

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 16/11/21 - 57A Henry Street Tighes Hill - DA2020/01328 - Multi Dwelling housing – demolition of existing structures, erection of three storey dwellings and 1 into 3 lot subdivision.**

<b>PAGE</b>	<b>3</b>	<b>ITEM-22</b>	<b>Attachment A:</b>	Submitted Plans
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<b>PAGE</b>	<b>41</b>	<b>ITEM-22</b>	<b>Attachment C:</b>	Processing Chronology

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**DAC 16/11/21 - 57A Henry Street Tighes Hill - DA2020/01328 - Multi Dwelling housing – demolition of existing structures, erection of three storey dwellings and 1 into 3 lot subdivision.**

**ITEM-22      Attachment A:      Submitted Plans**

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# DEVELOPMENT APPLICATION 20071

Multi-Dwelling - 57a Henry Street, Tighes Hill

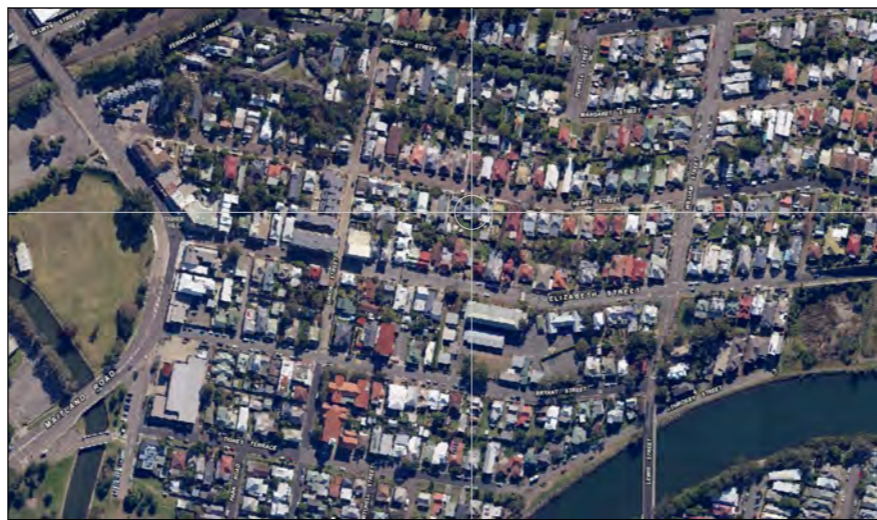
Linefront Pty Ltd

## SCHEDULE OF DRAWINGS

DA000	COVER PAGE
DA010	SITE ANALYSIS PLAN
DA011	AREA ANALYSIS PLAN
DA020	DEMOLITION PLAN
DA030	SITE PLAN
DA035	SITE COVERAGE PLAN
DA040	PERSPECTIVES
DA100	GROUND FLOOR
DA110	FIRST FLOOR
DA150	ROOF PLAN
DA300	ELEVATIONS
DA301	ELEVATIONS
DA302	ELEVATIONS
DA350	EXTERNAL FINISHES
DA400	SECTIONS
DA900	EXTERNAL SHADOW DIAGRAMS
DA901	EXTERNAL SHADOW DIAGRAMS
DA960	SEDIMENT CONTROL



SUBJECT SITE



SITE LOCATION

Survey By: DELF LASCELLES  
Ref: 20414 Date: 22-07-20

DMN Assessor #16/1742	7 <sup>th</sup> September 2021	Reference: 264/2020	
Evergreen Energy Consultants			
Email address: <a href="mailto:enquiries@evergreene.com.au">enquiries@evergreene.com.au</a>	Ph: 1300 584 010		
<b>Important Note for Development Applicants:</b>			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.			
Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Evergreen Energy Consultants.			
This assessment has assumed that the BCA provisions for building sealing will be complied with at construction.			
<b>Thermal Performance Specifications</b>			
<b>External Wall Construction</b>	Insulation	Colour (Solar Absorbance)	Detail
Brick Veneer	Anti-glare foil with bulk no gap R2.5	Medium	
Fibro Cavity Panel Direct Fix	Anti-glare foil with bulk no gap R2.5	Light and Medium	
<b>Internal Wall Construction</b>	Insulation	Detail	
Cavity wall, direct fix plasterboard, single gap	None		
Cavity wall, direct fix plasterboard, single gap	Bulk insulation R2.5	Internal walls adjoining garages	
Party Walls - Shaft Liner	Bulk insulation both sides R2.5		
<b>Ceiling Construction</b>	Insulation	Detail	
Plasterboard with Timber	Bulk insulation R4.0	External and garage ceilings	
Timber above Plasterboard	None	Internal ceilings	
<b>Roof Construction</b>	Insulation	Colour (Solar Absorbance)	Detail
Colorbond	Bulk, reflective side down, no air gap above R1.3	Light and Medium	1° and 3° pitch
Waterproofing Membrane	Bulk, reflective side down, no air gap above R1.3	Medium	1° pitch
<b>Floor Construction</b>	Insulation	Covering	
225mm Waffle Pod Slab	None	Timber, Carpet, Tiles and Bare	
<b>Windows</b>	Glass and frame type	U Value	SHGC Area m2
GJA-011-21 A Aluminium framed 6EA Fixed Windows Single Glazed		3.91	0.66
GJA-013-25 A Aluminium framed 6EA Sliding Windows Single Glazed		4.44	0.63
GJA-017-24 A Aluminium framed 6EA Double Hung Windows Single Glazed		4.61	0.60
GJA-070-25 A Aluminium framed 6EA Sliding Doors Single Glazed		4.41	0.60
U and SHGC values are according to NFR.C. Alternate products may be used if the U value is lower and the SHGC is less than 5% higher or lower than the above figures.			
<b>Fixed shading - Eaves</b>	Width includes guttering, offset is distance above windows		
As drawn	Nominal only, refer to plan for detail		
<b>Fixed shading - Other</b>	Verandah to certain units only		
Shaded areas and shade devices as drawn, adjoining buildings and boundary fences			
<b>For construction in NSW the BCA Vol 1 or 2 must be complied with, in particular the following:</b>			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks in accordance with Section J1.3(d) & 1.5(c) or Part 3.12.1.2(c) & 3.12.1.4(b)			
- Compensating for loss of ceiling insulation in accordance with Section J1.3(c) or Part 3.12.1.2(e)			
- Floor insulation in accordance with Section J1.6(c) & (d) or Part 3.12.1.5(a)(iii) or (c) & (d)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.			

<b>57a Henry Street, Tighes Hill</b>			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.			
<b>WATER COMMITMENTS</b>			
Fixtures			
Alternative Water - Rainwater Tank Size 4,000(L) Tank/Unit Connected To:			
All Toilets	One Outdoor Tap	Laundry W/M Cold Tap	
Fixtures			
3 Star Shower Heads	3 Star Toilet	3 Star Kitchen Taps	3 Star Basin Taps
<b>THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans</b>			
<b>ENERGY COMMITMENTS</b>			
Hot Water	Gas instantaneous 6 star		
Cooling System	Living	Ceiling fans + 1 phase air-conditioning 4.5 star (average zone)	
	Bedrooms	Ceiling fans	
Heating System	Living	1 phase air-conditioning 4.5 star (average zone)	
	Bedrooms	None	
Ventilation	Bathrooms	Fan ducted to roof/facade	Manual on/off
	Kitchen	Fan ducted to roof/facade	Manual on/off
	Laundry	Fan ducted to roof/facade	Manual on/off
Natural Lighting	Window/Skylight in Kitchen	As Drawn	
	Window/Skylight in Bathrooms/Toilets	As Drawn	
Artificial Lighting (Primarily lit by fluoro or LED)	Number of bedrooms	All	Dedicated Yes
	Number of Living/Dining rooms	All	Dedicated Yes
	Kitchen	Yes	Dedicated Yes
	All Bathrooms/Toilets	Yes	Dedicated Yes
	Laundry	Yes	Dedicated Yes
	All Hallways	Yes	Dedicated Yes
<b>OTHER COMMITMENTS</b>			
Outdoor clothes line	Yes	Indoor or sheltered clothes drying line	Yes
Stove/Oven	Gas cooktop, electric oven		
Other	"Well ventilated" refrigerator space		

PRELIMINARY

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NOT FOR CONSTRUCTION

PO Box 601 Kollara  
NSW 2289 Ph 49524425  
Nominated Architect: Daniel Hadley 8209  
**Notes**  
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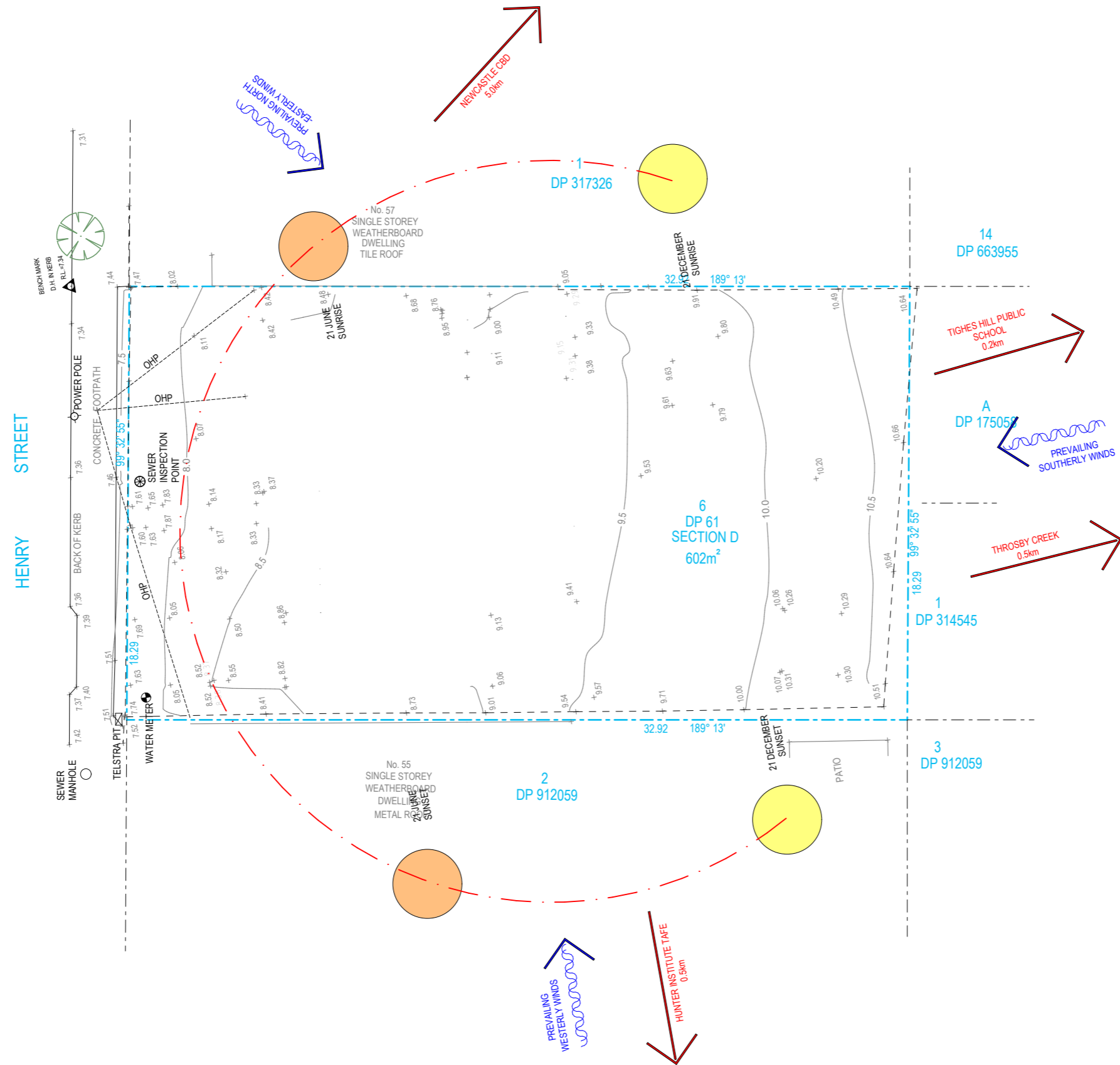
Issue	Description	Date
P1	For Review	6/08/2020
P2	For Review	20/08/2020
P3	For Review	26/08/2020
P4	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendment	21/01/2021
C	RFI Amendments	6/04/2021
D	RFI Amendments	6/09/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**COVER PAGE**  
Scale  
1:1.06 @ A3  
Date  
20/10/2021  
DRAWN  
**TG**  
QA CHECKED  
**SV**

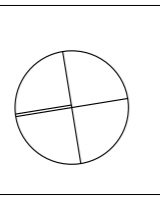
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Issue  
**D**  
Project Number  
**20071**





