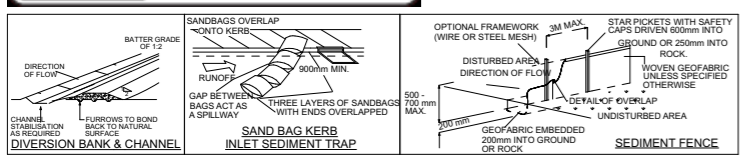
SITE COVERAGE

FIRST FLOOR RESIDENCE	
FIRST FLOOR	66.97
	66.97 m²
HARDSTAND	
CROSSOVER	9.76
INSIDE BOUNDARY	6.74
	16.50 m²
RESIDENCE	
ALFRESCO	16.47
GARAGE	18.64
PORCH	3.40
RESIDENCE	88.97
	127.48 m²
SITE	196.13

CUT FILL SPLIT

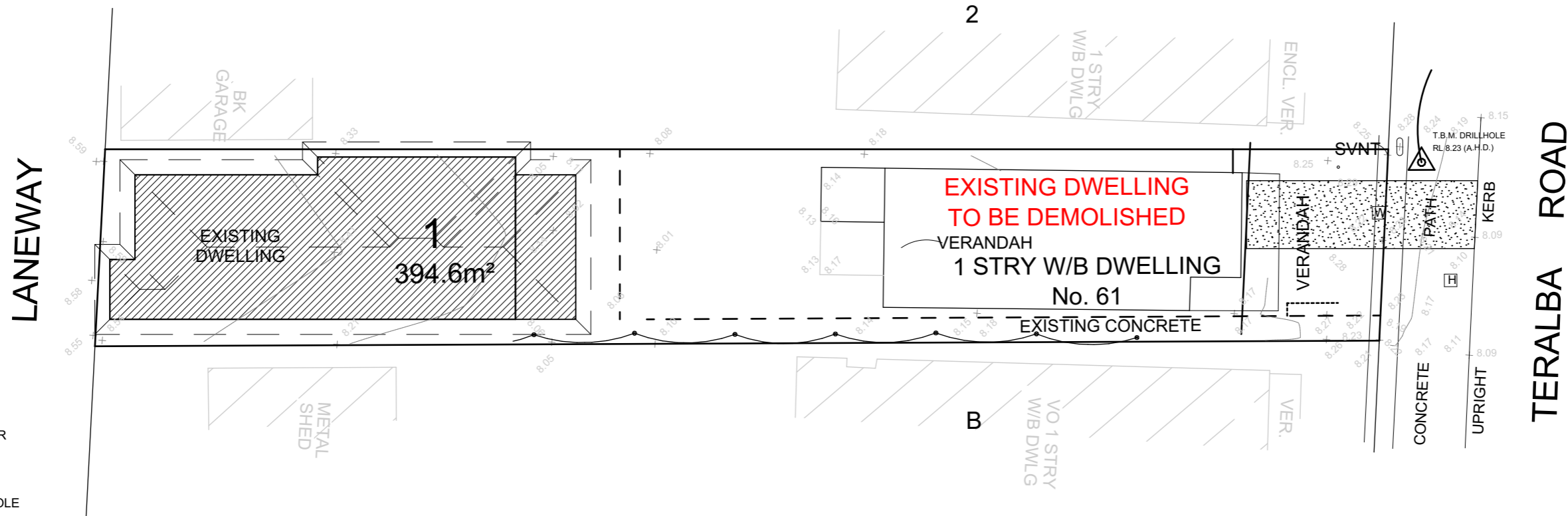
Cubic Meters	0.00	54.84	-54.84
Tonne	0.00	120.65	-120.65
12t Trucks	0.00	10.06	-10.05

Wind Classification:	N2	Soil Classification:	M/H/P
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class/No
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		



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LEGEND

- STREET TREE
- TELSTRA PILLAR
- TELSTRA PIT
- ELECTRICITY FUSE PILLAR
- LP LIGHT POLE
- PP POWER POLE
- SEWER MAINTENANCE HOLE
- SIPT SEWER INSPECTION POINT
- SVNT SEWER VENT
- SEWER MAINTENANCE SHAFT
- FP FLUSH POINT
- STORMWATER DRAINAGE PIT
- GAS METER
- TAP
- WATER METER
- WATER STOP VALVE
- WATER HYDRANT
- WC WATER CONNECTION
- SSGN STREET SIGN
- MISC MISCELLANEOUS SERVICE
- DRIVE CROSSING
- TOP CONCRETE KERB
- KERB INLET PIT
- TOP CONCRETE KERB

DEMOLITION PLAN

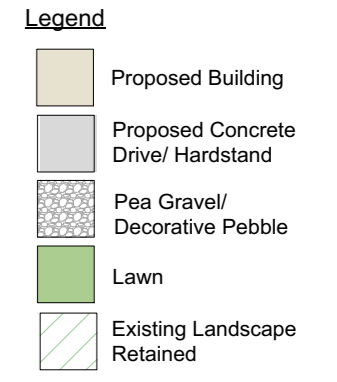
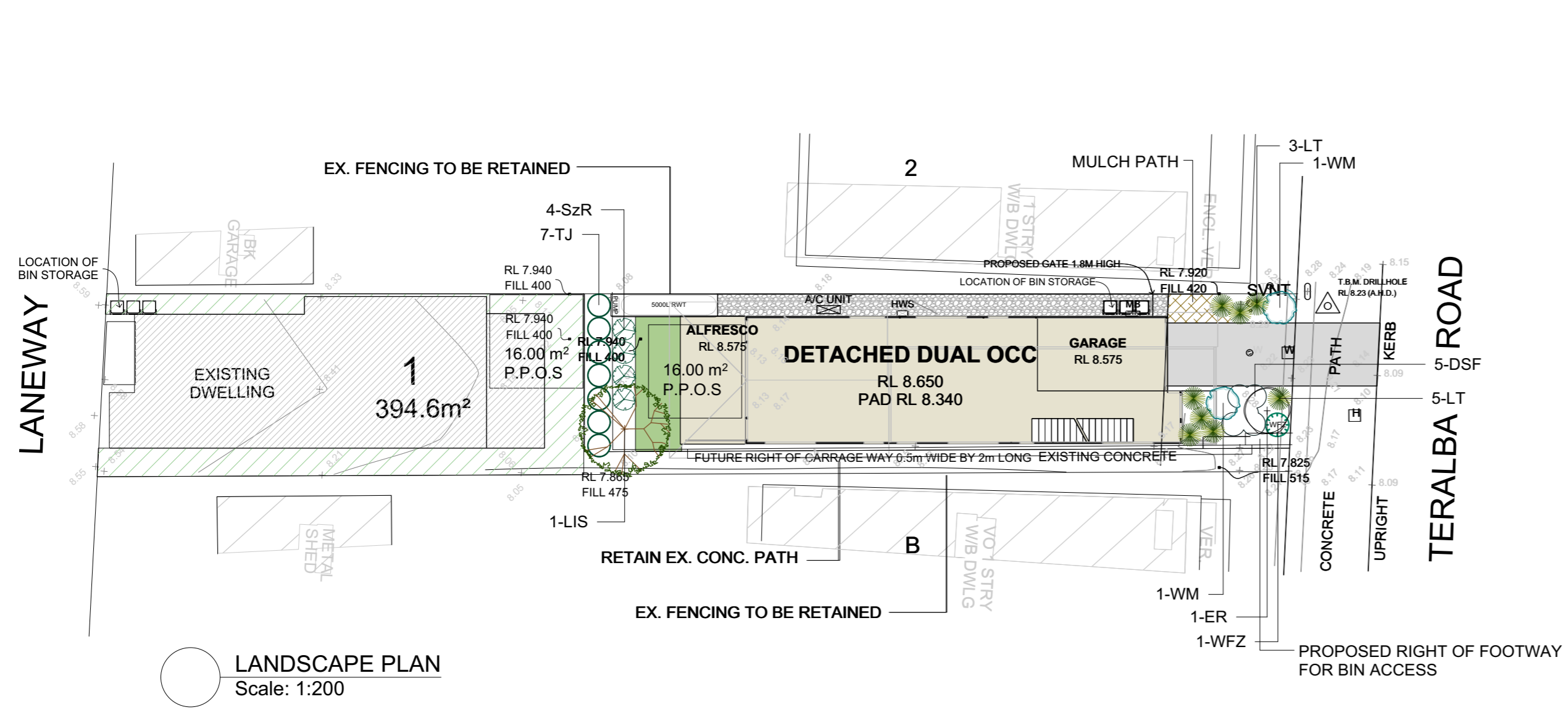
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Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



No.	DETAIL	DATE
1. KD	PRELIMINARY PLANS	23/08/2021
2. KD	CONTRACT PRELIMINARY PLANS FOR REVIEW	16/09/2021
3. MI	UPDATED SHADOW DIAGRAMS	15/03/2022
4. AR	PLANS AMENDED TO REFLECT COUNCIL RFI	10/05/2022
5. AR	ATTACHED ADDITIONAL SHADOW DIAGRAMS	11/05/2022
6. AR	COUNCIL RFI'S ADDRESSED	08/07/2022
7. AR	PLANS UPDATED WITH ADDITIONAL INFORMATION	12/07/2022

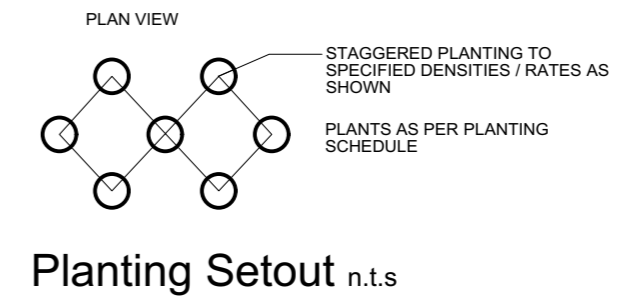
Hunter Homes Pty Ltd Builders Lic: 216162C
 55 Port Stephens Street, Raymond Terrace, NSW, 2324
 Website: www.hotoondo.com.au Email: info@hhgps.com.au
 Phone: (02) 4987 4909 ABN: 76 133 887 064
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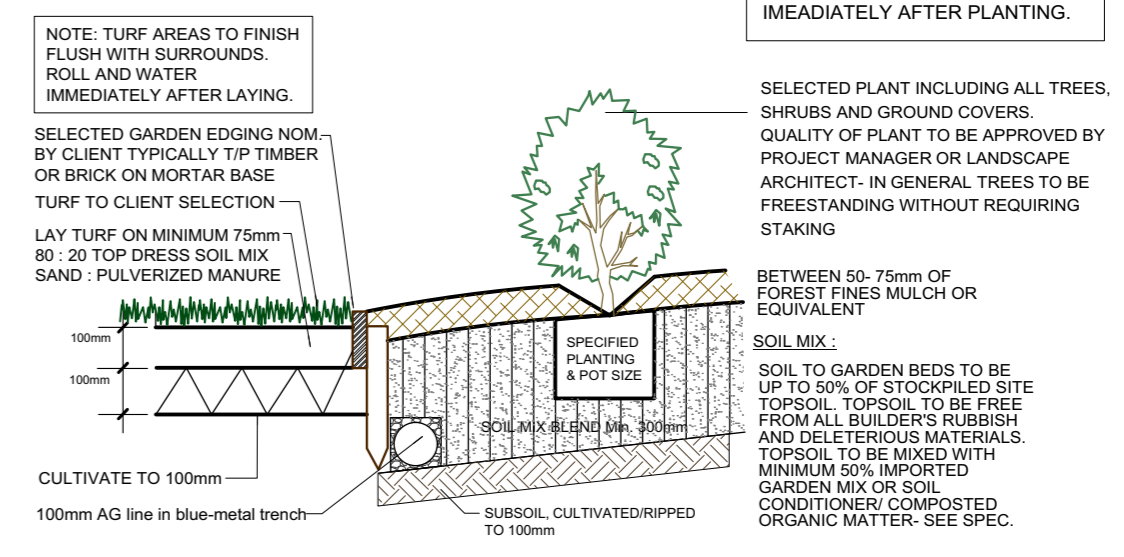
LANDSCAPE PLAN
Scale: 1:200

Plant List

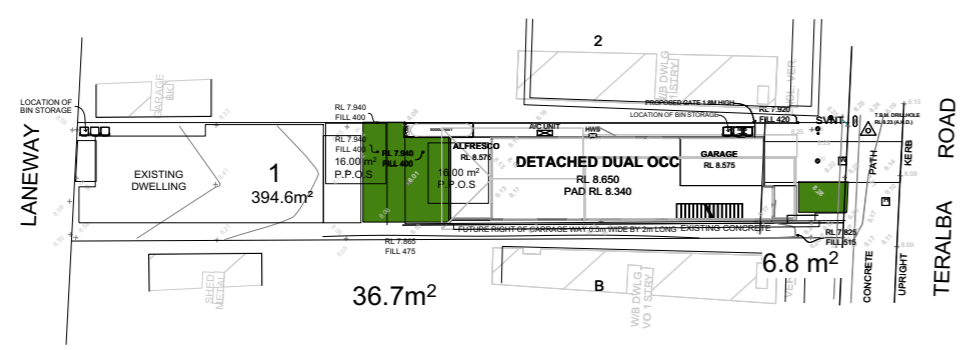
ID	Botanical Name	Common Name	Pot Size	Mature Height	Mature Spread	Qty	Remarks
Trees							
ER	Elaeocarpus reticulatus	Blueberry Ash	45L	5 - 10m	3.5 - 6m	1	
LIS	Lagerstroemia 'Sioux'	Sioux	45L	3m	4m	1	
Shrubs							
SzR	Syzygium 'Resilience'	Resilience	200mm	3m	1m	4	
WFZ	Westringia fruticosa 'Zena'	Zena Compact Native Rosemary	200mm	1m	1m	1	
WM	Westringia mundi	Mundi	200mm	0.6m	1.5m	2	
Ground Covers							
DSF	Dichondra 'Silver Falls'	Silver Kidney Weed	140mm	0.0 - 0.3m	1.2 - 2.0m	5	
Grasses							
LT	Lomandra 'Tanika'	Dwarf mat rush	140mm	0.45 - 0.6m	0.6 - 0.9m	8	
Climbers							
TJ	Trachelospermum jasminoides	Star Jasmine	200mm	3 - 5m	3.5 - 6m	7	TO CABLE CLIMBING SUPPORTS TO FENCE