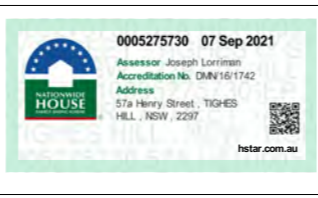
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Assessor Joseph Lorrman  
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hstar.com.au



Issue	Description	Date
P1	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/09/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**SITE ANALYSIS PLAN**  
Scale  
**@ A3**  
DRAWN  
**TG**  
Date  
20/10/2021  
QA CHECKED  
**SV**

Drawing Number  
**DA010**  
Issue  
**B**  
Project Number  
**20071**  
**ELK designs**



53 HENRY STREET TIGHES HILL



41 WILLIAMSON & 18 JOHN STREET TIGHES HILL



CRN HENRY & UNION STREET TIGHES HILL



17 ELIZABETH STREET TIGHES HILL - DUAL OCCUPANCY

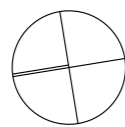


103 HENRY STREET TIGHES HILL - DUAL OCCUPANCY

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Issue	Description	Date
A	RFI Amendments	6/04/2021
B	For Information	3/09/2021
C	RFI Amendments	6/09/2021




Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

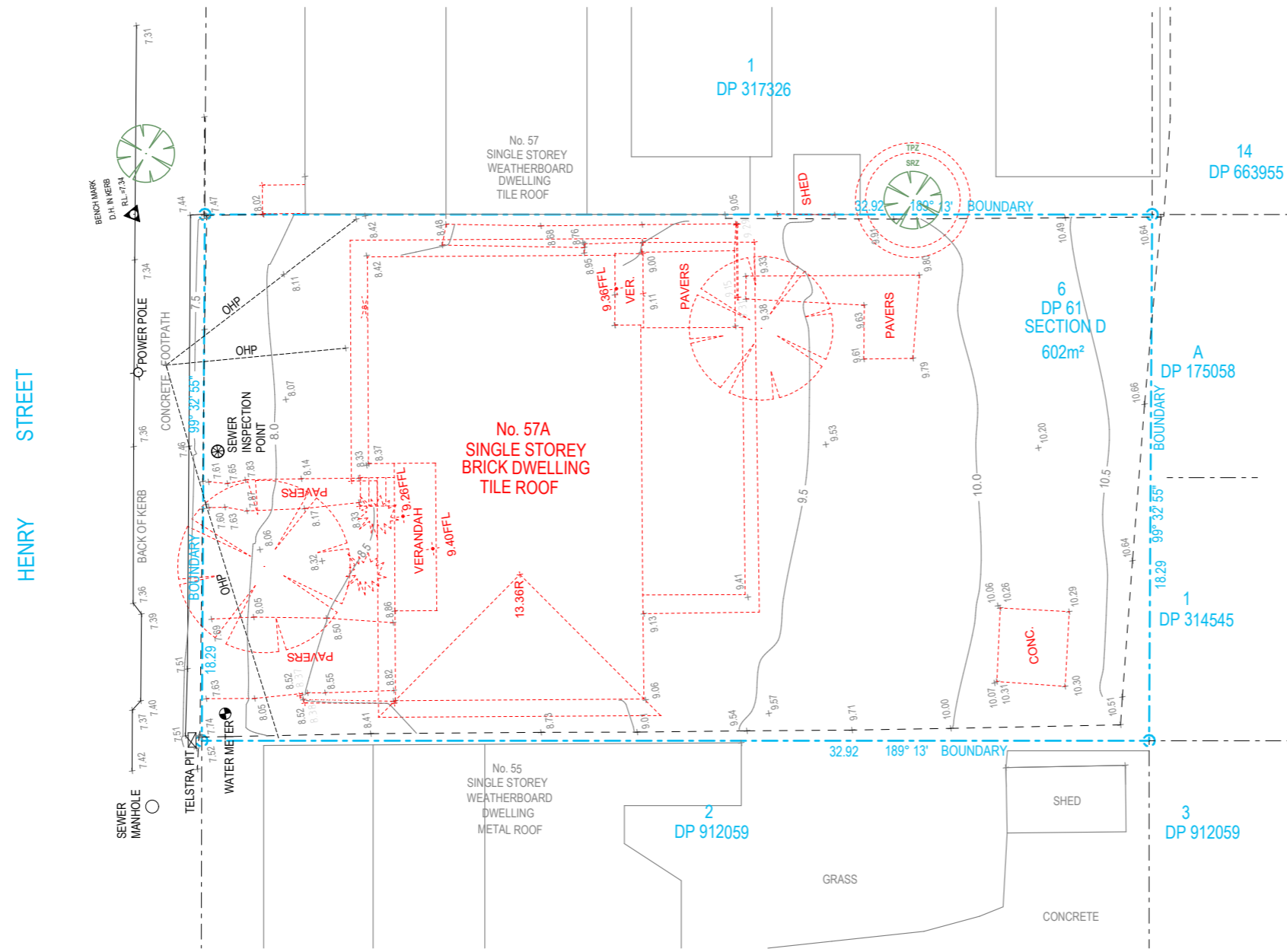
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Date  
20/10/2021  
DRAWN  
**TG**  
QA CHECKED  
**SV**

Drawing Number  
**DA011**  
Issue  
**C**  
Project Number  
**20071**



DEMOLITION LEGEND

-  EXISTING TREE TO BE DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  TO BE DEMOLISHED

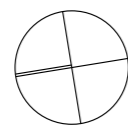


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0005275730 07 Sep 2021  
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Issue	Description	Date
P1	For Review	2/09/2020
P2	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/09/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**DEMOLITION PLAN**  
Scale  
1:200 @ A3  
Date  
20/10/2021  
DRAWN  
TG  
QA CHECKED  
SV

Drawing Number  
**DA020**  
Issue  
B  
Project Number  
**20071**





AREA CALCULATION (m2)		AREAS	
DEEP SOIL	89	SITE AREA	602m <sup>2</sup>
DRIVEWAY	73	FLOOR SPACE RATIO (MAX 0.60)	0.59
LANDSCAPING	200	TOTAL GFA	360m <sup>2</sup>
Proposed Lot 1	201	LANDSCAPE	200m <sup>2</sup>
Proposed Lot 2	200	DEEP SOIL	89m <sup>2</sup>
Proposed Lot 3	201		14.8%

DWELLING 01	
FIRST FLOOR	62
GARAGE	19
GROUND FLOOR	58

DWELLING 02	
FIRST FLOOR	62
GARAGE	18
GROUND FLOOR	58

DWELLING 03	
FIRST FLOOR	62
GARAGE	18
GROUND FLOOR	58

**SITE LEGEND**

WT-1 4,000 LITRE BELOW GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS

**RW**

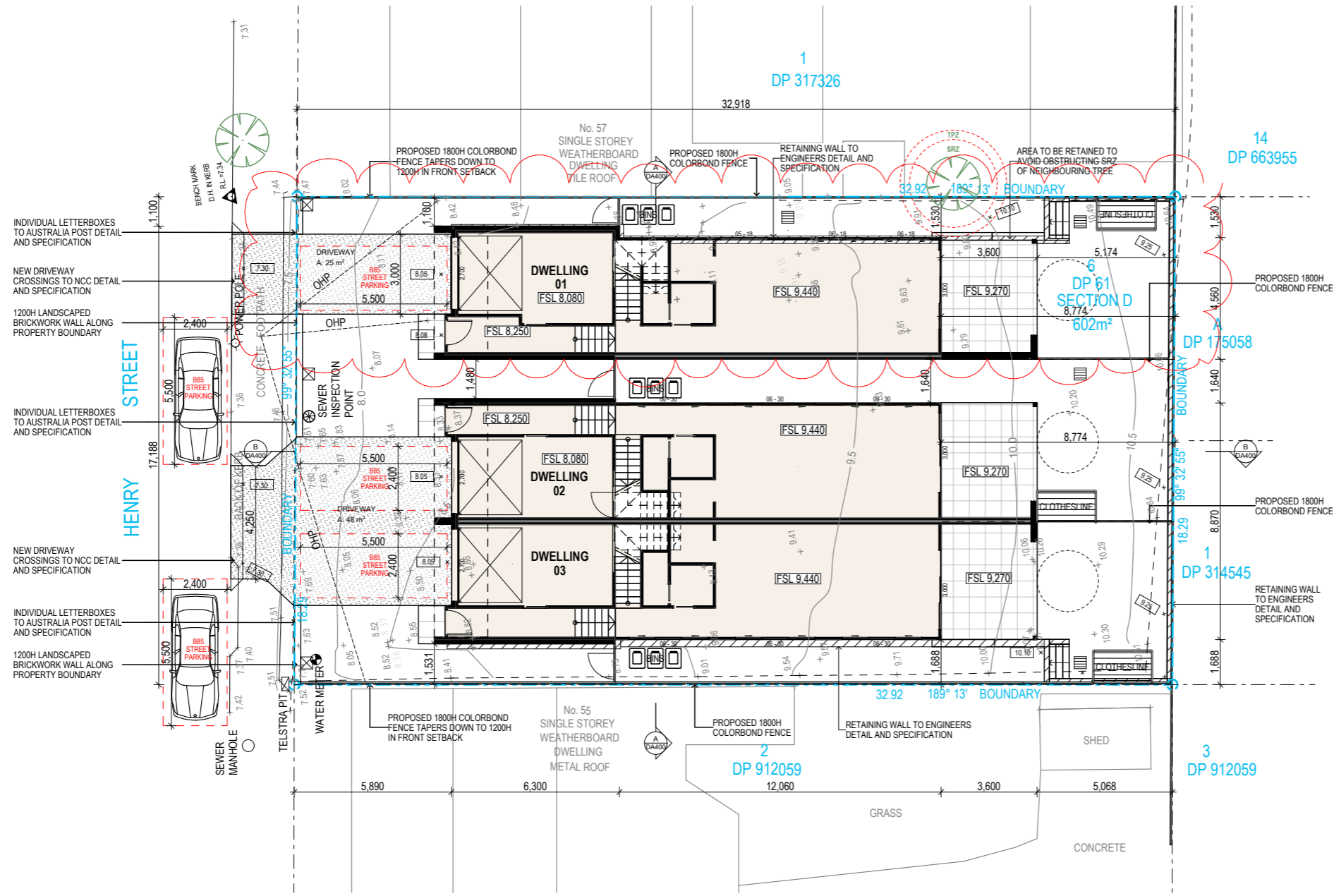
RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS

EXISTING TREE TO BE RETAINED

PROPOSED BUILDING FOOTPRINT

**SITE NOTES**

- GFA (GROSS FLOOR AREA) AS DEFINED BY THE LOCAL COUNCIL
- PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
- FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
- DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY HYDRAULIC ENGINEER OR BUILDER.
- FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION

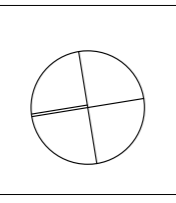


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0005275730 07 Sep 2021

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Issue	Description	Date
C	RFI Amendments	7/05/2021
D	RFI Amendments	15/07/2021
E	For Information	3/09/2021
F	RFI Amendments	6/09/2021
G	RFI Amendments	11/10/2021
H	RFI Amendments	12/10/2021
I	RFI Amendments	19/10/2021
J	RFI Amendments	20/10/2021