Planting Setout n.t.s

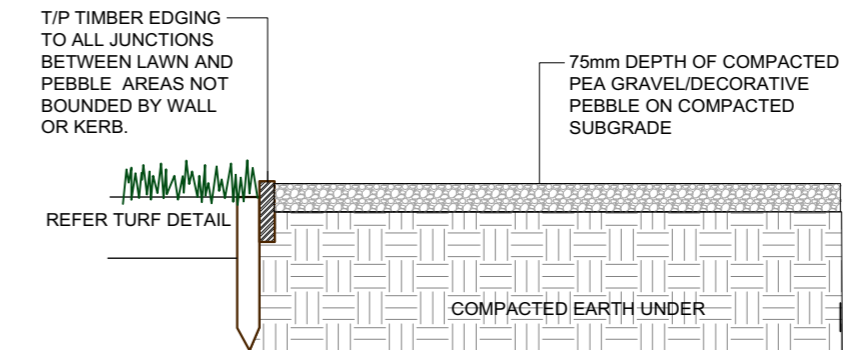


TYPICAL SOIL PREPARATION WITH GARDEN EDGE
Scale: NTS

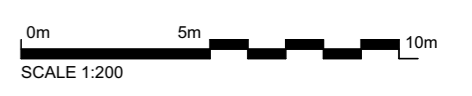


LANDSCAPED AREA CALCULATION:
TOTAL SITE AREA: 394.6m²
TOTAL LANDSCAPED AREA: 43.5m² = 11%

LANDSCAPED AREA PLAN
Scale: 1:500



PEBBLES WITH TIMBER EDGE
Scale: 1:10



Amendments:

A	Issue For DA Submission	12.05.22
B	Minor Amendments	15.07.22
C	Minor Amendments	21.07.22
D	Minor Amendments	07.09.22
E	Minor Amendments	08.09.22
F	Minor Amendments	13.09.22
No:	Amendments:	Date:

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A.B.N. 44 775 747 742

LANDSCAPE PLAN
TITLE: PROPOSED DUAL OCCUPANCY
61 Teralba Road
ADAMSTOWN
Client : BFB Holdings
SCALE: 1:200@ A2 DATE: 12 MAY 2022
PROJECT NO.: 2235 DWG NO.: LP.01 / F
ISSUE: F SHEET 1 of 2

LANDSCAPE WORK SPECIFICATION
Project:

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

- The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.
- All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.
- All outdoor lighting specified by architect or client to be installed by qualified electrician
- Anomalies that occur in these plans should be brought to our immediate attention.
- Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.
- All landscape works shall be implemented under the full supervision of an appropriately qualified landscape contractor and member of LNA Master Landscapers Association.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4970-2009. Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health. Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

1.8m high temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. The location of this fencing will be as per the TPZ defined by the consulting Arborist. If no Arborists report is available, install fence around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner - Mass planting in natural ground
The specified soil conditioner for mass planting shall be an organic mix, equal to "Soil conditioner", as supplied by Oz Landscaping Supplies.
Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7.

2.02 INSTALLATION

a) Testing

All testing is to be conducted in accordance with AS 4419-2003 Soils for landscaping and garden use for an in depth soil analysis for pre-planting and diagnostic assessment of the soil.
Tests shall be taken in several areas where planting is proposed, and site soil modified to ensure conditions are appropriate for planting as stated above.

Note that a soil test conducted by "SESL Australia" or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:
- Mass Planting Beds - 300mm below existing levels with specified imported soil mix.
- Turf areas - 100mm below finished surface level.
Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 150mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes.

- Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by Oz Landscape Supplies or approved equal.
- Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.
- Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

In General, the principles & standards outlined in "Specifying Trees - a guide to assessment of tree quality" by Ross Clark will be demanded in the quality of all planting stock specified. These principles include, but are not limited to:
Above - Ground Assessment:

The following plant quality assessment criteria should be followed:
Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure
Below - Ground Assessment:
Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering
For further explanation and description of these assessment criteria, refer to Ross Clark's book.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Fertilizers

Fertilizers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

c) Mulch

Mulch shall be leaf litter mulch equal to "Forest Blend" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

d) Turf

Turf shall be "Kakadu" Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Trees shall be of a quality that, when planted, are freestanding, without the aid of stakes or ties, else they will be rejected.

d) Mulching

Mulch should be spread so that a compacted thickness of 75mm is achieved after settlement in all planting beds and around each individual plant. Apply immediately following planting and watering in, ensuring that a 50mm radius is maintained around the trunk of each plant.
In all planter boxes, mulch to finish between 25-50mm below top of planter.
There shall be no mixing of soil and mulch material.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Garden edging

The Contractor shall install garden edging to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces.
Garden Edging: *to be Treated Pine Timber edging (Unless otherwise specified by Client).*

g) Root Barrier

Ensure root barrier is installed to all edges/junctions between the garden bed and adjacent hard surfaces including but not limited to retaining walls, carparking, paths, underground pipes and tanks and buildings within a 3m radius of the trunk of any proposed trees.
Root barrier: *Equivalent to treemax root barrier.* Install root barrier to manufacturer's instructions.

h) Stepping Stones

Precast concrete slabs of 400-500mm SQ (or similar approved dimensions) shall be placed as indicated on plan at 200mm intervals. Finish and colour of stepping stones shall be nominated by the client. Install stepping stones as detail, flush with adjoining elements. Compact area under stepping stones locally where stepping stones occur in garden areas and generally where stepping stones occur in pea gravel/decorative pebble areas

i) Pea Gravel/Decorative Pebble

Compact area for Decorative Pebble installation with vibrating plate compactor before installation of Decorative Pebble.

Pebbles are to be installed loose to the gap between the installed stepping stones. They are to finish flush with the adjacent paved surface and be topped up should they settle after installation. At the edges of a stepping stone and pebble area the pebble is to be retained by a garden edge.

Pebbles: *Equivalent to 20-40mm Super Grey Pebble by Menai Sand and Soil*

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

a) Paving

Refer to typical details provided, and applicable Australian Standards.
Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface.
In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be carried out in a tradesman-like manner. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect.

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to AS 3500 & the latest Sydney Water Code

The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with dripper lines for all trees, and suitable jet sprinkler heads for the shrub species specified. It shall also incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.

The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available. All piping and fittings are to be buried 50mm below the finished soil levels in garden bed areas, and secured in position at 5m centre with galv wire pins. Sizing of pipes shall be done so as to ensure that the working pressure at the end of the line does not decrease by more than 5%.
Upon completion of installation, the system shall be tested and all components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Detailed drawings of the entire proposed irrigation system shall be made available to the client for records and future maintenance of the system.

CONSOLIDATION AND MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be 12 months beginning from the approved completion of the specified construction work (Practical Completion) except in the case of street trees, which shall be maintained for a period of 24 months. A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required:

- Watering all planting and lawn areas / irrigation maintenance.
- Clearing litter and other debris from landscaped areas.
- Removing weeds, pruning and general plant maintenance.
- Replacement of damaged, stolen or unhealthy plants.
- Make good areas of soil subsidence or erosion.
- Topping up of mulched areas.
- Spray / treatment for Insect and disease control.
- Fertilizing with approved fertilizers at correct rates.
- Mowing lawns & trimming edges each 14 days in summer or 18 days in winter
- Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.

Amendments:		
A	Issue For DA Submission	12.05.22
No:	Amendments:	Date:



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LANDSCAPE ARCHITECTURE

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A.B.N. 44 775 747 742

SPECIFICATION SHEET

TITLE: **PROPOSED DUAL OCCUPANCY**

**61 Teralba Road
ADAMSTOWN**

Client : BFB Holdings

SCALE: 1:200@ A2 DATE: 12 MAY 2022

PROJECT NO.: 2235 DWG NO.: LP.O2 / A
ISSUE: A SHEET 2 of 2

**SHADOW DIAGRAM
EXISTING**

For Job:

0061TERA

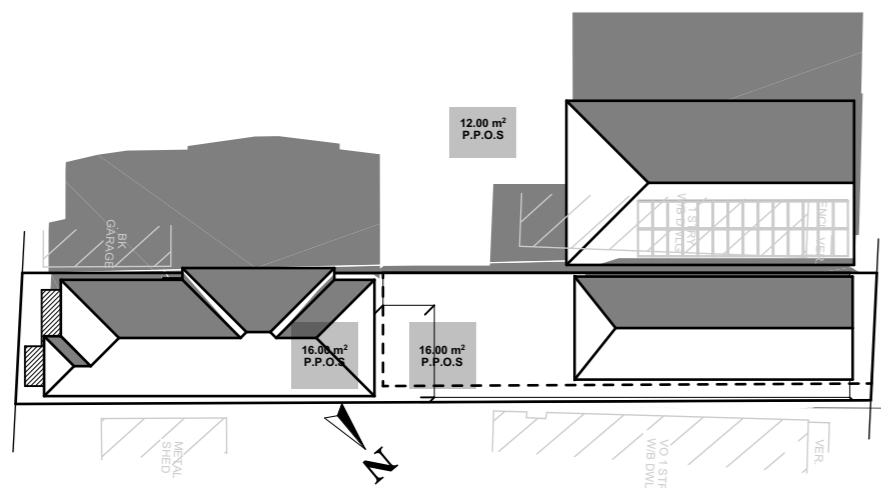
On:

**30/08/2022
CONTRACT
PLANS**

For the design of a:
**CUSTOM CLADED RESIDENCE AND
ATTACHED GARAGE WITH CUSTOM
FACADE**

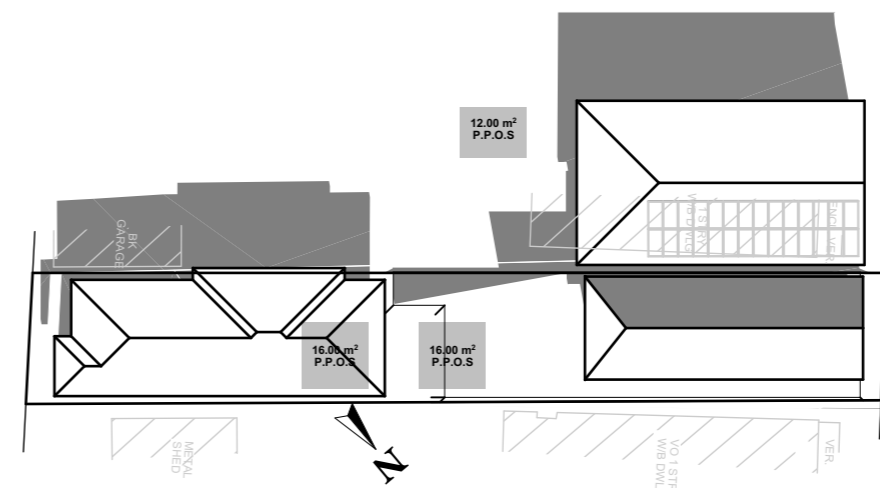
For:
**BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5**

At:
**1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289**



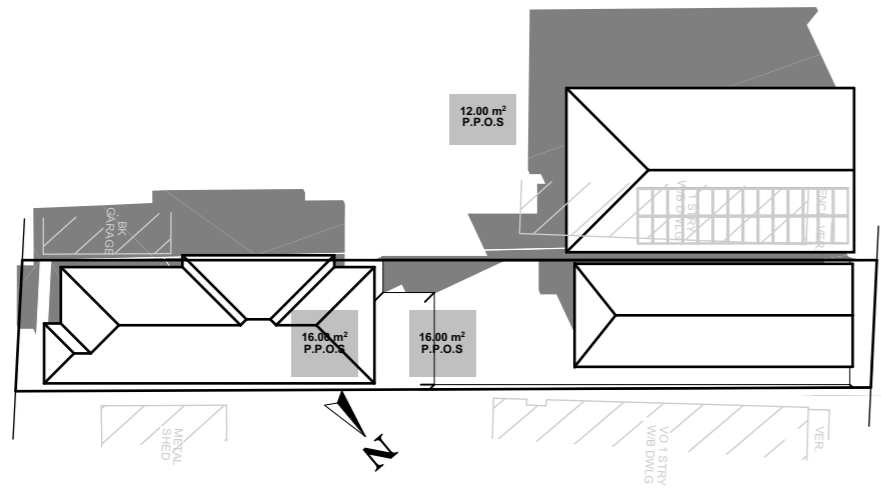
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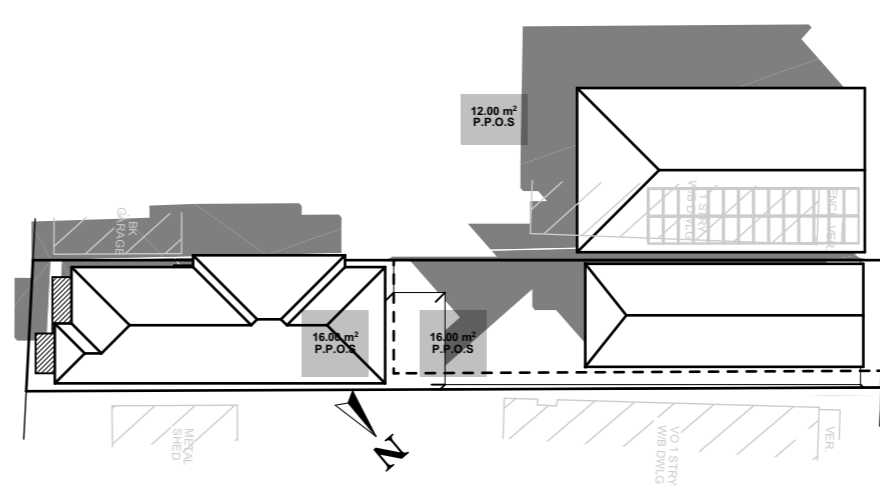
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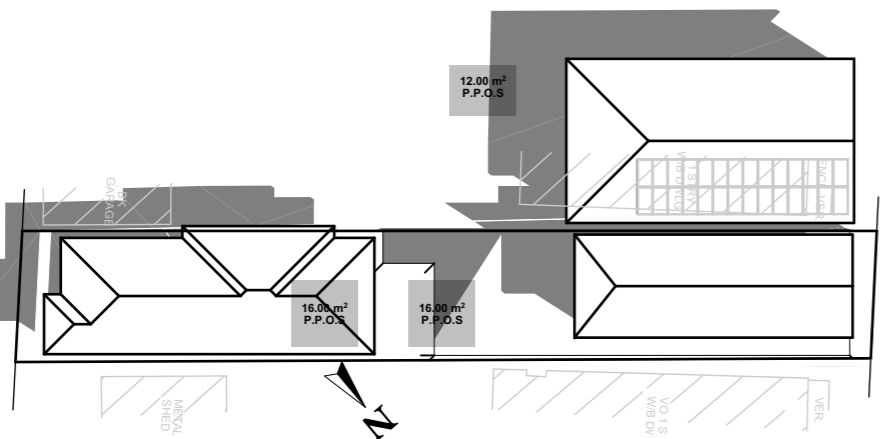
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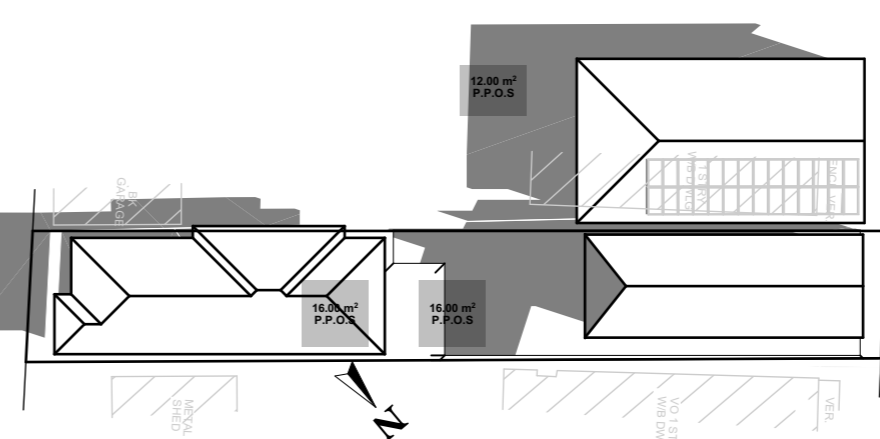
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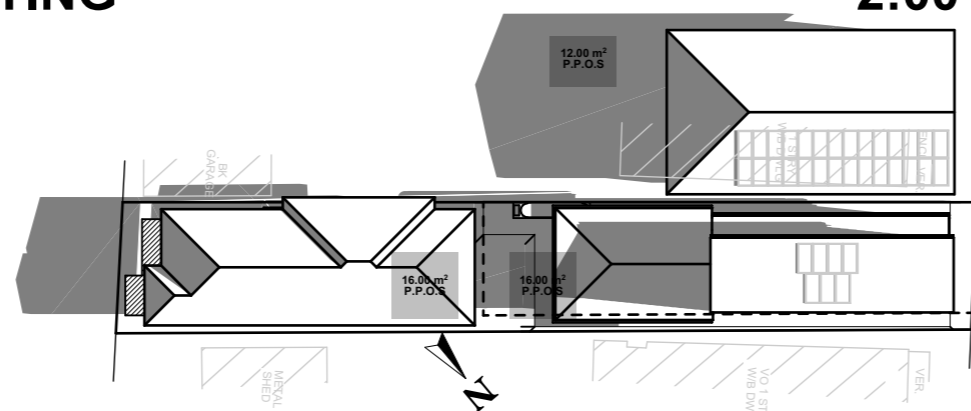
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NOT TO SCALE



2:00 PM 21/6 EXISTING

NOT TO SCALE



3:00 PM 21/6 EXISTING

NOT TO SCALE

Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



No.	DETAIL
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5. AR	ATTACHED ADDITIONAL SHADOW DIAGRAMS
6. AR	COUNCIL RFI'S ADDRESSED
7. AR	PLANS UPDATED WITH ADDITIONAL INFORMATION

DATE	DETAIL
23/08/2021	Hunter Homes Pty Ltd Builders Lic: 216162C
16/09/2021	55 Port Stephens Street, Raymond Terrace, NSW, 2324
15/03/2022	Website: www.hotondo.com.au Email: info@hhps.com.au
10/05/2022	Phone: (02) 4987 4909 ABN: 76 133 887 064
11/05/2022	All information, concepts and ideas contained herein are the property of Hunter Homes and may not be distributed and/or reproduced without express permission from Hunter Homes. It is the responsibility of the builder to check and verify all dimensions on-site prior to the commencement of building works and to notify Hunter Homes of any errors and omissions. DO NOT SCALE DRAWING. Do not use drawing for construction purposes unless issued by Hunter Homes for construction.
08/07/2022	
12/07/2022	

SHADOW DIAGRAM
PROPOSED

For Job:

0061TERA

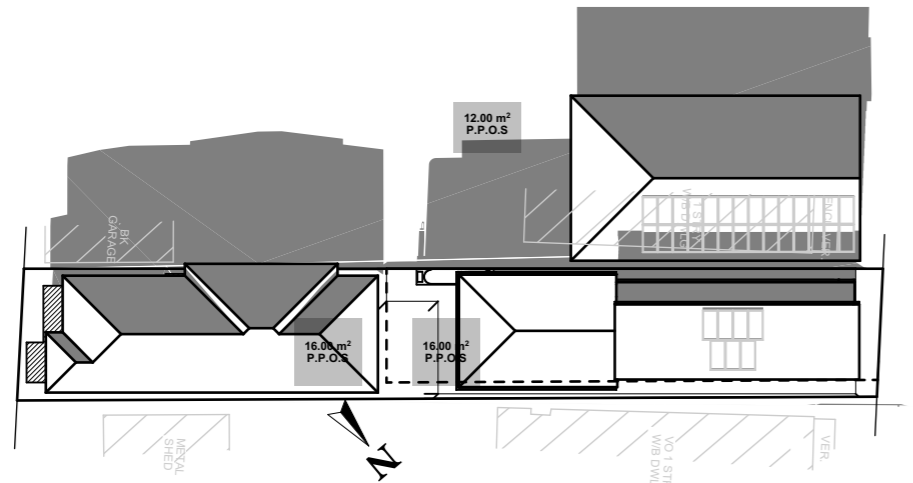
On:

30/08/2022
CONTRACT
PLANS

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CUSTOM CLADDED RESIDENCE AND
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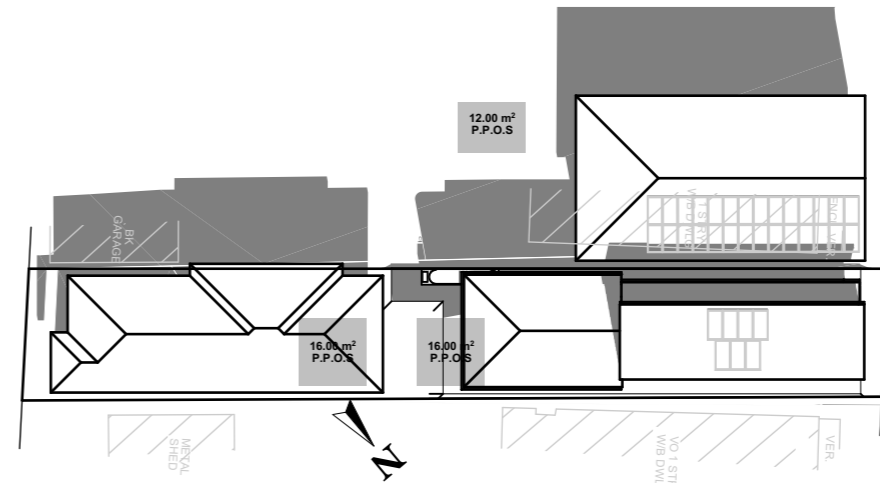
For:
BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5

At:
1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289



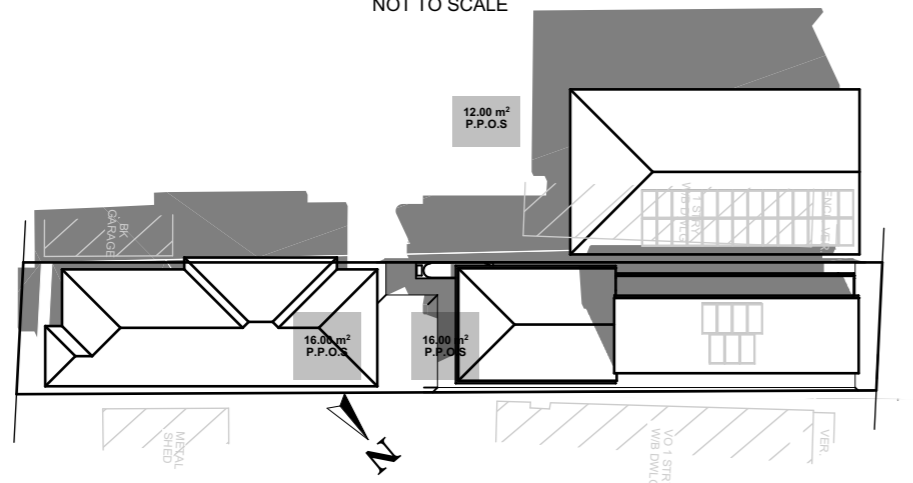
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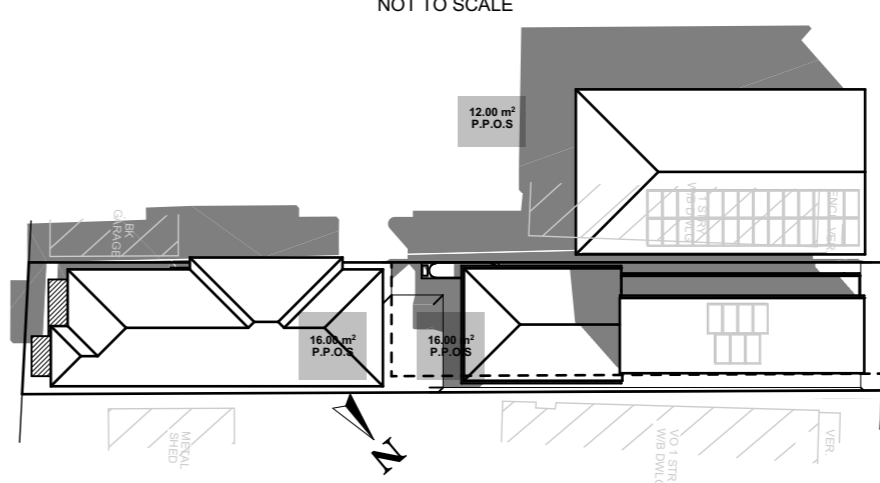
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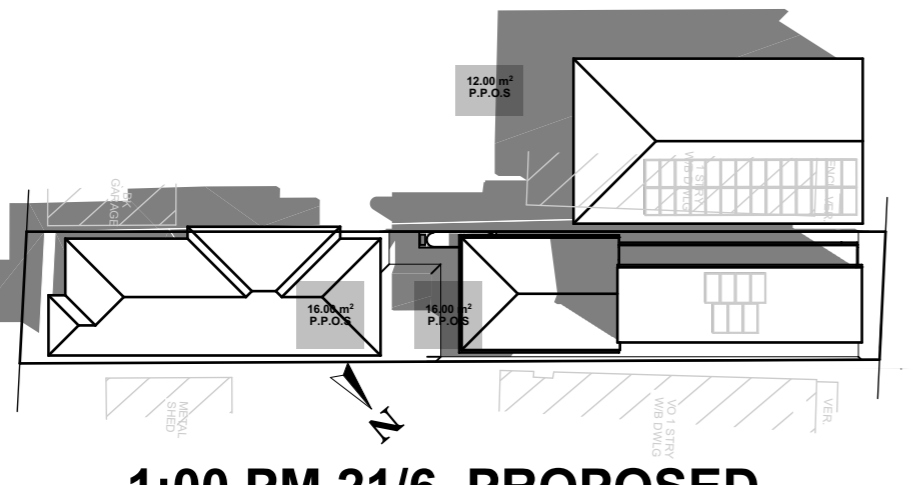
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NOT TO SCALE