Project  
**Multi-Dwelling**

Location  
**57a Henry Street  
Tighes Hill**

Client  
**Linefront Pty Ltd**

Drawing  
**SITE PLAN**

Scale  
1:200 @ A3

DATE  
20/10/2021

DRAWN  
**TG**

QA CHECKED  
**SV**

Drawing Number  
**DA030**

Issue  
**J**

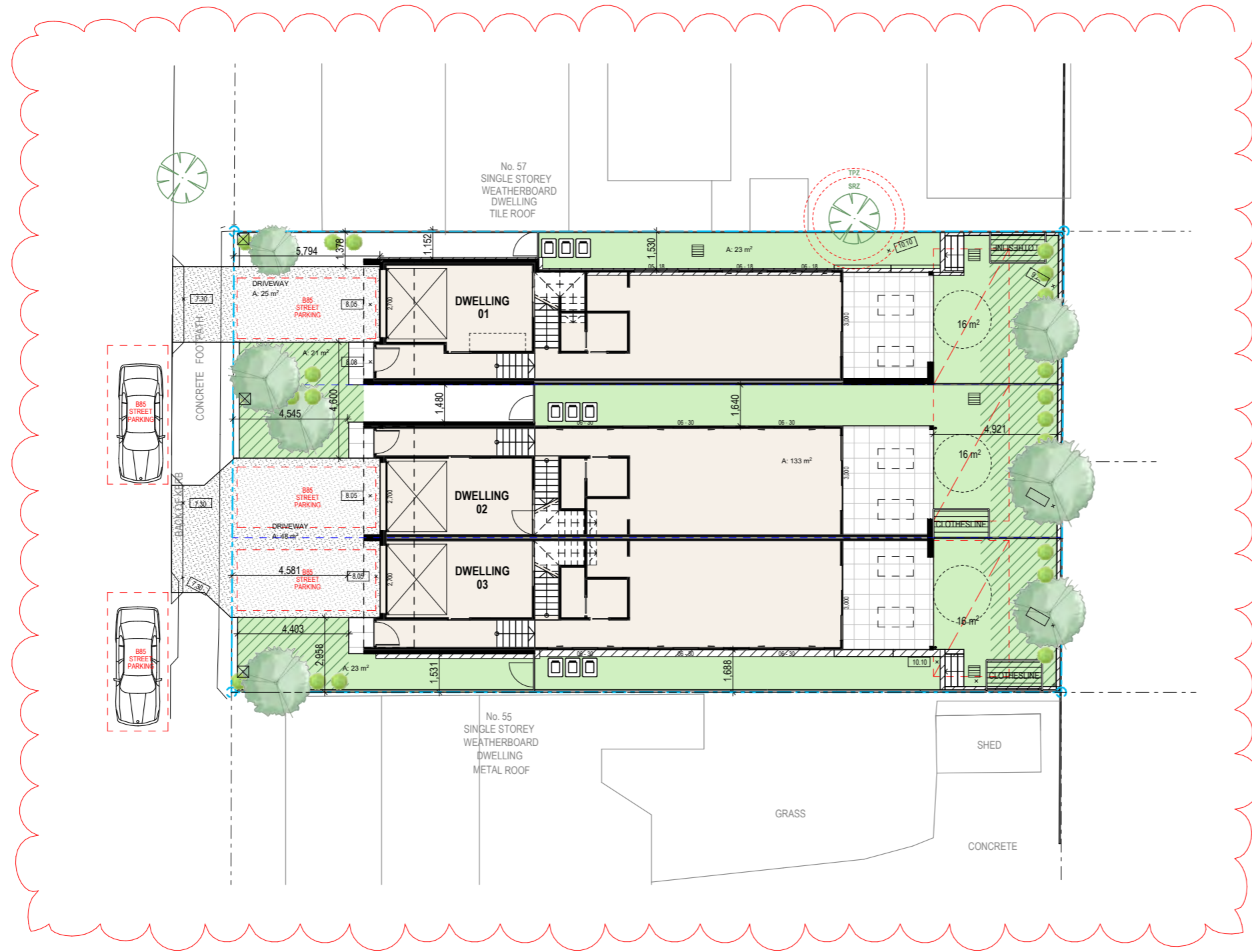
Project Number  
**20071**

**SITE COVERAGE LEGEND**

- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT
- CALCULATED LANDSCAPED AREAS
- DEEP SOIL AREAS
- PRIVATE OPEN SPACE
- INDICATIVE PLANTING

**SITE COVERAGE NOTES**

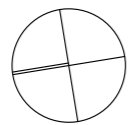
1. PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
2. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
3. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION



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Issue	Description	Date
C	RFI Amendments	7/05/2021
D	RFI Amendments	15/07/2021
E	For Information	3/09/2021
F	RFI Amendments	6/09/2021
G	RFI Amendments	11/10/2021
H	RFI Amendments	12/10/2021
I	RFI Amendments	19/10/2021
J	RFI Amendments	20/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**SITE COVERAGE PLAN**  
Scale  
1:200 @ A3  
Date  
20/10/2021  
DRAWN  
TG  
QA CHECKED  
SV

Drawing Number  
**DA035**  
Issue  
J  
Project Number  
**20071**





VIEW FROM HENRY STREET



VIEW FROM HENRY STREET

PRELIMINARY

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PO Box 601 Kolaria  
NSW 2289 Ph 49524425  
Nominated Architect: Daniel Hadley 8209  
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e: piperplanning.com.au



Issue	Description	Date
P2	For Review	8/09/2020
P3	For Review	10/09/2020
P4	For Review	14/09/2020
P5	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/04/2021
C	RFI Amendments	15/07/2021
D	RFI Amendments	6/09/2021

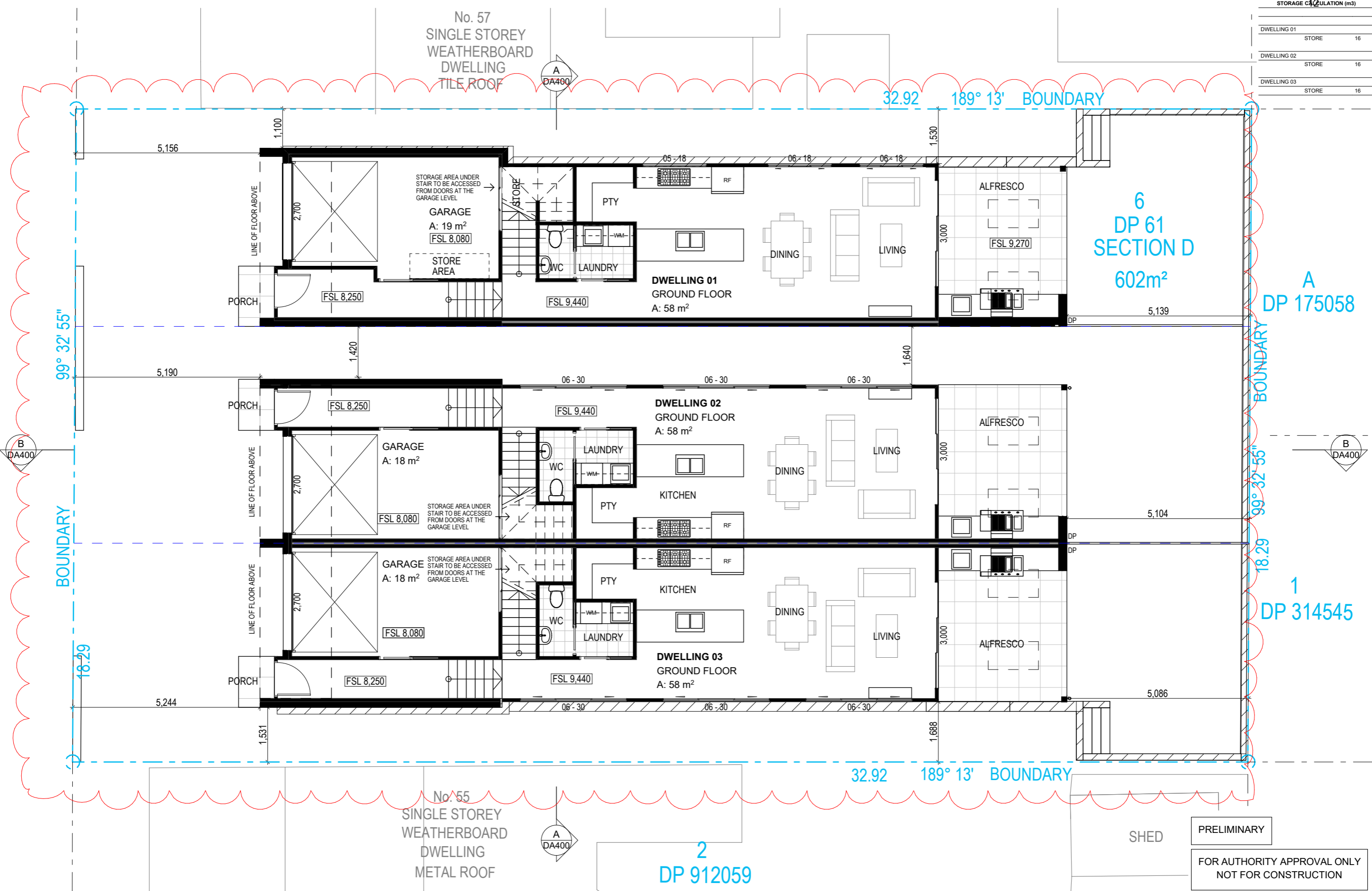
Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**PERSPECTIVES**  
Scale  
**@ A3**  
Date  
20/10/2021  
DRAWN  
**TG**  
QA CHECKED  
**SV**

Drawing Number  
**DA040**  
Issue  
**D**  
Project Number  
**20071**



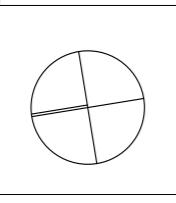
STORAGE CAPACITY (m³)	
DWELLING 01	STORE 16
DWELLING 02	STORE 16
DWELLING 03	STORE 16



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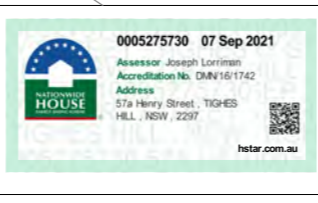
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Assessor Joseph Lorrinan  
Accreditation No: DAN16/1742  
Address  
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HILL, NSW, 2207  
hstar.com.au



Issue	Description	Date
C	RFI Amendments	7/05/2021
D	RFI Amendments	15/07/2021
E	RFI Amendments	20/08/2021
F	For Information	3/09/2021
G	RFI Amendments	6/09/2021
H	RFI Amendments	11/10/2021
I	RFI Amendments	19/10/2021
J	RFI Amendments	20/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**GROUND FLOOR**  
Scale  
1:100 @ A3  
Date  
20/10/2021  
DRAWN  
TG  
QA CHECKED  
SV

Drawing Number  
**DA100**  
Issue  
J  
Project Number  
**20071**



STORAGE CAPACITY (m3)	
DWELLING 01	STORE 16
DWELLING 02	STORE 16
DWELLING 03	STORE 16

No. 57  
SINGLE STOREY  
WEATHERBOARD  
DWELLING  
TILE ROOF

No. 55  
SINGLE STOREY  
WEATHERBOARD  
DWELLING  
METAL ROOF

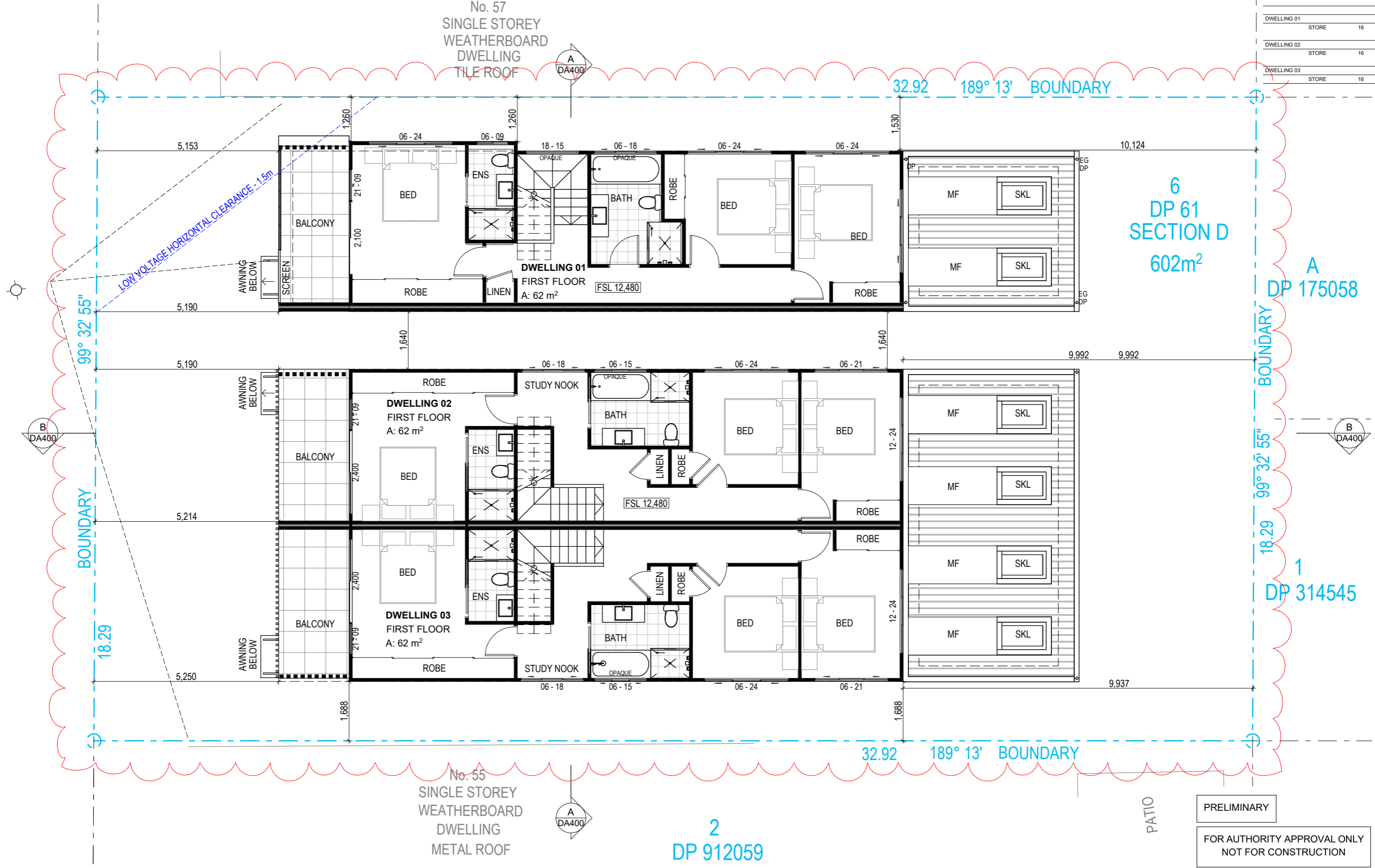
2  
DP 912059

6  
DP 61  
SECTION D  
602m<sup>2</sup>

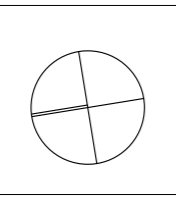
A  
DP 175058

1  
DP 314545

PRELIMINARY  
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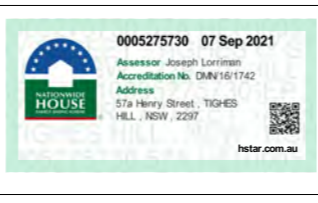