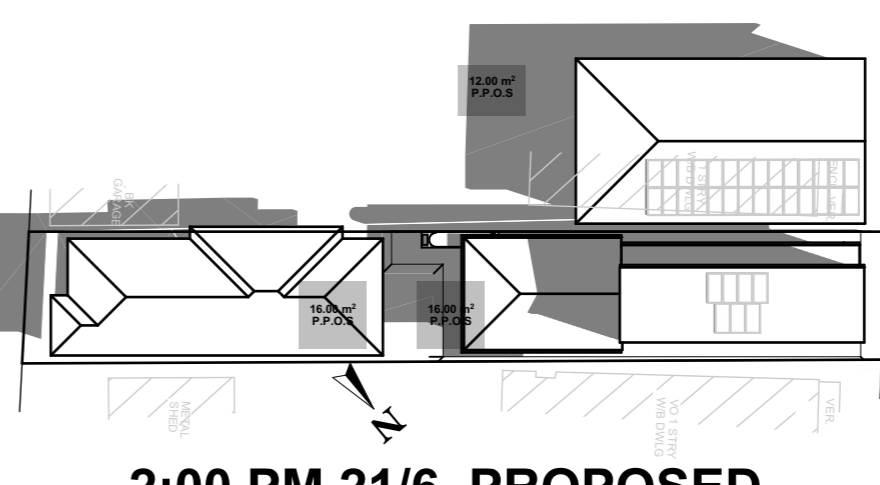
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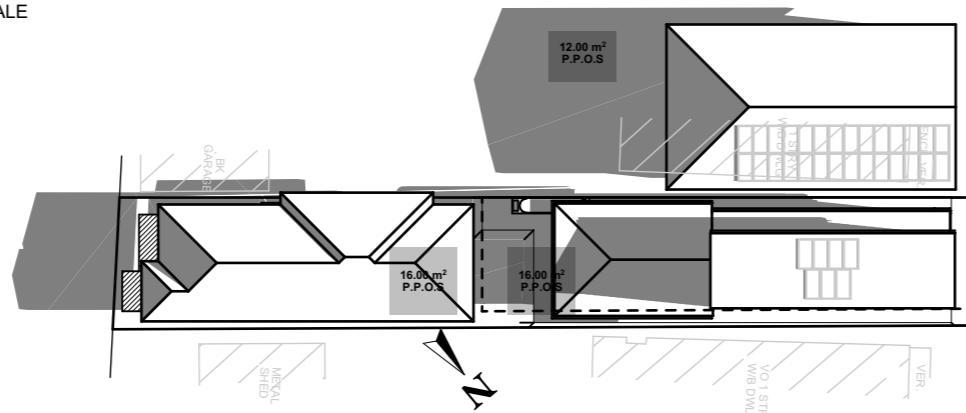
1:00 PM 21/6 PROPOSED

NOT TO SCALE



2:00 PM 21/6 PROPOSED

NOT TO SCALE



3:00 PM 21/6 PROPOSED

NOT TO SCALE

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Bushfire Requirements:	
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No.	DETAIL
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2.	KD CONTRACT PRELIMINARY PLANS FOR REVIEW
3.	MI UPDATED SHADOW DIAGRAMS
4.	AR PLANS AMENDED TO REFLECT COUNCIL RFI
5.	AR ATTACHED ADDITIONAL SHADOW DIAGRAMS
6.	COUNCIL RFI'S ADDRESSED
7.	AR PLANS UPDATED WITH ADDITIONAL INFORMATION

DATE	Hunter Homes Pty Ltd	Builders Lic. 216162C
23/08/2021	55 Port Stephens Street, Raymond Terrace, NSW, 2324	
16/09/2021	Website: www.hotoondo.com.au	Email: info@hhps.com.au
15/03/2022	Phone: (02) 4987 4909	ABN: 76 133 887 064
10/05/2022	All information, concepts and ideas contained herein are the property of Hunter Homes and may not be distributed and/or reproduced without express permission from Hunter Homes. It is the responsibility of the builder to check and verify all dimensions on-site prior to the commencement of building works and to notify Hunter Homes of any errors and omissions. DO NOT SCALE DRAWING. Do not use drawing for construction purposes unless issued by Hunter Homes for construction.	
11/05/2022		
08/07/2022		
12/07/2022		

For Job:

0061TERA

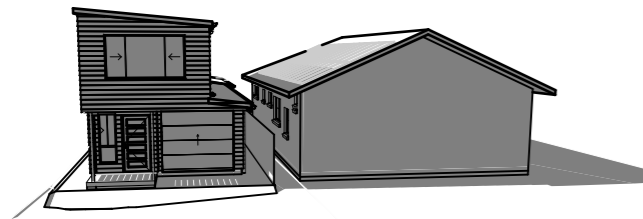
On:

30/08/2022
CONTRACT
PLANS

For the design of a:
CUSTOM CLADDED RESIDENCE AND
ATTACHED GARAGE WITH CUSTOM
FACADE

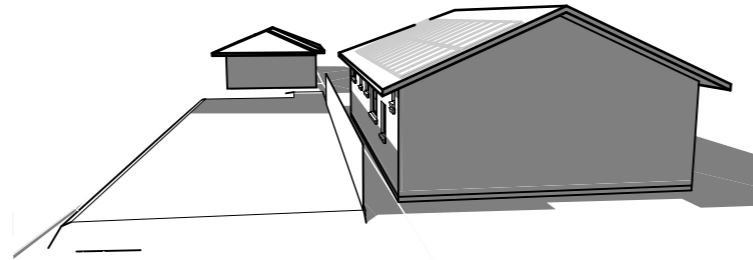
For:
BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5

At:
1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289



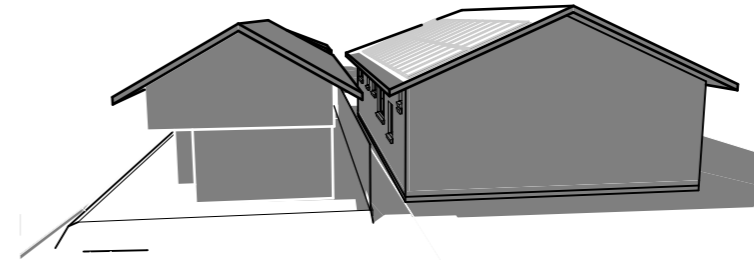
PROPOSED CONDITIONS 9AM

NOT TO SCALE



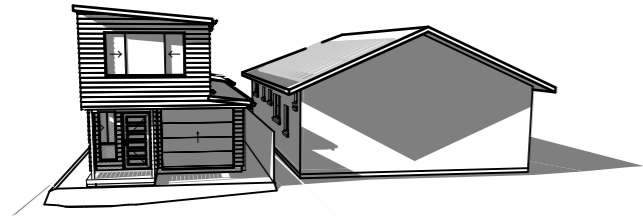
DEMOLISHED CONDITIONS 9AM

NOT TO SCALE



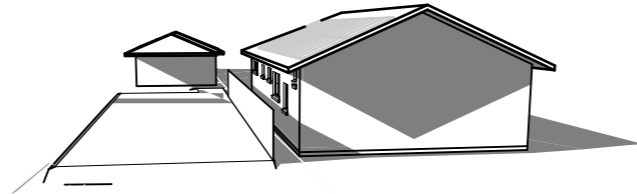
EXISTING CONDITIONS 9AM

NOT TO SCALE



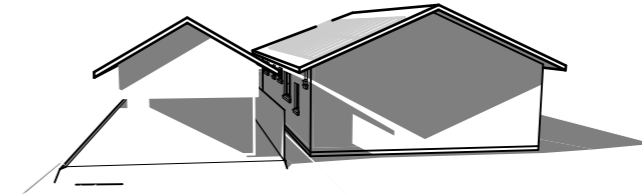
PROPOSED CONDITIONS 10AM

NOT TO SCALE



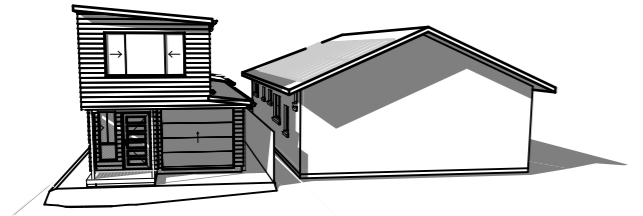
DEMOLISHED CONDITIONS 10AM

NOT TO SCALE



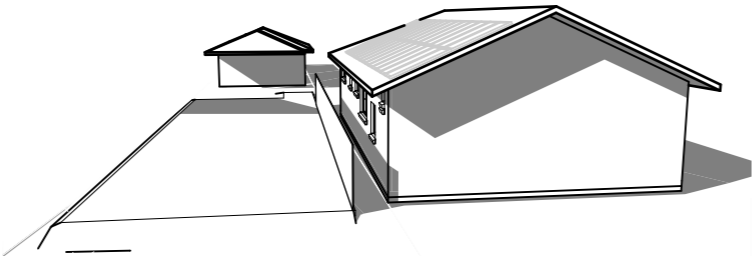
EXISTING CONDITIONS 10AM

NOT TO SCALE



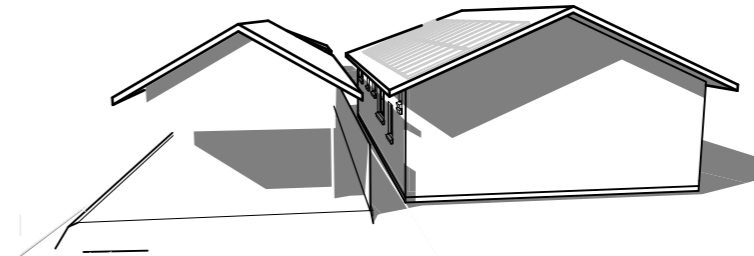
PROPOSED CONDITIONS 11AM

NOT TO SCALE



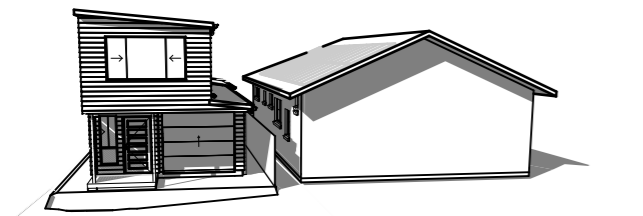
DEMOLISHED CONDITIONS 11AM

NOT TO SCALE



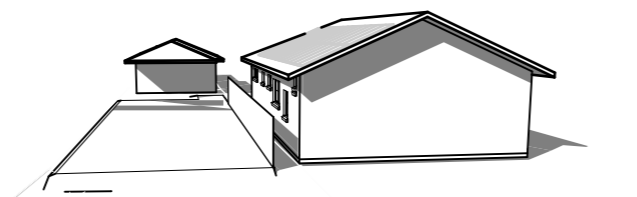
EXISTING CONDITIONS 11AM

NOT TO SCALE



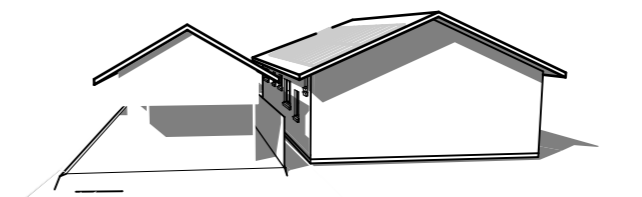
PROPOSED CONDITIONS 12PM

NOT TO SCALE



DEMOLISHED CONDITIONS 12PM

NOT TO SCALE



EXISTING CONDITIONS 12PM

NOT TO SCALE

Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



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For Job:

0061TERA

On:

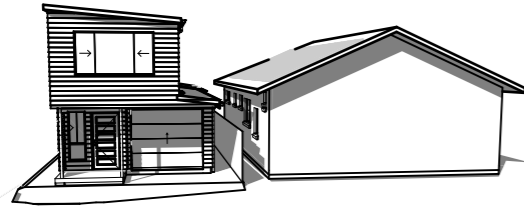
30/08/2022

CONTRACT
PLANS

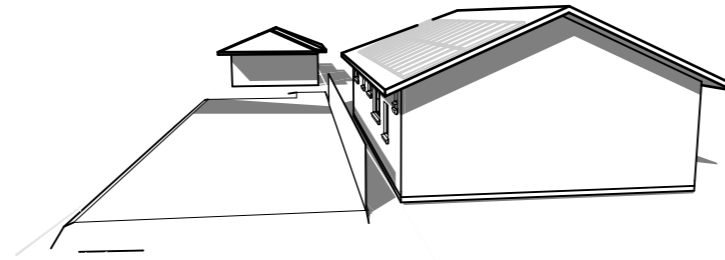
For the design of a:
CUSTOM CLADDED RESIDENCE AND
ATTACHED GARAGE WITH CUSTOM
FACADE

For:
BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5

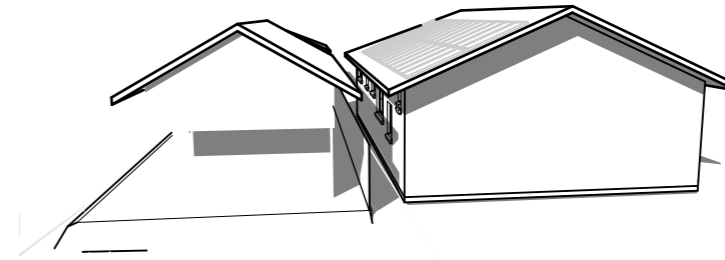
At:
1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289



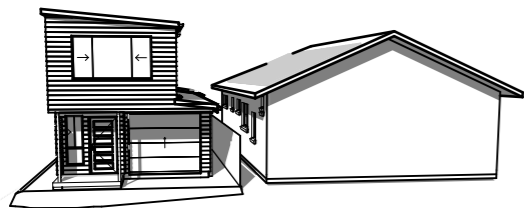
PROPOSED CONDITIONS 1PM
NOT TO SCALE



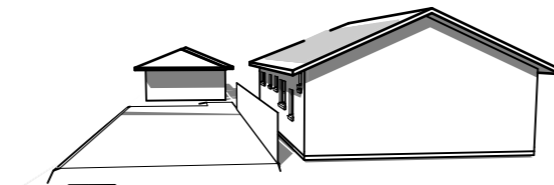
DEMOLISHED CONDITIONS 1PM
NOT TO SCALE



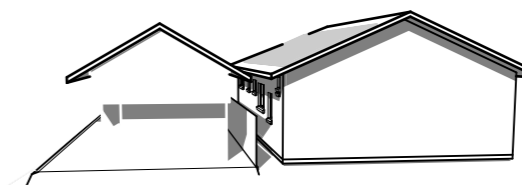
EXISTING CONDITIONS 1PM
NOT TO SCALE



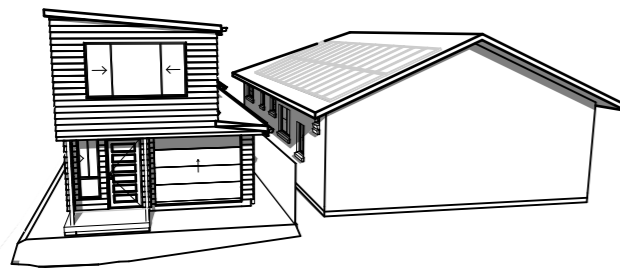
PROPOSED CONDITIONS 2PM
NOT TO SCALE



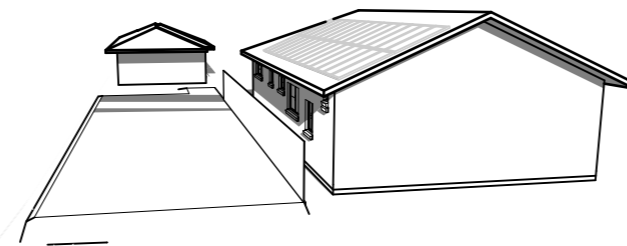
DEMOLISHED CONDITIONS 2PM
NOT TO SCALE



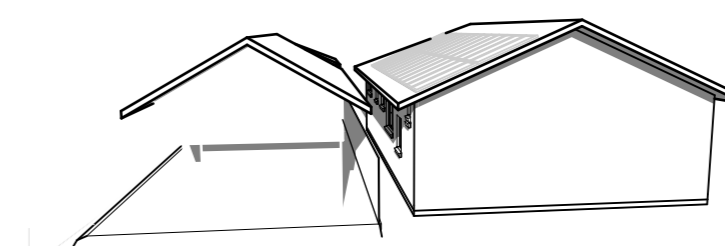
EXISTING CONDITIONS 2PM
NOT TO SCALE



PROPOSED CONDITIONS 3PM
NOT TO SCALE



DEMOLISHED CONDITIONS 3PM
NOT TO SCALE



EXISTING CONDITIONS 3PM
NOT TO SCALE

Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	

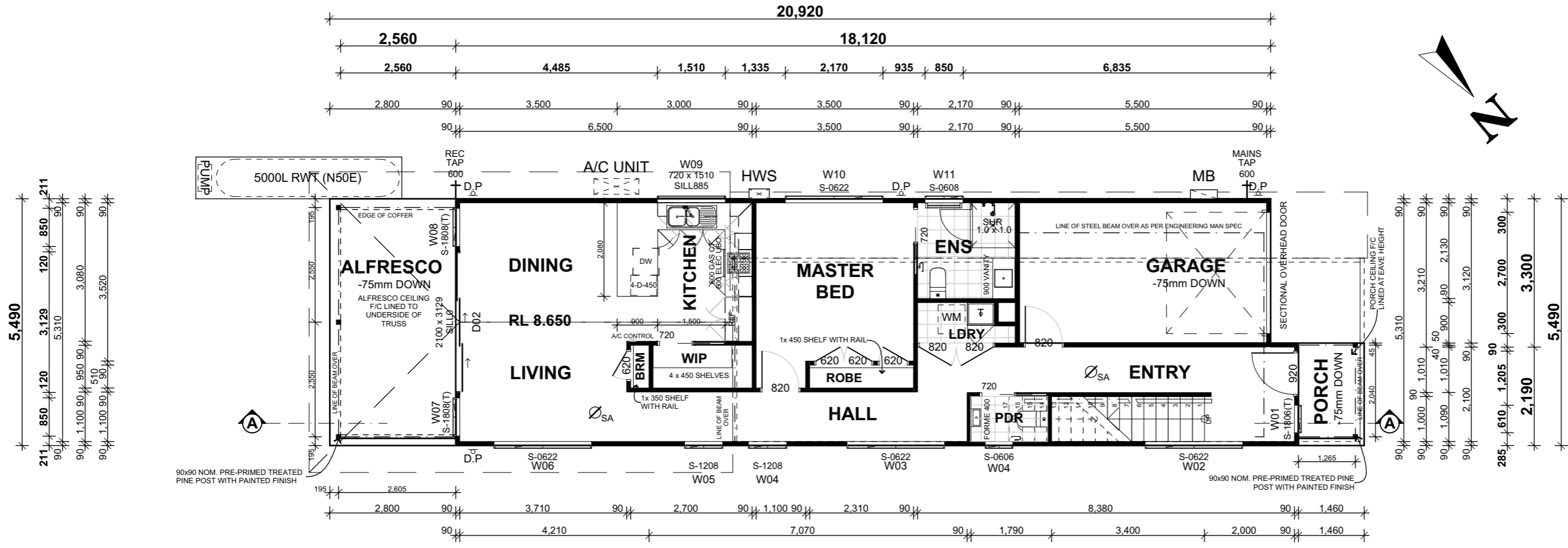


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WD11¹⁶ of 20
FLOOR PLAN
0061TERA
 On: **30/08/2022**
CONTRACT PLANS

For the design of a:
CUSTOM CLADDED RESIDENCE AND ATTACHED GARAGE WITH CUSTOM FACADE
 For:
BFB HOLDINGS PTY LTD ATF BEER PROPERTY TRUST 5
 At:
1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN, NSW, 2289

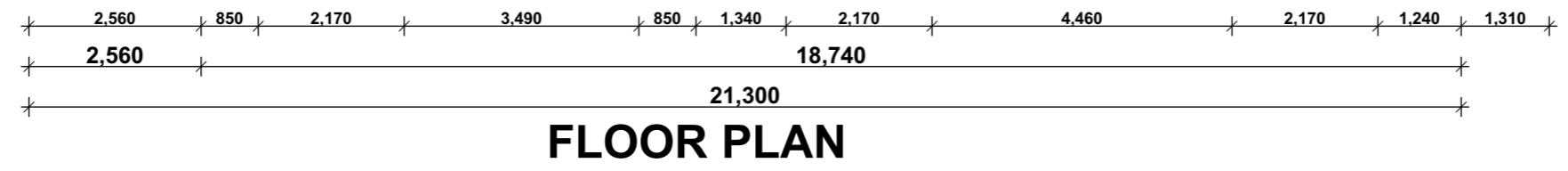


FLOOR AREAS

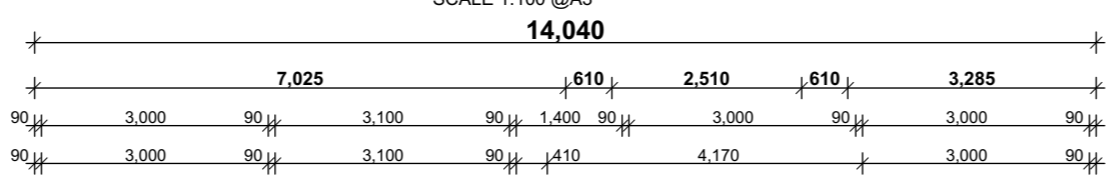
RESIDENCE	88.97
FIRST FLOOR	66.97
GARAGE	18.64
ALFRESCO	16.47
PORCH	3.40
Total	194.45 m²

BASIX AREAS

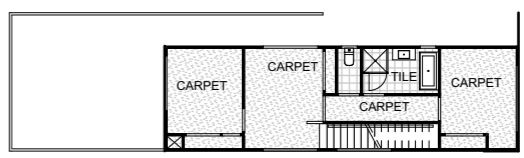
Conditioned	134.66
Unconditioned	12.11



FLOOR PLAN
 SCALE 1:100 @A3

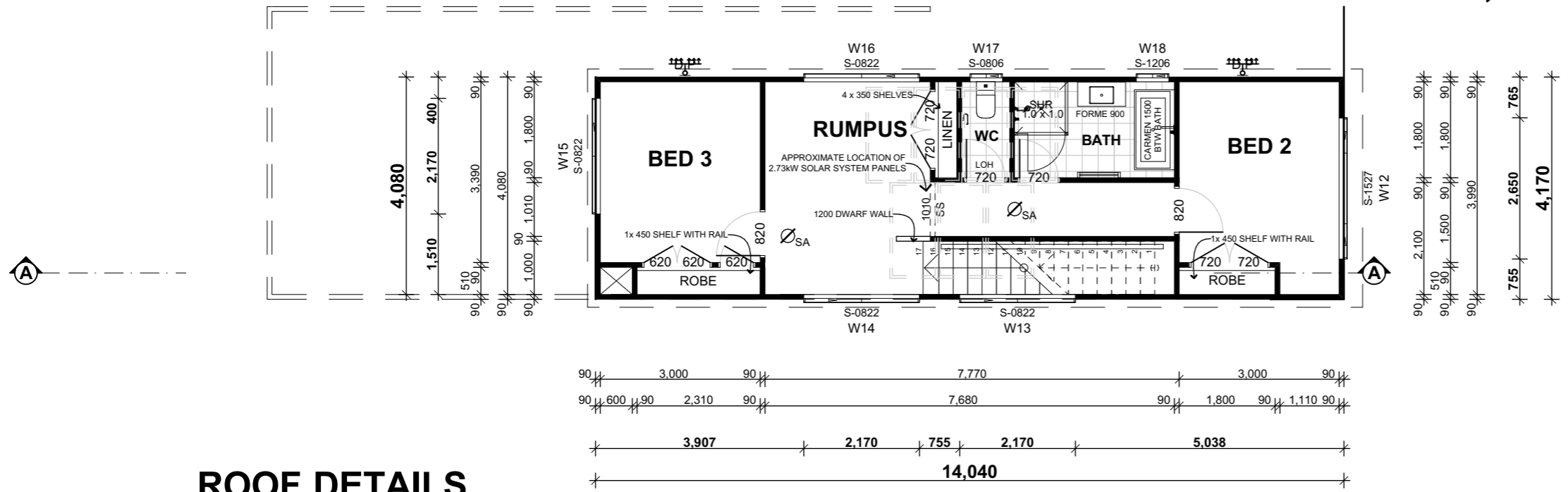


FLOOR COVERING LAYOUT
 SCALE 1:300 @A3



FLOOR COVERING LAYOUT - FIRST FLOOR
 SCALE 1:300 @A3

Wind Classification:	N2	Soil Classification:	M/HP
Mine Subsidence:	Yes/No	Acid Sulphate Soil:	Class/No
Acoustic Requirements:	No	Mains Power:	Yes
Mains Water Available:	Yes	Mains Gas Available:	Yes
Mains Sewer Available:	Yes	Stormwater Drainage:	Kerb
>1km to Breaking Surf:	No	>100m to Salt Water:	No
Rock:	Yes/No	Flood Min RL:	No
Bushfire Requirements:	No		



FIRST FLOOR PLAN
 SCALE 1:100 @A3

ROOF DETAILS

Roof Type	CUSTOM ORB ROOF SHE...	CUSTOM ORB ROOF SHE...	CUSTOM ORB ROOF SHE...
Pitch	5.0°	7.0°	10.0°
Flat Area	65.00	20.83	62.83
Pitched Area	65.25	20.99	63.80

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WD12¹⁷ of 20

ELEVATIONS

For Job:

0061TERA

On:

30/08/2022

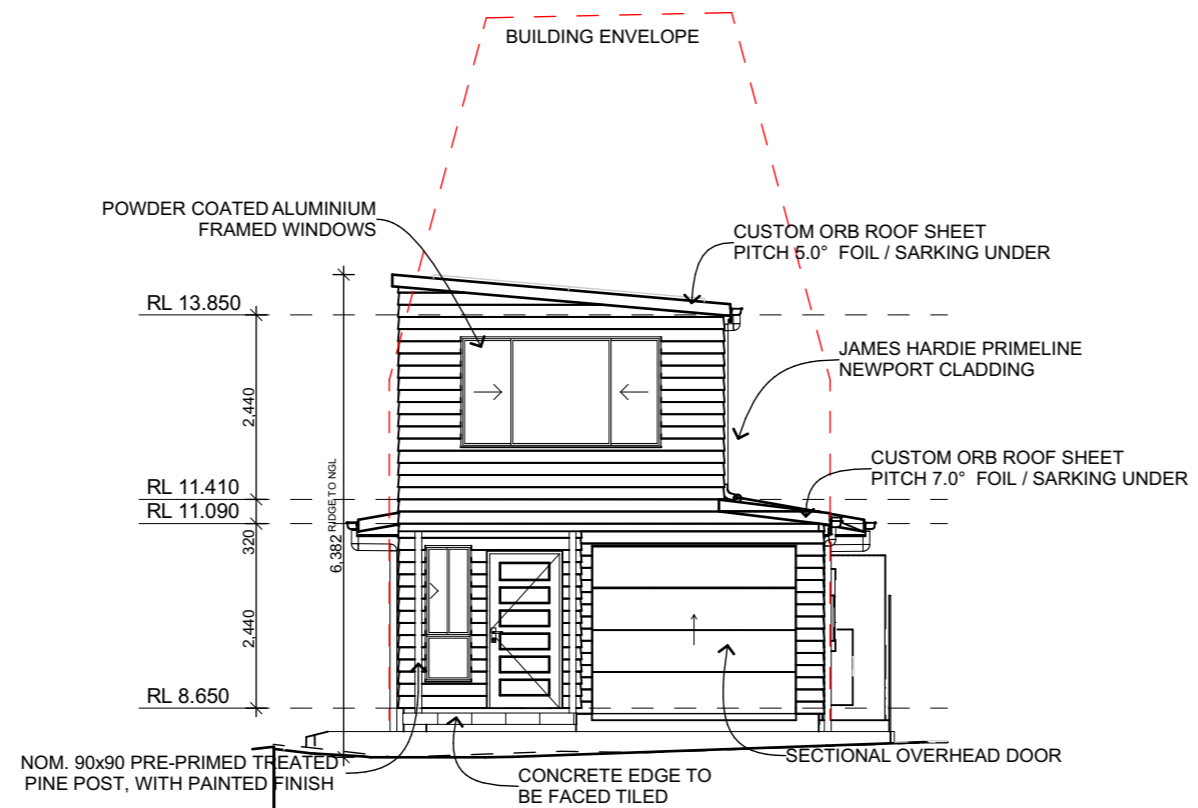
CONTRACT

PLANS

For the design of a:
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FACADE

For:
BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5

At:
1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289

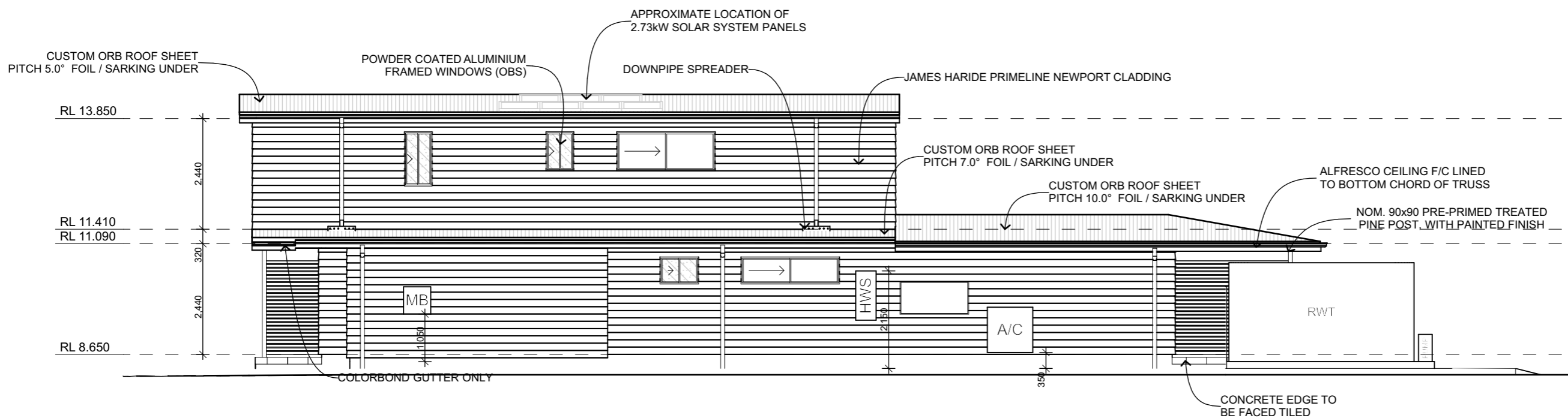


FRONT ELEVATION

SCALE 1:100 @A3

NOTE: BRICK SILLS ARE TO BE PROVIDED TO WINDOWS AS PER BELOW;

- ALL WINDOWS FACING OUTDOOR LIVING AREAS (ALFRESCO) SNAP HEADER
- SPLASHBACK WINDOWS SNAP HEADER
- ALL OTHER CASES RAKED SILL



RIGHT ELEVATION

SCALE 1:100 @A3

Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	



No.	DETAIL	DATE	Hunter Homes Pty Ltd	Builders Lic: 216162C
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2. KD	CONTRACT PRELIMINARY PLANS FOR REVIEW	16/09/2021	Website: www.hotoondo.com.au	Email: info@hhgps.com.au
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5. AR	ATTACHED ADDITIONAL SHADOW DIAGRAMS	11/05/2022		
6. AR	COUNCIL RFI'S ADDRESSED	08/07/2022		
7. AR	PLANS UPDATED WITH ADDITIONAL INFORMATION	12/07/2022		

WD13¹⁸ of 20

ELEVATIONS

For Job:

0061TERA

On:

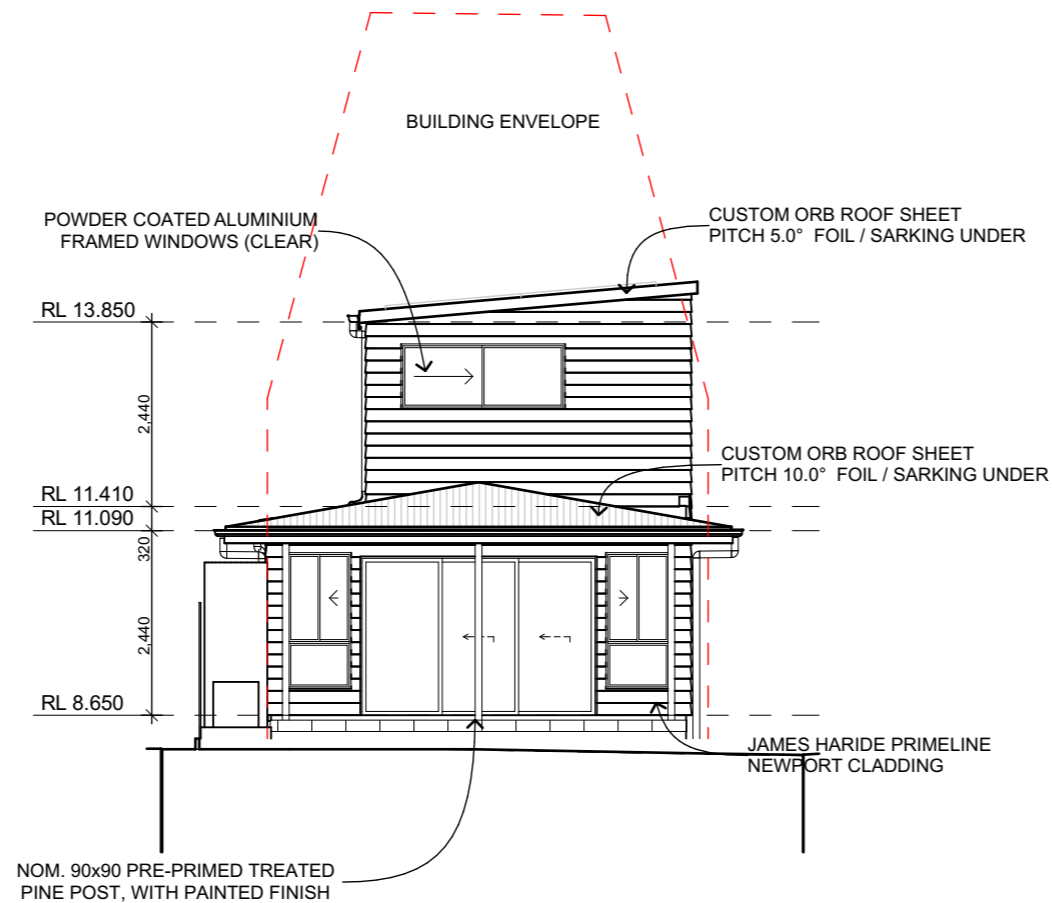
30/08/2022

CONTRACT
PLANS

For the design of a:
CUSTOM CLADDED RESIDENCE AND
ATTACHED GARAGE WITH CUSTOM
FACADE

For:
BFB HOLDINGS PTY LTD ATF
BEER PROPERTY TRUST 5

At:
1 / - / 343748
61 TERALBA ROAD
ADAMSTOWN,
NSW, 2289

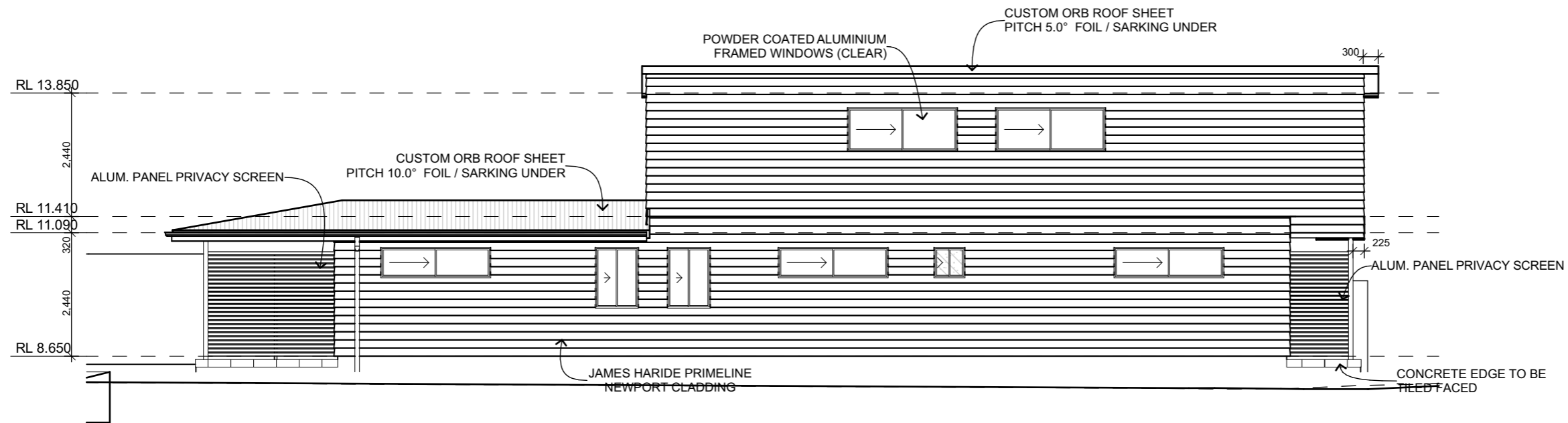


REAR ELEVATION

SCALE 1:100 @A3

NOTE: BRICK SILLS ARE TO BE PROVIDED TO WINDOWS AS PER BELOW;

- ALL WINDOWS FACING OUTDOOR LIVING AREAS (ALFRESCO) SNAP HEADER
- SPLASHBACK WINDOWS SNAP HEADER
- ALL OTHER CASES RAKED SILL



LEFT ELEVATION

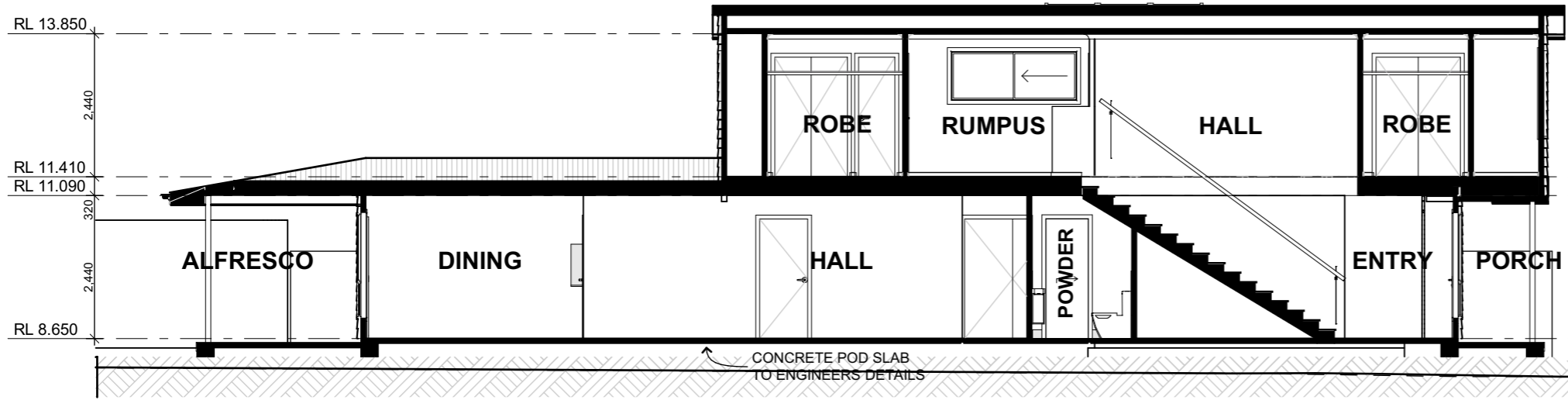
SCALE 1:100 @A3

Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	

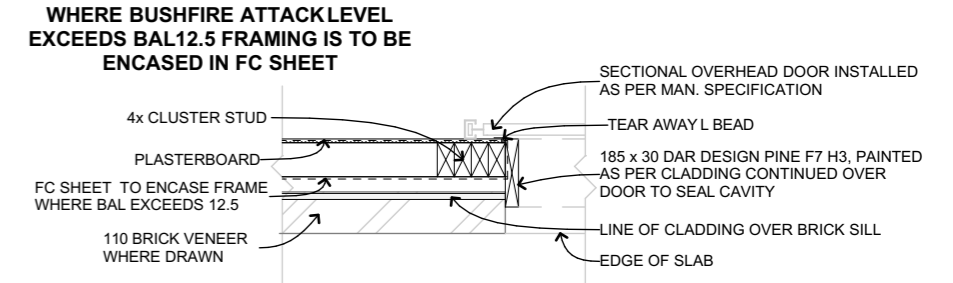


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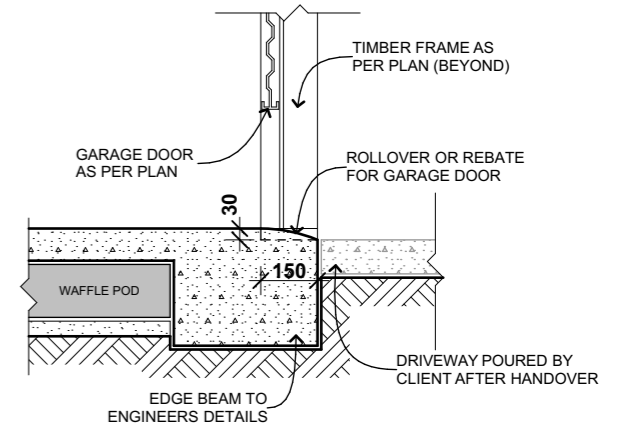
SECTION A-A
SCALE 1:100 @A3