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Piper Planning Pty Ltd  
p: 0401660152  
e: piperplanning.com.au



Issue	Description	Date
B	RFI Amendment	21/01/2021
C	RFI Amendments	6/04/2021
D	RFI Amendments	15/07/2021
E	RFI Amendments	20/08/2021
F	For Information	3/09/2021
G	RFI Amendments	6/09/2021
H	RFI Amendments	19/10/2021
I	RFI Amendments	20/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

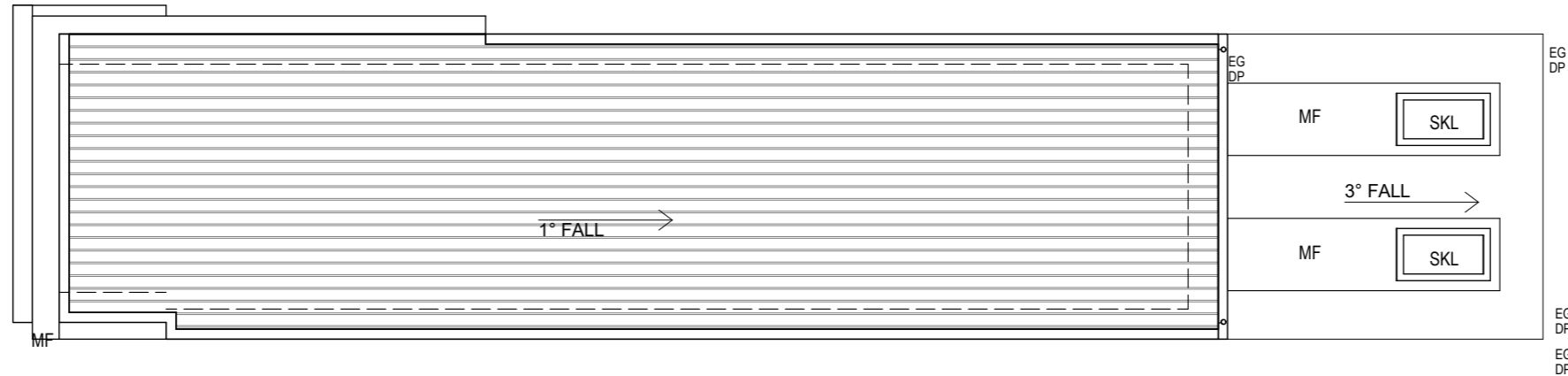
Drawing  
**FIRST FLOOR**  
Scale  
1:100 @ A3  
Date  
20/10/2021  
DRAWN  
**TG**  
QA CHECKED  
**SV**

Drawing Number  
**DA110**  
Issue  
1  
Project Number  
**20071**  
**ELK**  
designs

No. 57  
SINGLE STOREY  
WEATHERBOARD  
DWELLING  
TILE ROOF



32.92 189° 13' BOUNDARY



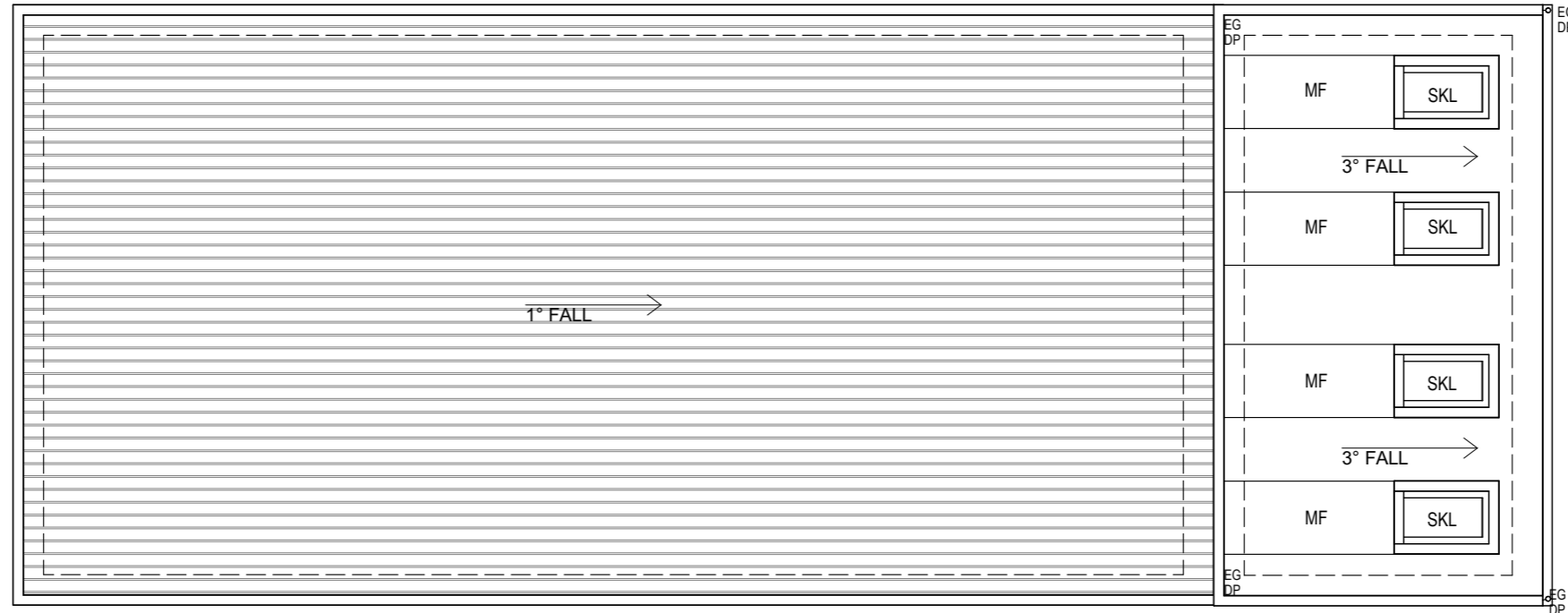
6  
DP 61  
SECTION D  
602m

A  
DP 175058

99° 32' 55"

BOUNDARY

18.29



1  
DP 314545

32.92 189° 13' BOUNDARY

No. 55  
SINGLE STOREY  
WEATHERBOARD  
DWELLING  
METAL ROOF



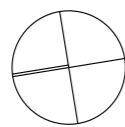
2  
DP 912059

PATIO

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Issue	Description	Date
P2	For Review	8/09/2020
P3	For Review	14/09/2020
P4	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	15/07/2021
C	For Information	3/09/2021
D	RFI Amendments	6/09/2021
E	RFI Amendments	19/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**ROOF PLAN**  
Scale  
1:100 @ A3  
DRAWN  
**TG**

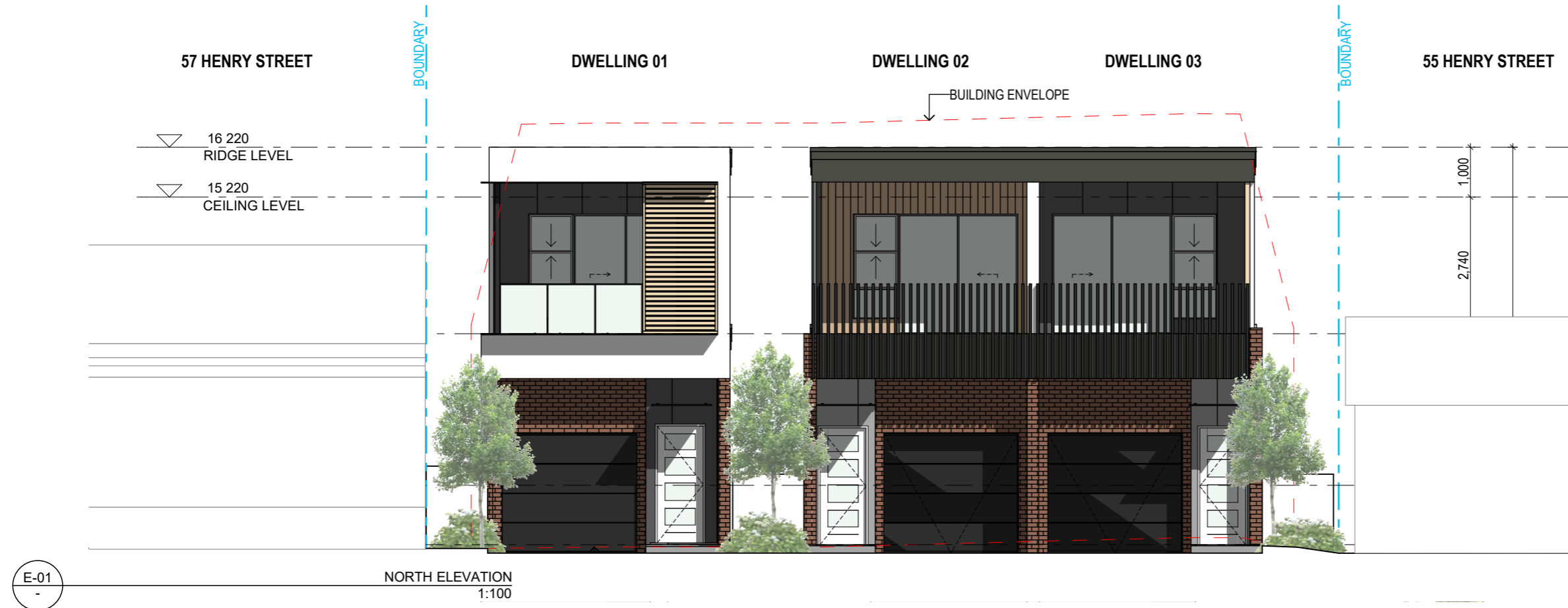
Date  
20/10/2021  
QA CHECKED  
**SV**

Drawing Number  
**DA150**  
Issue  
**E**  
Project Number  
**20071**

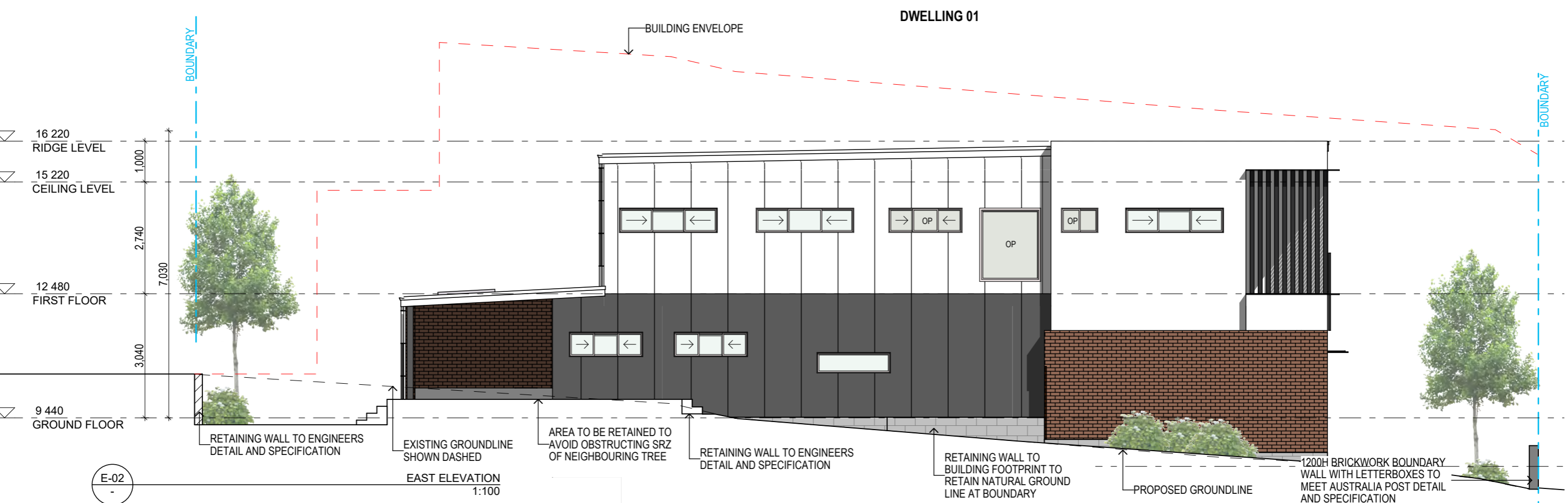


**ELEVATION NOTES**

1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
2. REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.
5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION



**NORTH ELEVATION**  
1:100



**EAST ELEVATION**  
1:100

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Issue	Description	Date
A	Development Application	9/11/2020
B	RFI Amendments	6/04/2021
C	RFI Amendments	7/05/2021
D	RFI Amendments	15/07/2021
E	For Information	3/09/2021
F	RFI Amendments	6/09/2021
G	RFI Amendments	11/10/2021
H	RFI Amendments	19/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**ELEVATIONS**  
Scale  
1:100 @ A3  
Date  
20/10/2021  
DRAWN  
TG  
QA CHECKED  
SV

Drawing Number  
**DA300**  
Issue  
H  
Project Number  
**20071**

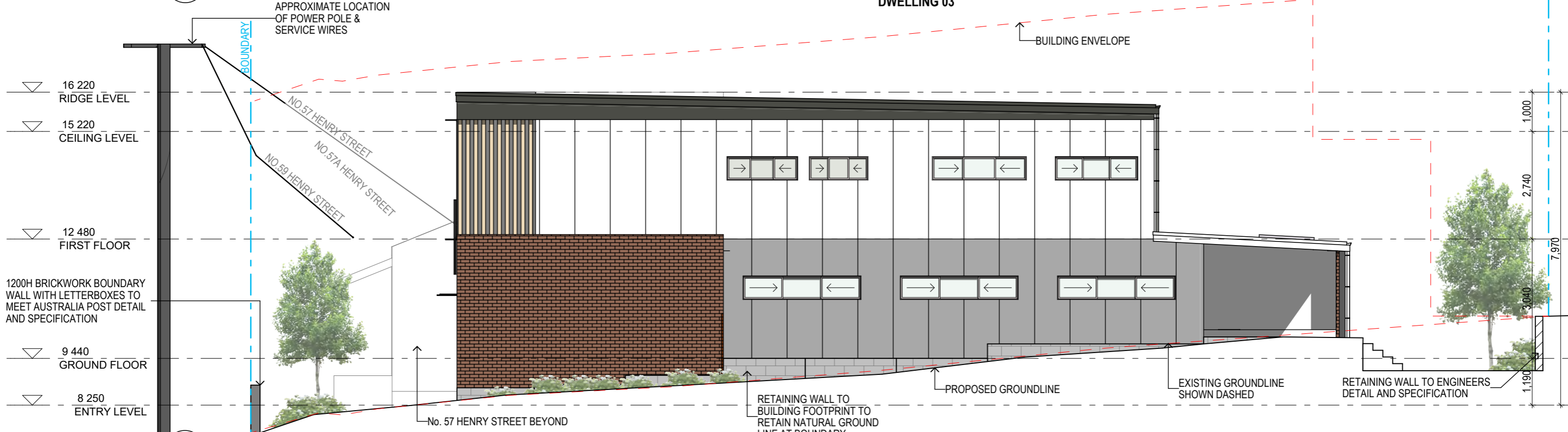


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**SOUTH ELEVATION**  
1:100



**WEST ELEVATION**  
1:100

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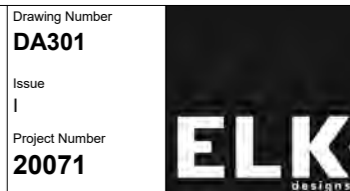
Assessor: Joseph Lorrigan  
Accreditation No. DMN16/1742  
Address: 57a Henry Street, TIGHES HILL, NSW, 2207  
hstar.com.au

Issue	Description	Date
B	RFI Amendment	21/01/2021
C	RFI Amendments	6/04/2021
D	RFI Amendments	7/05/2021
E	RFI Amendments	15/07/2021
F	For Information	3/09/2021
G	RFI Amendments	6/09/2021
H	RFI Amendments	11/10/2021
I	RFI Amendments	19/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**ELEVATIONS**  
Scale  
1:100 @ A3  
Date  
20/10/2021  
DRAWN  
TG  
QA CHECKED  
SV

Drawing Number  
**DA301**  
Issue  
1  
Project Number  
**20071**







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Issue	Description	Date
P1	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/04/2021
C	RFI Amendments	7/05/2021
D	RFI Amendments	15/07/2021
E	For Information	3/09/2021
F	RFI Amendments	6/09/2021
G	RFI Amendments	11/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**ELEVATIONS**  
Scale  
1:100 @ A3  
Date  
20/10/2021  
QA CHECKED  
**SV**  
DRAWN  
**TG**

Drawing Number  
**DA302**  
Issue  
**G**  
Project Number  
**20071**

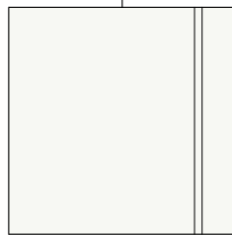




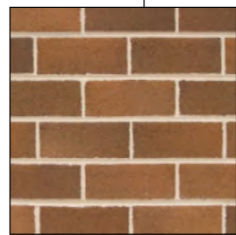
ALUMINIUM SHROUD AROUND BALCONY OPENING



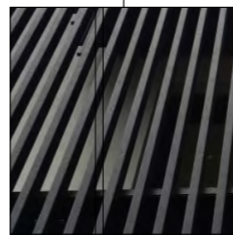
GLASS BALUSTRADE



SCYON MATRIX PANELLING - DULUX VIVID WHITE



AUSTRAL BRICKS - BOWRAL BROWN



BATTEN BALUSTRADE

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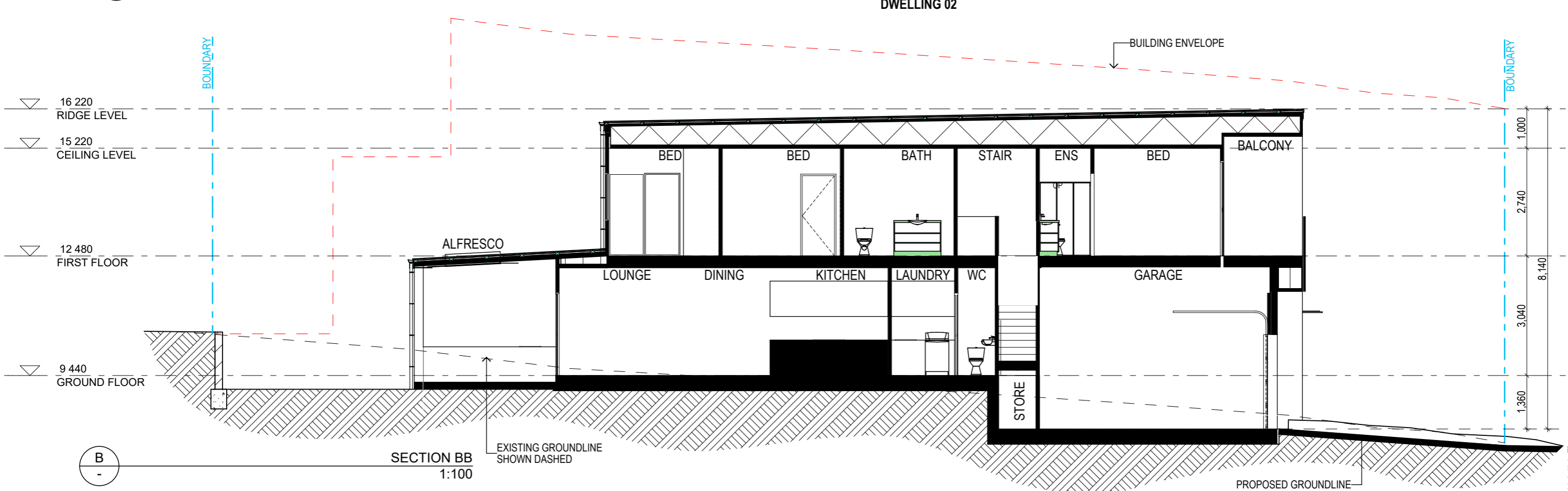
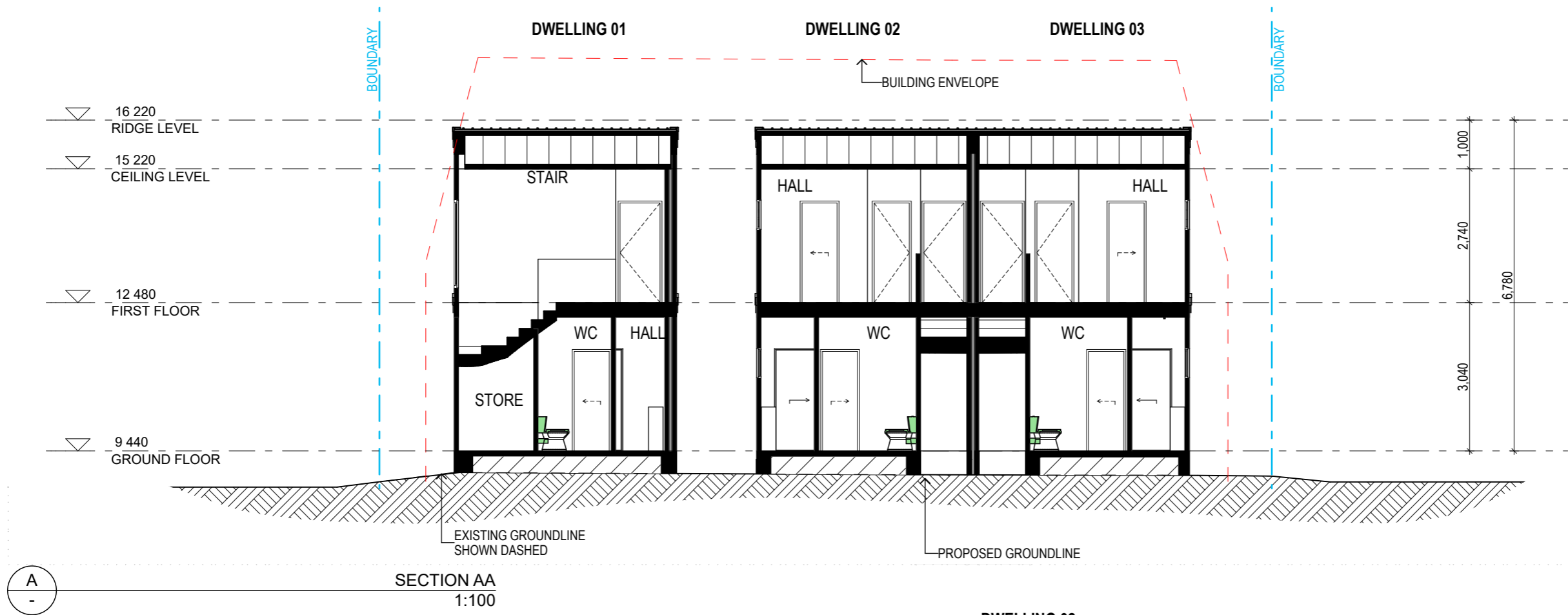
Issue	Description	Date
O1	For Review	2/09/2020
P2	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/04/2021
C	RFI Amendments	15/07/2021
D	For Information	3/09/2021
E	RFI Amendments	6/09/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**EXTERNAL FINISHES**  
Scale  
1:100 @ A3  
Date  
20/10/2021  
QA CHECKED  
**SV**

Drawing Number  
**DA350**  
Issue  
**E**  
Project Number  
**20071**





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**Consultants**

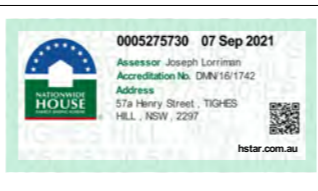
Surveyor  
 Delis Lascelles  
 p: 02 4364 4886  
 e: admin@delacs.com.au