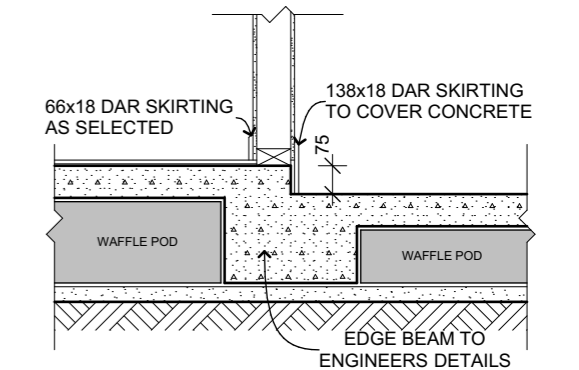
CLAD GARAGE DOOR WALL CLOSURE DETAIL
SCALE 1:20 @A3

ID	D01	D02	D04	W01	W02	W03	W04	W04
External View								
Height	2,040	2,100	2,225	1,800	600	600	1,200	600
Width	920	3,129	2,700	610	2,170	2,170	850	610
Window/Door Type	Swinging Door	Sliding Door 24	Overhead Garage Door 24	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window
Head Height	2,040	2,100	2,225	2,150	2,150	2,150	2,150	2,150
Sill Height	0	0	0	350	1,550	1,550	950	1,550
Orientation	L	L	0	L	L	L	L	R
ID	W05	W06	W07	W08	W09	W10	W11	W12
External View								
External View								
Height	1,200	600	1,800	1,800	720	600	600	1,460
Width	850	2,170	850	850	1,510	2,170	850	2,650
Window/Door Type	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Aluminium Fixed	Sliding Window	Sliding Window	Sliding Window
Head Height	2,150	2,150	2,150	2,150	1,605	2,150	2,150	2,150
Sill Height	950	1,550	350	350	885	1,550	1,550	690
Orientation	L	L	L	R	L	L	L	L
ID	W13	W14	W15	W16	W17	W18		
External View								
External View								
Height	860	860	860	860	860	1,200		
Width	2,170	2,170	2,170	2,170	610	610		
Window/Door Type	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window		
Head Height	2,150	2,150	2,150	2,150	2,150	2,150		
Sill Height	1,290	1,290	1,290	1,290	1,290	950		
Orientation	L	L	L	L	L	L		

WINDOW AND DOOR SCHEDULE
SCALE 1:1 @A3



GARAGE DOOR SET DOWN DETAIL
SCALE 1:20 @A3



75mm GARAGE STEP DOWN DETAIL
SCALE 1:20 @A3

CONTRACT PLANS

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For:
FBF HOLDINGS PTY LTD ATF BEER PROPERTY TRUST 5
1 / - / 343748
61 TERALBA ROAD ADAMSTOWN, NSW, 2289

Wind Classification: **N2**
Soil Classification: **M/H/P**
Mine Subsidence: **Yes/No**

Mains Power: **Yes**
Stormwater Drainage: **Kerb**
Acid Sulphate Soil: **Class/No**

Mains Water Available: **>1km to Breaking Surf: Yes**
Mains Gas Available: **>100m to Salt Water: Yes**
Mains Sewer Available: **Yes**
Acoustic Requirements: **No**

Bushfire Requirements: **No**
Flood Requirements: **No**
Rock (Approx Depth): **Yes/No**

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4. AR	PLANS AMENDED TO REFLECT COUNCIL RFI	10/05/2022
5. AR	ATTACHED ADDITIONAL SHADOW DIAGRAMS	11/05/2022
6. AR	COUNCIL RFI'S ADDRESSED	08/07/2022
7. AR	PLANS UPDATED WITH ADDITIONAL INFORMATION	12/07/2022

Hunter Homes Pty Ltd
55 Port Stephens Street, Raymond Terrace, NSW, 2324
Website: www.holondo.com.au
Phone: (02) 4987 4909

Builders Lic. 216162C
Email: info@hhgps.com.au
ABN: 76 133 887 064

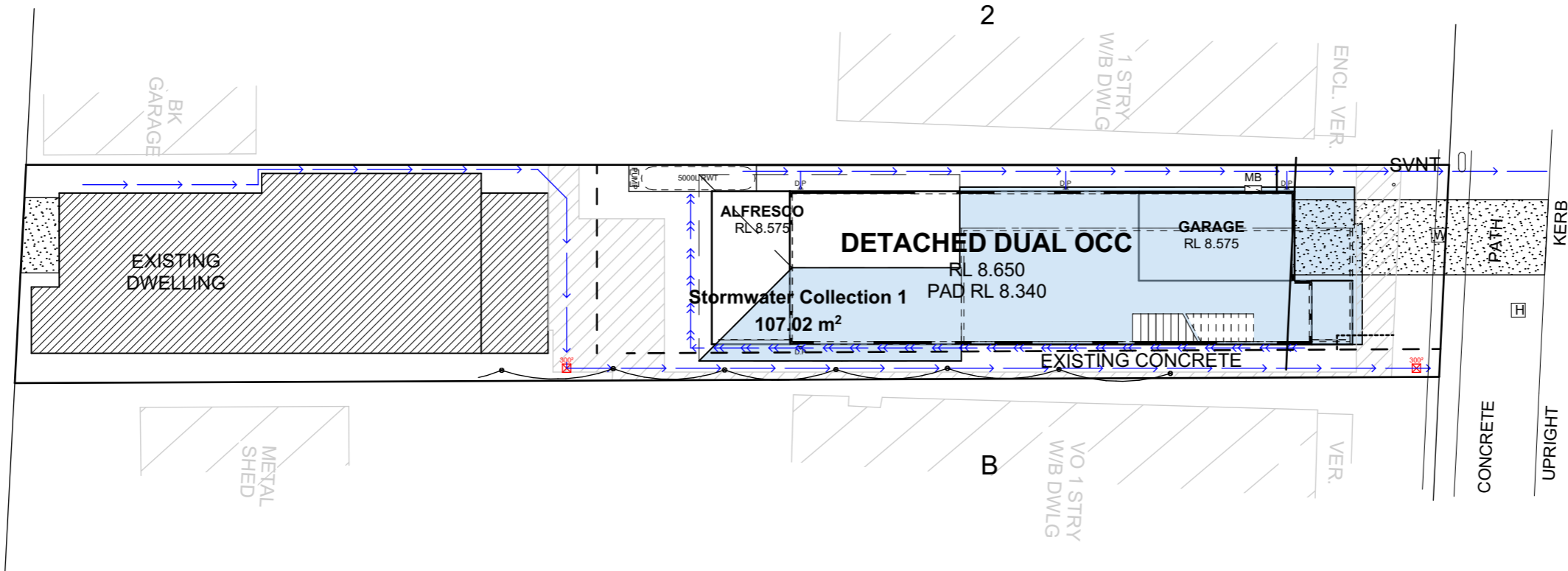
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For Job:

WD14_{of 20}
SECTION A-A
0061TERA
30/08/2022

LANEWAY

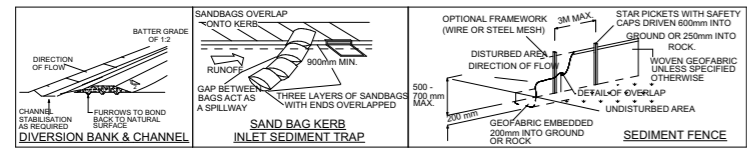


TERALBA ROAD

- STREET TREE
- TELSTRA PILLAR
- TELSTRA PIT
- ELECTRICITY FUSE PILLAR
- LIGHT POLE
- POWER POLE
- SEWER MAINTENANCE HOLE
- SEWER INSPECTION POINT
- SEWER VENT
- SEWER MAINTENANCE SHAFT
- FLUSH POINT
- STORMWATER DRAINAGE PIT
- GAS METER
- TAP
- WATER METER
- WATER STOP VALVE
- WATER HYDRANT
- WATER CONNECTION
- STREET SIGN
- MISC MISCELLANEOUS SERVICE

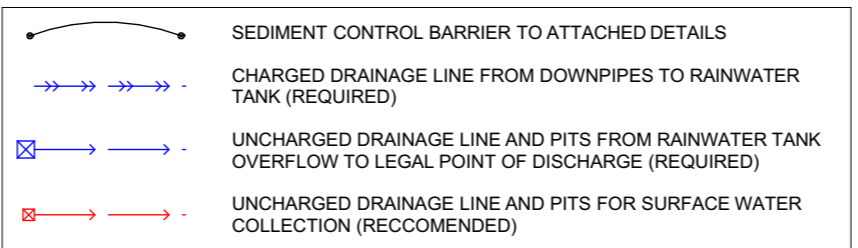
- DRIVE CROSSING
- TOP CONCRETE KERB
- KERB INLET PIT
- TOP CONCRETE KERB

- ALL BATTERS SHOWN ARE 1V:4H UNLESS NOTED OTHERWISE
- CONTOURS SHOWN ARE BASED ON COMPUTER INTERPRETATION OF POINT LEVELS, CARE SHOULD BE TAKEN IF EXTRAPOLATING
- SERVICES LOCATED HEREIN ARE APPROXIMATE ONLY AND TAKEN FROM INFORMATION AVAILABLE AT THE TIME OF DRAFTING. CONSULT DIAL BEFORE YOU DIG TO ESTABLISH EXACT DETAILS AT THE COMMENCEMENT OF WORKS
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE WITHIN THE ALLOTMENT BOUNDARIES
- ALL EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSPECTED AND MAINTAINED BY SITE SUPERVISOR REGULARLY AND CLEANED UPON REACHING 50% CAPACITY. FOOTWAYS, DRIVEWAYS AND ROADS SHOULD BE TREATED SIMILARLY
- ALL STORMWATER MUST BE CONNECTED TO LEGAL POINT OF DISCHARGE AS SOON AS PRACTICAL DURING CONSTRUCTION.



STORMWATER PLAN

SCALE 1:200 @A3

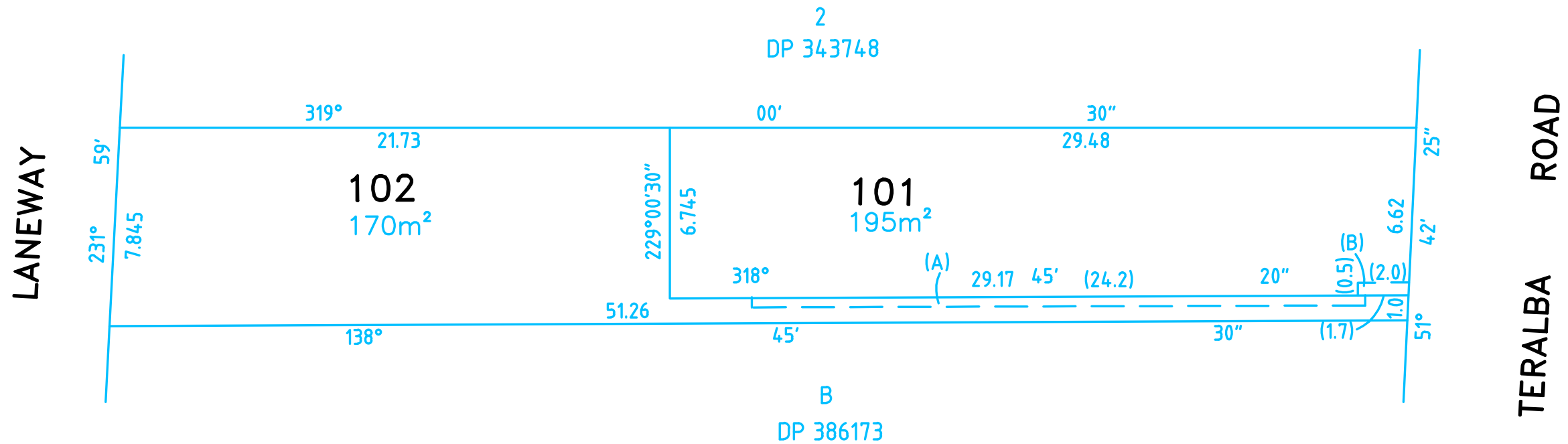
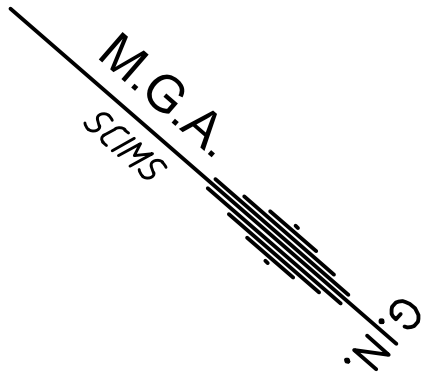


Wind Classification:	Soil Classification:
N2	M/H/P
Mine Subsidence:	Acid Sulphate Soil:
Yes/No	Class/No
Acoustic Requirements:	Mains Power:
No	Yes
Mains Water Available:	Mains Gas Available:
Yes	Yes
Mains Sewer Available:	Stormwater Drainage:
Yes	Kerb
>1km to Breaking Surf:	>100m to Salt Water:
No	No
Rock:	Flood Min RL:
Yes/No	No
Bushfire Requirements:	
No	

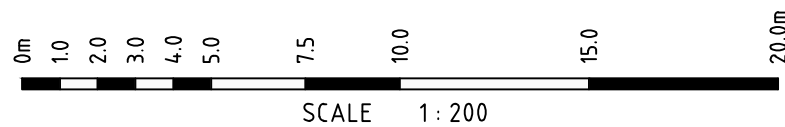


No.	DETAIL	DATE
1.	KD PRELIMINARY PLANS	23/08/2021
2.	KD CONTRACT PRELIMINARY PLANS FOR REVIEW	16/09/2021
3.	MI UPDATED SHADOW DIAGRAMS	15/03/2022
4.	AR PLANS AMENDED TO REFLECT COUNCIL RFI	10/05/2022
5.	AR ATTACHED ADDITIONAL SHADOW DIAGRAMS	11/05/2022
6.	AR COUNCIL RFI'S ADDRESSED	08/07/2022
7.	AR PLANS UPDATED WITH ADDITIONAL INFORMATION	12/07/2022

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NOTE:
 1. FINAL BEARINGS, DIMENSIONS AND AREAS ARE SUBJECT TO FINAL SURVEY.



(A) PROPOSED EASEMENT FOR OVERHANG 0.3 WIDE
 (B) PROPOSED RIGHT OF FOOTWAY 0.5 WIDE

REV	DETAILS & AMENDMENTS	DATE	PLAN TITLE: PLAN OF PROPOSED SUBDIVISION		17 William Street HAMILTON NSW 2303 PO Box 986 HAMILTON NSW 2303 Ph: 4969 6995 www.parkerscanlon.com.au Email: surveys@parkerscanlon.com.au ABN 36124 624 022
A	INITIAL PLAN	23/11/2021	ADDRESS: 61 TERALBA ROAD - ADAMSTOWN	CLIENT: BEER	
B	UPDATED PLAN	17/03/2022	TITLE DETAILS: SUBDIVISION OF LOT 1 IN DP343748		
C	UPDATED PLAN	10/05/2022	DATUM: -	SOURCE: -	
REF No: B1903SUB-C		SHEET 1 OF 2	A3	PARKER SCANLON CONTACT: LISA BLANDFORD	SURVEYED/DRAWN/CHECKED: -/WW/LB





ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 18/10/22 – 61 TERALBA ROAD ADAMSTOWN – DA2021/01656
AND DUAL OCCUPANCY - ERECTION OF DWELLING AND ONE
INTO TWO LOT SUBDIVISION INCLUDING DEMOLITION OF
DWELLING HOUSE**

ITEM-17 Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No: DA2021/01656

Land: Lot 1 DP 343748

Property Address: 61 Teralba Road Adamstown NSW 2289

Proposed Development: Dual occupancy - erection of dwelling and one into two lot subdivision including demolition of dwelling house

SCHEDULE 1

Approved Documentation

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site Plan	WD04.20	Hunter Homes	12.07.2022
Demolition Plan	WD05.20	Hunter Homes	12.07.2022
Floor Plans	WD22.20	Hunter Homes	12.07.2022
Elevation Plan – Front and RH	WD12.20	Hunter Homes	12.07.2022
Elevation Plan – Rear & LH	WD13.20	Hunter Homes	12.07.2022
Section Plan	WD14.20	Hunter Homes	12.07.2022
Stormwater Management Plan	WD15.20	Hunter Homes	12.07.2022
Draft Subdivision Plan	B1903SUB-B	Parker Scanlon	17.03.2022
Waste Management Plan	B1903SWMMP-A	Parker Scanlon	03.12.2022
Landscape Plan	LP01/F	Meraki Green Landscape Architecture	13.09.2022
BASIX Certificate	Certificate No. 1241445s_03	Hunter Homes	08.07.2022

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

- The car parking and vehicular access are to be designed to comply with the relevant provisions of *AS/NZS 2890 Parking facilities*. Details are to be included in documentation for a Construction Certificate application.

3. All proposed driveways, parking bays, loading bays and vehicular turning areas are to be constructed with a basecourse of a depth to suit design traffic and be sealed with either bitumen seal, asphaltic concrete, concrete or interlocking pavers. Details are to be included in documentation for a Construction Certificate application.
4. The floor level of all proposed buildings or building additions is to be verified on plans for a Construction Certificate application to be 8.6m Australian Height Datum.
5. The second storey of the proposed building is to be a flood refuge in a Probable Maximum Flood event and is to be structurally certified by a professional engineer, ensuring that the building is able to withstand the hydraulic loading due to flooding from the Probable Maximum Flood (Flood Level reduced level 9.2m Australian Height Datum, Maximum Flow Velocity of floodwaters 0.3m/s). Full details are to be included in documentation for a Construction Certificate application.
6. Roof water from the proposed new work is to be directed to the proposed water tank with a minimum capacity of 5000 litres and being reticulated to any new toilet cisterns and cold water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
7. All new impervious surfaces, including driveways and paved areas are to be drained to the nominated discharge controls. Details are to be included in documentation for a Construction Certificate application.
8. All proposed planting and landscape elements indicated on the submitted landscape concept plan or otherwise required by the conditions of this consent are to be detailed on a comprehensive landscape plan and specification. The plan and specification are to be prepared in accordance with the provisions of Newcastle Development Control Plan 2012 and is to include details of the following:
 - a) cross sections through the site
 - b) proposed contours or spot levels
 - c) botanical names
 - d) quantities and container size of all proposed trees
 - e) shrubs and ground cover
 - f) details of proposed soil preparation
 - g) mulching and staking
 - h) treatment of external surfaces and retaining walls where proposed
 - i) drainage, location of taps and
 - j) maintenance periods.

The plan and specification are to be prepared by a qualified landscape designer and be included in documentation for a Construction Certificate application.

9. The applicant is to comply with all of Hunter Water's requirements to provide

your development with water supply and sewerage services. A copy of Hunter Water's compliance certificate (*Hunter Water Act 1991 - Section 50*) must be submitted with your Construction Certificate application.

10. Erosion and sediment control measures are to be implemented prior to the commencement of works and be maintained during the period of construction in accordance with the details set out on an Erosion and Sediment Control Plan that is to be submitted for approval with the Construction Certificate application. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
11. A residential vehicular crossing is to be constructed across the road reserve, in accordance with the following criteria:
 - a) Constructed in accordance with Newcastle City Council's A1300 - Driveway Crossings Standard Design Details.
 - b) The driveway crossing, within the road reserve, is to be a maximum of 3m wide.
 - c) Letterboxes, landscaping and any other obstructions to visibility are to be kept clear of or limited in height to 1.2m, in the 2.0m by 2.5m splay within the property boundary, each side of the driveway entrance.
 - d) The proposed driveway is to be a minimum of 3.0m clear of the trunk of any tree within the road reserve.
 - e) The proposed driveway is to be a minimum of 750mm clear of the centre of any pole or obstruction within the road reserve and 1.0m clear of any drainage pit.

These works are not approved until consent under Section 138 of the *Roads Act 1993* has been granted by Newcastle City Council.

12. A separate application is to be lodged and consent obtained from the Newcastle City Council for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993*. The consent is to be obtained, or other satisfactory arrangements confirmed in writing from Newcastle City Council, before the issue of a Construction Certificate.
13. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Section 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012, the associated Technical Manual and *AS/NZS 3500.3 Plumbing and drainage Part 3 Stormwater drainage*, as indicated on the stormwater management concept plan prepared by Hunter Homes (Drg. No. WD15, revision 7, dated 12.07.2022). Full details are to be included in documentation for a Construction Certificate application.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

14. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifier at the stages of construction indicated:
 - a) On completion of ground floor construction, confirming that the floor levels are in accordance with the approved levels.
15. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
- b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- c) Be a temporary chemical closet approved under the *Local Government Act 1993*.

16. At a minimum, the following measures are to be implemented during the construction phase:

- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
- c) Provision is to be made to prevent windblown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

17. A rigid and durable sign is to be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:

- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
- b) showing the name, address and telephone number of the Principal Contractor, if any, for any building work and a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, and must be removed when the work has been completed.

Note: This does not apply in relation to building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or Crown building work certified to comply with the Building Code of Australia under the Act, Part 6.

18. Building work must be carried out in accordance with the requirements of the Building Code of Australia.

19. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.
20. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
21. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil are to be provided. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Council reserves, including the road reserve, is not permitted.
22. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
23. All roof and surface waters are to be conveyed to the street gutter by way of a sealed pipe system, extending through the footway to Council's requirements, in accordance with Section 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012.
24. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
- Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

25. Council's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by Council, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

26. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the '*Blue Book*') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
27. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.

28. All necessary measures are to be undertaken to control dust pollution from the site. These measures are to include, but are not limited to:
- a) Restricting topsoil removal;
 - b) Regularly and lightly watering dust prone areas (note: prevent excess watering as it can cause damage and erosion);
 - c) Alter or cease construction work during periods of high wind; and
 - d) Erect green or black shadecloth mesh or similar products 1.8m high around the perimeter of the site and around every level of the building under construction.
29. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to Newcastle City Council, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
30. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

31. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the Council and to the demolisher prior to commencement of work.
32. The demolition works are to be undertaken in accordance with Australian Standard 2601:2001 - The Demolition of Structures and the following requirements:
- a) prior to commencement of demolition works a competent person shall determine the presence of hazardous substances impacted by the proposed demolition works in accordance with Section 1.6.1 of AS2601:2001 and where required produce a Hazardous Substances Management Plan
 - b) demolition works shall be conducted in accordance with any required Hazardous Substances Management Plan. A copy of the Plan shall be kept on-site for the duration of the proposed development and a copy is to be held in the possession of the landowner
 - c) the removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by the WorkCover Authority of NSW
 - d) a copy of all waste disposal receipts are to be kept in the possession of the landowner and made available to authorised Council Officers upon request
 - e) seven working days notice in writing is to be given to the owners/occupiers of neighbouring premises prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor, and

- f) on sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
33. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
34. Any waste containers used in association with the proposed demolition are to be located on the site where possible.
- Note: Where this is not feasible, an application is to be made for the approval to position the container on the adjacent public road in accordance with the Council's adopted Building Waste Container Policy.
35. All demolition material incapable of being re-used in future redevelopment of the site is to be removed from the site and the site being cleared and levelled.
- Note: Where reusable building materials are to be stored on site for use in future building works, such materials are to be neatly stacked at least 150 mm above the ground.
36. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

37. All commitments listed in the relevant BASIX certificate for:
- a) BASIX development,
 - b) BASIX optional development, if the development application was accompanied by a BASIX certificate.
- are to be satisfactorily completed prior to the issue of an Occupation Certificate.
- Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the Newcastle City Council with Occupation Certificate documentation.
38. All public footways, foot paving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to Newcastle City Council's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
39. All works within the road reserve required by this consent are to be completed prior to the issue of an Occupation Certificate.
40. A Landscape Practical Completion Report is to be submitted to the Principal Certifier prior to the issue of an Occupation Certificate. The report is to verify that all landscape works have been carried out in accordance with the comprehensive landscape design plan and specifications that were required to be included in

documentation for a Construction Certificate application and is to verify that an effective maintenance program has been commenced.

41. The premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage.

The minimum numeral height is to be 75mm.

42. An application is to be made for a Subdivision Certificate. The application is to be supported by a digital copy (pdf format) of the survey plan of subdivision, associated administration sheets and a Section 50 Certificate from the Hunter Water Corporation.

43. An instrument under Section 88B of the *Conveyancing Act 1919*, setting out the terms of easements as required by this consent, along with related notations on the plan of subdivision, are to be submitted to the Newcastle City Council for endorsement. Newcastle City Council is to be identified as a party whose consent is required to release, vary or modify easements.

44. An easement for right of carriageway and an easement for overhang as shown on Draft Subdivision Plan by Parker Scanlan dated 17 March 2022 is to be created. The easement is to be created prior to the issue of an Occupation Certificate for the proposed development.

Note: All associated survey and legal work is to be undertaken by the developer at the developer's expense.

45. Written evidence of arrangements being made with the Hunter Water Corporation for the provision of water supply and sewerage and with the electricity authority for the provision of overhead or underground electricity supply is to be submitted to the Principal Certifier prior to the issue of the Subdivision Certificate.

46. Written evidence of arrangements being made with the telecommunications authority for the provision of underground telephone services to the lots is to be submitted to the Principal Certifier prior to the issue of the Subdivision Certificate.

47. The approved dual occupancy development on the site is to be completed to at least lock-up stage prior to the issue of the Subdivision Certificate.

Lock-up stage is taken to mean the stage at which a building's external wall cladding and roof covering is fixed and external doors and windows are fixed (even if those doors and windows are only temporary).

CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

48. The premise/s is/are allocated the following street address/es in accordance with Newcastle City Council's *House Numbering Policy* and the *Surveying and Spatial Regulation*.

Newcastle City Council allocated street address				
Unit/ dwelling number on plan	House number	Street name	Street type	Suburb
Proposed Lot 101 (proposed dwelling)	61	Teralba	Road	Adamstown
Proposed Lot 201 (existing dwelling)	61A	Teralba	Road	Adamstown

ADVISORY MATTERS

- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- An application is to be submitted to the Newcastle City Council for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the Newcastle City Council and any other relevant authorities. Newcastle City Council and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Division 6.2 of the Environmental Planning and Assessment Act 1979 are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and Newcastle City Council is to be notified of the appointment; and
 - c) Newcastle City Council is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Section 37 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021* (NSW).
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Any issues raised in submission have been taken into account in the assessment report and where appropriate conditions of consent have been included in the determination.
- Council has considered and accepted the proposed development standard variation made under Clause 4.1 of the Newcastle Local Environmental Plan 2012. The proposed variations are considered acceptable in the particular circumstances of this case as the variation will provide subdivision lot sizes that meet community and economic needs and facilitate greater diversity in housing choice while also safeguarding environmental and social values.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 18/10/22 – 61 TERALBA ROAD ADAMSTOWN – DA2021/01656
AND DUAL OCCUPANCY - ERECTION OF DWELLING AND ONE
INTO TWO LOT SUBDIVISION INCLUDING DEMOLITION OF
DWELLING HOUSE**

ITEM-17 **Attachment C:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESSING CHRONOLOGY

DA2021/01656 – 61 Teralba Road, Adamstown

13 December 2021	Application lodged
17 December 2021 – 24 January 2022	Application notified in accordance with CN's Community Participation Plan (CPP)
15 December 2021	Internal referrals commenced: Engineering
16 December 2021	External referrals commenced: Ausgrid
11 April 2022	Request for additional information issued: Amended Clause 4.6 variation request, Landscape plans, shadow diagrams, garage setback, raised floor levels (for flood planning); stormwater management plan.
12 May 2022	Additional information received from applicant
20 May 2022	Second Internal referrals commenced: Engineering
21 July 2022	Second request for additional information issued: Shadow diagrams, garage setback, stormwater management plan.
12 May 2022	Additional information received from applicant
22 July 2022	Third Internal referrals commenced: Engineering
24 August 2022	Third request for additional information issued: Landscaping, updated survey plans.
13 September 2022	Additional information received from applicant