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 MPC Consulting Engineers  
 p: 02 4927 5566  
 e: admin@mpceng.com.au

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 p: 0412582966  
 e: gardenflora704@gmail.com

Town Planner  
 Piper Planning Pty Ltd  
 p: 0401660152  
 e: piperplanning.com.au



Issue	Description	Date
P1	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/04/2021
C	RFI Amendments	7/05/2021
D	RFI Amendments	15/07/2021
E	For Information	3/09/2021
F	RFI Amendments	6/09/2021
G	RFI Amendments	19/10/2021

Project  
**Multi-Dwelling**  
 Location  
**57a Henry Street  
 Tighes Hill**  
 Client  
**Linefront Pty Ltd**

Drawing  
**SECTIONS**  
 Scale  
 1:100 @ A3  
 Date  
 20/10/2021  
 DRAWN  
**TG**  
 QA CHECKED  
**SV**

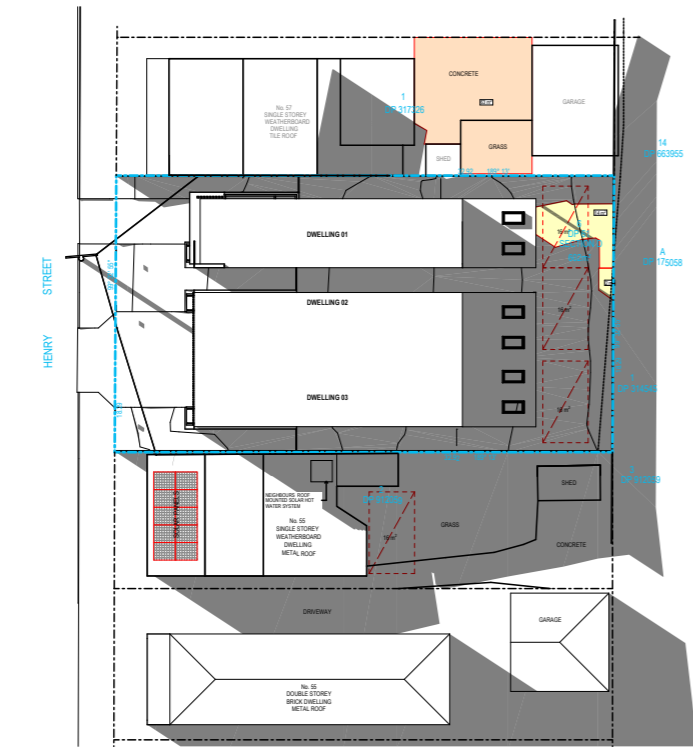
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 Issue  
**G**  
 Project Number  
**20071**



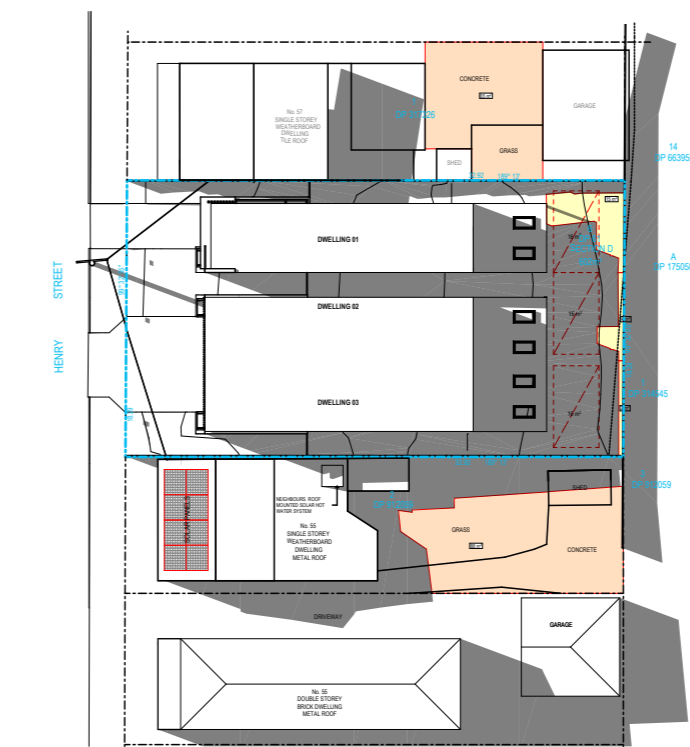
SHADOW DIAGRAMS (SOLAR ACCESS ACHIEVED TO OPEN SPACE m2)										
UNIT	AREA REQUIRED	09:00	10:00	10:30	11:00	12:00	13:00	14:00	15:00	COMPLIANCE
DWELLING 01	8m2	14m2	15m2	15m2	14m2	14m2	11m2	5m2		YES
DWELLING 02	8m2	2m2	4m2	8m2	13m2	13m2	13m2	12m2	12m2	YES
DWELLING 03	8m2	0m2	2m2	6m2	12m2	17m2	17m2	16m2	14m2	YES

SHADOW DIAGRAM LEGEND

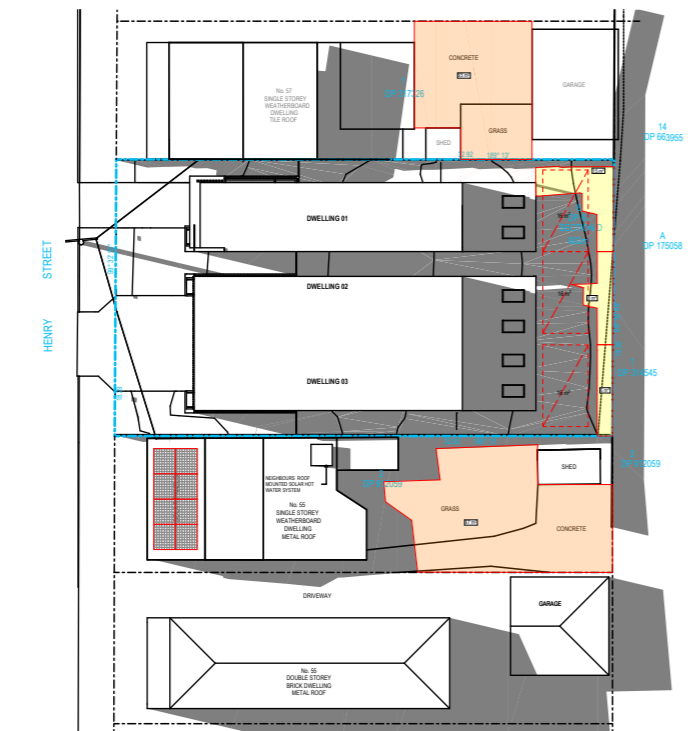
- AREA OF OPEN SPACE ACHIEVING SOLAR ACCESS
- AREA OF NEIGHBOURS OPEN SPACE ACHIEVING SOLAR ACCESS



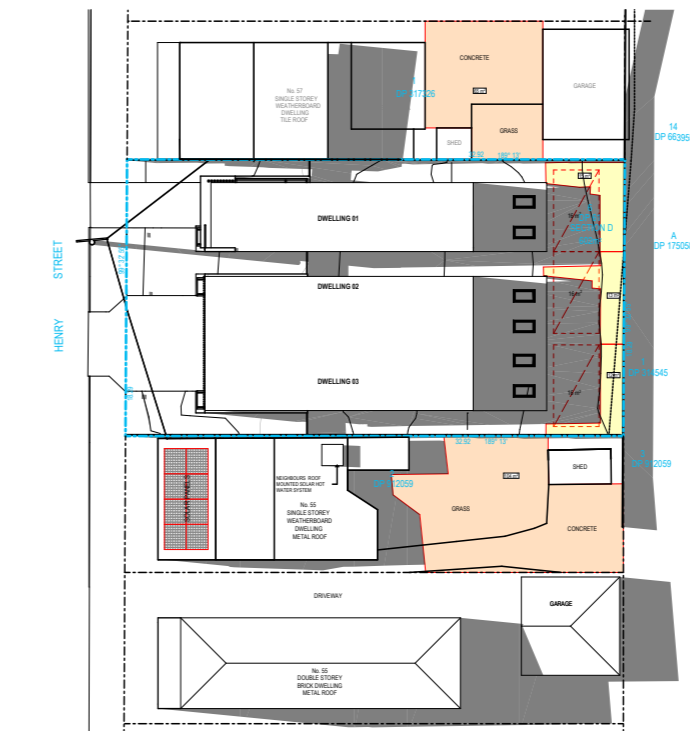
01 - 21 JUN at 09:00  
1:500



02 - 21 JUN at 10:00  
1:500



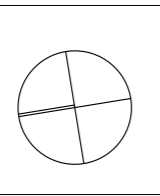
03 - 21 JUN at 10:30  
1:500



04 - 21 JUN at 11:00  
1:500

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NSW 2289 Ph 49524425  
Nominated Architect: Daniel Hadley 8209  
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Piper Planning Pty Ltd  
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Issue	Description	Date
B	RFI Amendment	14/01/2021
C	RFI Amendments	6/04/2021
D	RFI Amendments	15/07/2021
E	For Information	3/09/2021
F	RFI Amendments	6/09/2021
G	RFI Amendments	11/10/2021
H	RFI Amendments	12/10/2021
I	RFI Amendments	19/10/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**EXTERNAL SHADOW  
DIAGRAMS**  
Scale  
1:500 @ A3  
Date  
20/10/2021  
QA CHECKED  
**SV**

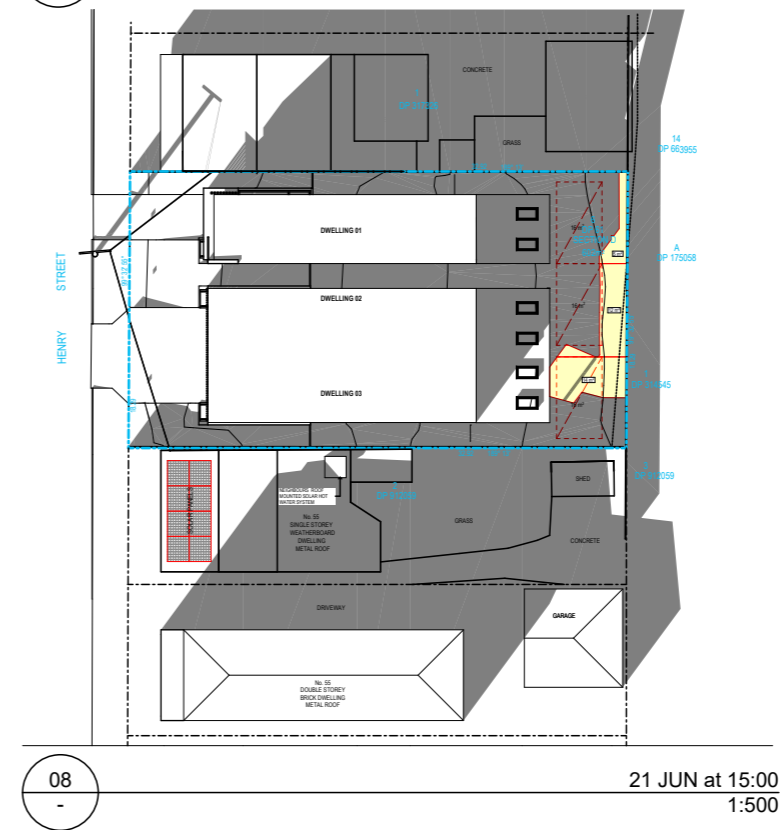
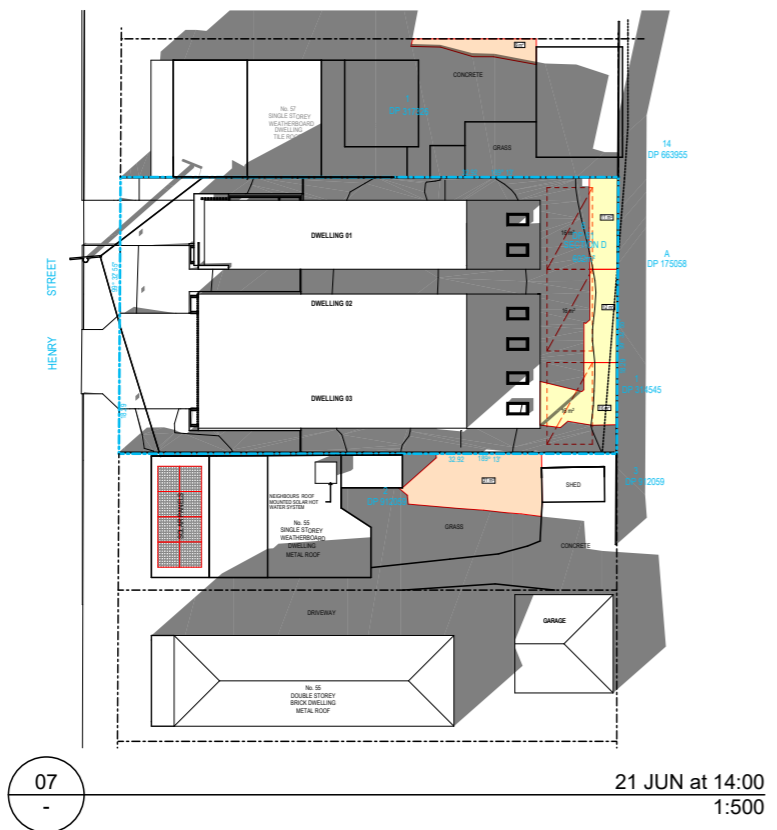
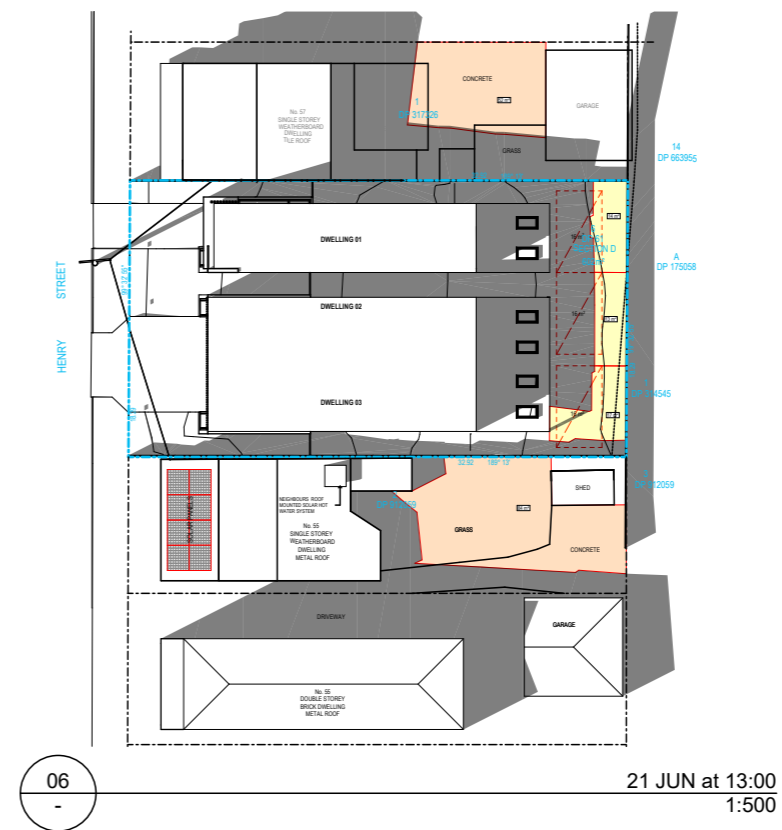
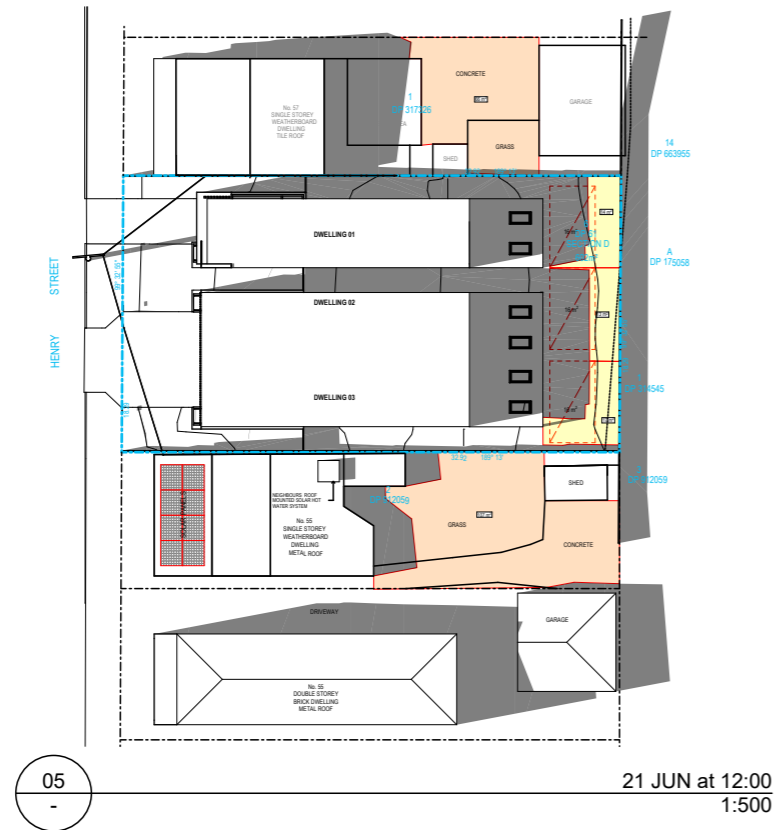
Drawing Number  
**DA900**  
Issue  
1  
Project Number  
**20071**



SHADOW DIAGRAMS (SOLAR ACCESS ACHIEVED TO OPEN SPACE m2)										
UNIT	AREA REQUIRED	09:00	10:00	10:30	11:00	12:00	13:00	14:00	15:00	COMPLIANCE
DWELLING 01	8m2	25m2	20m2	18m2	17m2	14m2	14m2	11m2	5m2	YES
DWELLING 02	8m2	2m2	4m2	8m2	13m2	13m2	13m2	12m2	12m2	YES
DWELLING 03	8m2	0m2	2m2	6m2	12m2	19m2	23m2	26m2	27m2	YES

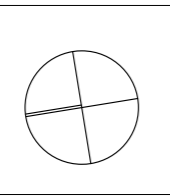
SHADOW DIAGRAM LEGEND

- AREA OF OPEN SPACE ACHIEVING SOLAR ACCESS
- AREA OF NEIGHBOURS OPEN SPACE ACHIEVING SOLAR ACCESS



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NSW 2289 Ph 49524425  
Nominated Architect: Daniel Hadley 8209  
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B	RFI Amendment	14/01/2021
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Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

Drawing  
**EXTERNAL SHADOW  
DIAGRAMS**  
Scale  
1:500 @ A3  
Date  
20/10/2021  
QA CHECKED  
**SV**

Drawing Number  
**DA901**  
Issue  
1  
Project Number  
**20071**  
**ELK designs**

**Sediment and erosion control**

All erosion and sediment control measures to be installed prior to site disturbance.

The project manager to inform all contractors and sub-contractors of their obligations under the erosion and sediment control plan.

Topsoil from all areas that will be disturbed to be stripped and stockpiled at the nominated site.

All sediment control structures to be inspected by site supervisor after each rainfall event for structural damage and all trapped sediment to be removed to a nominated stockpile site.

Sediment and erosion control shall be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the superintendent's satisfaction.

A single all weather access way will be provided at the front of the property consisting of 50-75 aggregate or similar material at a minimum thickness of 150 laid over needle-punched geotextile fabric and constructed prior to commencement of works.

The contractor shall ensure that no spoil or fill encroaches upon adjacent areas for the duration of works.

The contractor shall ensure that kerb inlets and drains receiving stormwater shall be protected at all times during development. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage.

Sediment fencing shall be secured by post (where metal star pickets are used plastic safety caps shall be used) at 3000 intervals with geotextile fabric embedded 200 in soil.

All topsoil stripped from the site and stockpiled does not interfere with drainage lines and stormwater inlets and will be suitably covered with an impervious membrane material and screened by sediment fencing.

**Soil conservation**

Prior to commencement of construction provide 'sediment fence,' 'sediment trap' and washout area to ensure the capture of water borne material generated from the site.

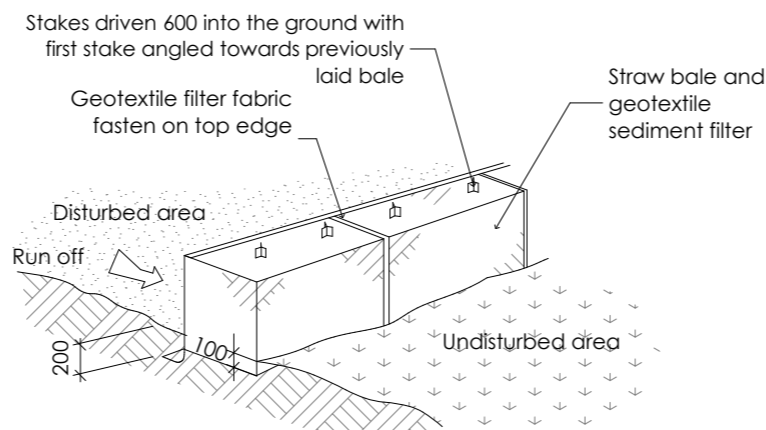
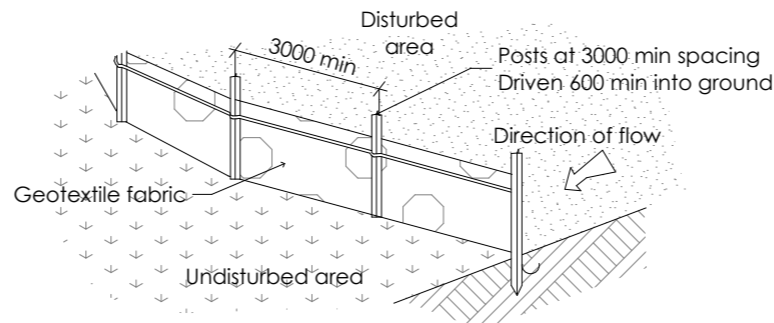
Maintain the above during the course of construction, and clear the 'sediment trap' after each storm.

**Sediment trap**

1000 x 1000 wide 500 deep pit, located at the lowest point to the trap sediment.

**Sediment fence**

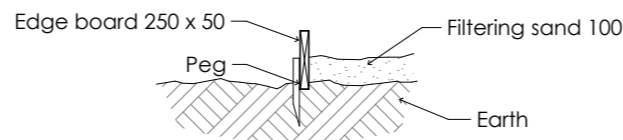
Provide sediment fence on down slope boundary as shown on plan. Fabric to be buried below ground at lower edge.



Drainage area 0.5 ha. max. slope gradient 1:2 max. slope length 50m.

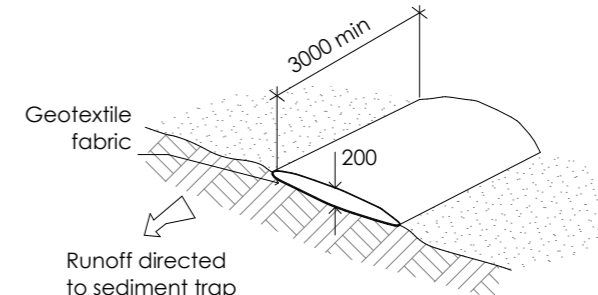
**Washout area**

to be 1800 x 1800 allocated for the washing of tool and equipment



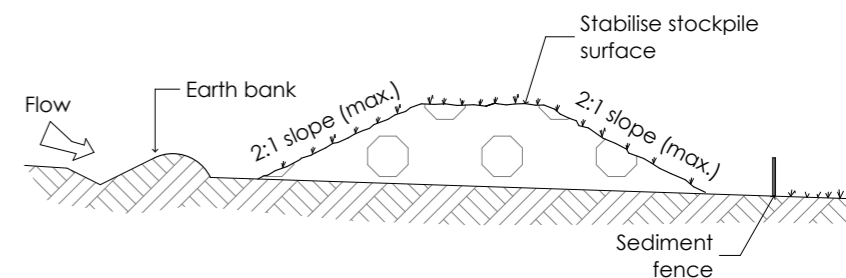
**Vehicle access to site**

Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement.



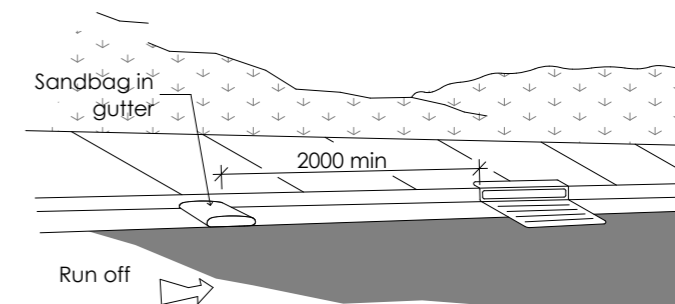
**Building material stockpiles**

All stockpiles of building material such as sand and soil must be protected to prevent scour and erosion. They should never be placed in the street gutter where they will wash away with the first rainstorm.



**Sandbag kerb sediment trap**

In certain circumstances extra sediment trapping may be needed in the street gutter.



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Issue	Description	Date
P1	For Authority Approval	1/10/2020
A	Development Application	9/11/2020
B	RFI Amendments	6/09/2021

Project  
**Multi-Dwelling**  
Location  
**57a Henry Street  
Tighes Hill**  
Client  
**Linefront Pty Ltd**

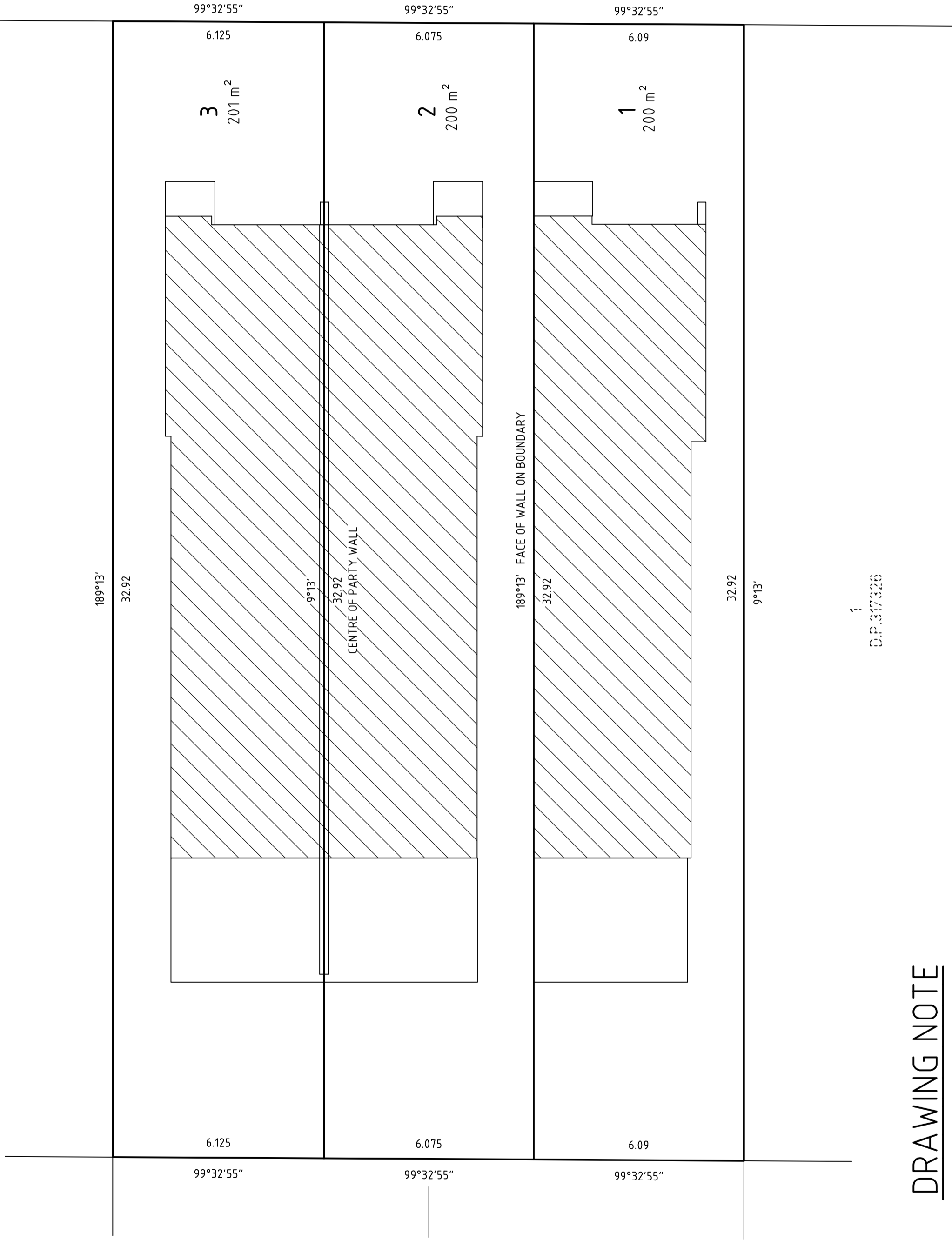
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**SEDIMENT CONTROL**  
Scale  
**@ A3**  
DRAWN  
**TG**

Date  
20/10/2021  
QA CHECKED  
**SV**

Drawing Number  
**DA960**  
Issue  
**B**  
Project Number  
**20071**



2  
D.P. 322662



**PRELIMINARY ONLY DRAWING NOTE**

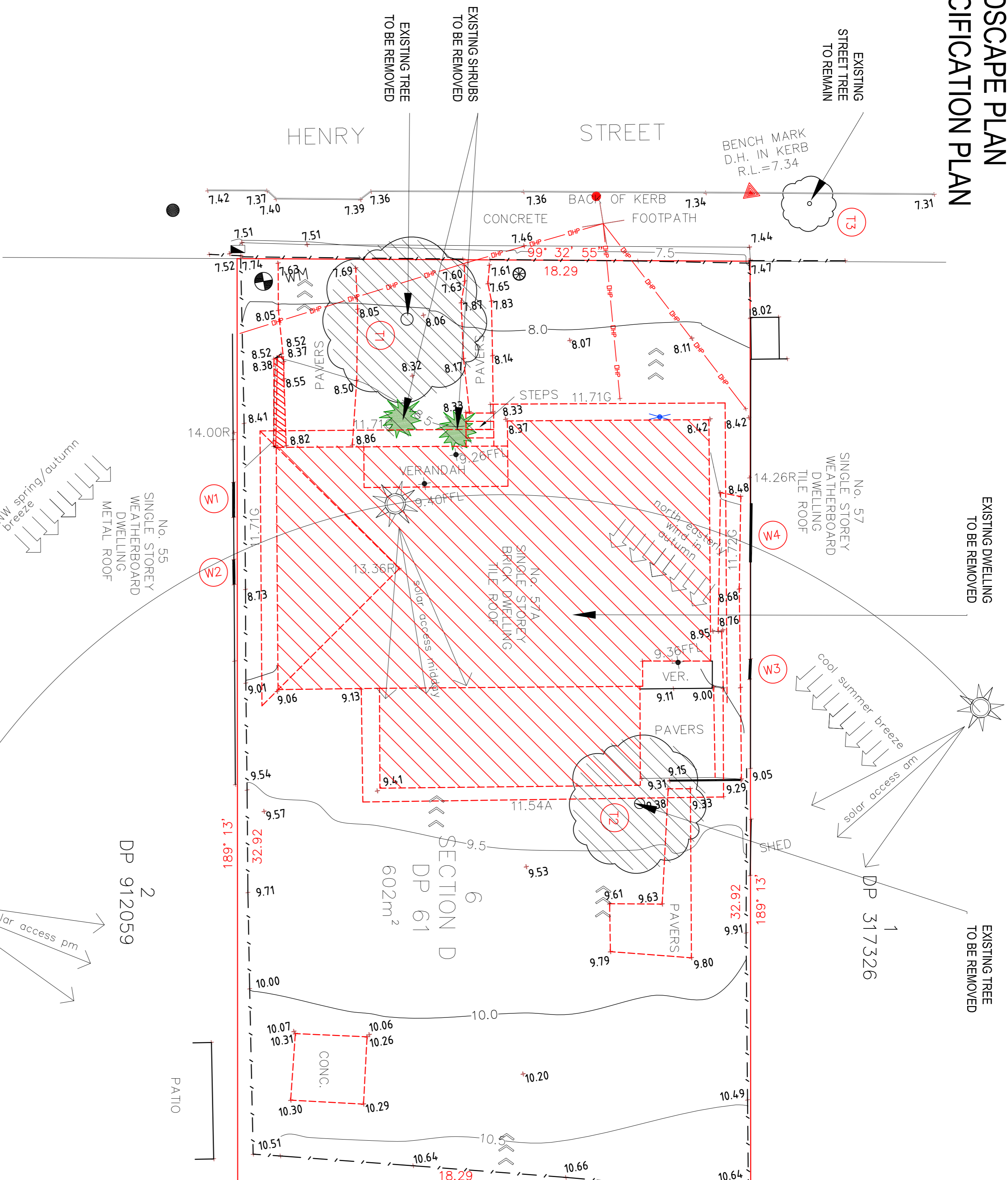
THIS PLAN IS PRELIMINARY ONLY AND IS SUBJECT TO COUNCIL APPROVAL, FINAL DESIGN, CONSTRUCTION, FINAL SURVEY AND REGISTRATION AT THE LAND AND PROPERTY INFORMATION, SYDNEY.

THIS PLAN HAS BEEN PREPARED USING PLANS PROVIDED BY:  
 COMPANY: ELK DESIGNS  
 DRAWING REFERENCE: 20071 SITE PLAN DA030  
 REVISION: H    DATE: 12.10.2021  
 DWELLING 1 MOVED 130MM EAST AS PER CLIENT REQUEST

<b>SURVEYOR</b>	<b>PLAN OF SUBDIVISION OF LOT 6 SECTION D D.P. 61</b>
Name: TIMOTHY R. RHEINBERGER	LGA: NEWCASTLE
Date: 19.10.2021	Locality: TIGHES HILL
Reference: 20553_DRAFT_R3	Reduction Ratio 1:100
	Lengths are in metres.

REGISTERED

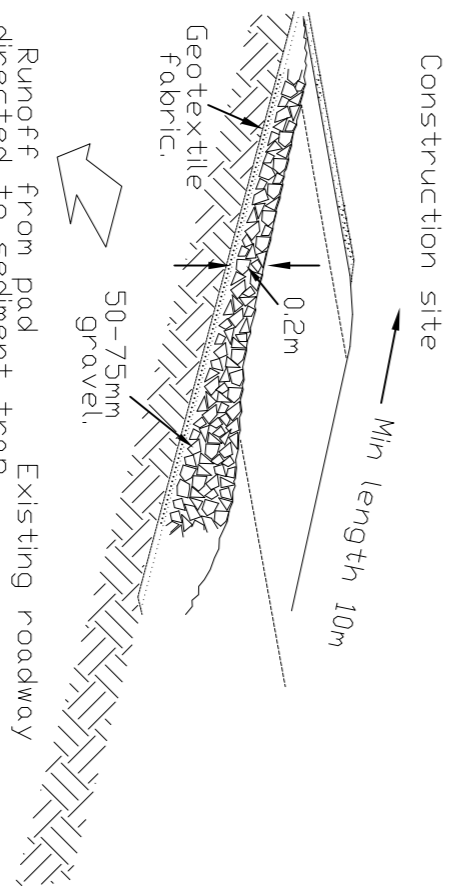
D.P.



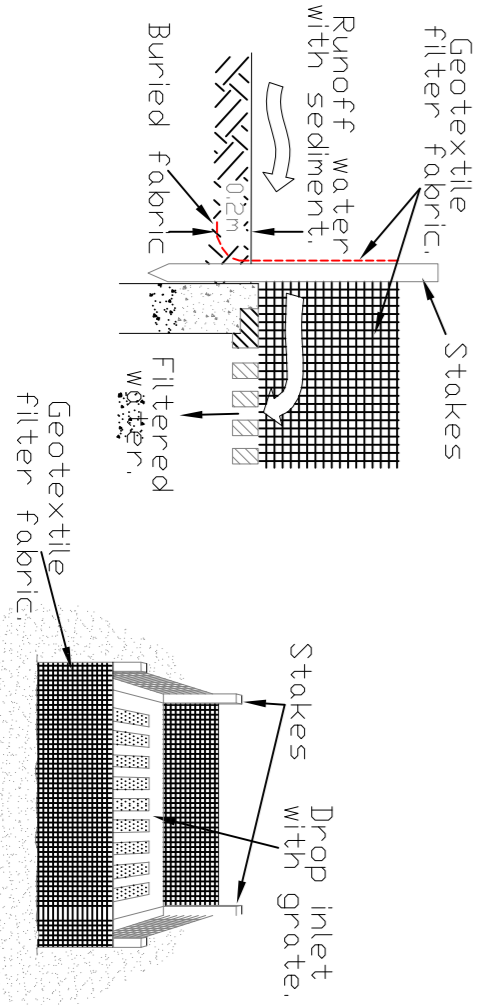
**NOTES**  
 The lot has an existing dwelling, driveway and associated infrastructure along with 2 existing trees & small shrubs all to be removed. The drainage lines are towards the front boundary with the soil being a gravel - clay base and a thin loam topsoil.

**TEMPORARY CONSTRUCTION EXIT**

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION TO ALLOW THE FREE FLOW OF SEDIMENT INTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH APPROXIMATELY 10mm OF SAND AND 10mm OF APPROXIMATELY 10mm GRAVEL. DEMAND AND USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED.

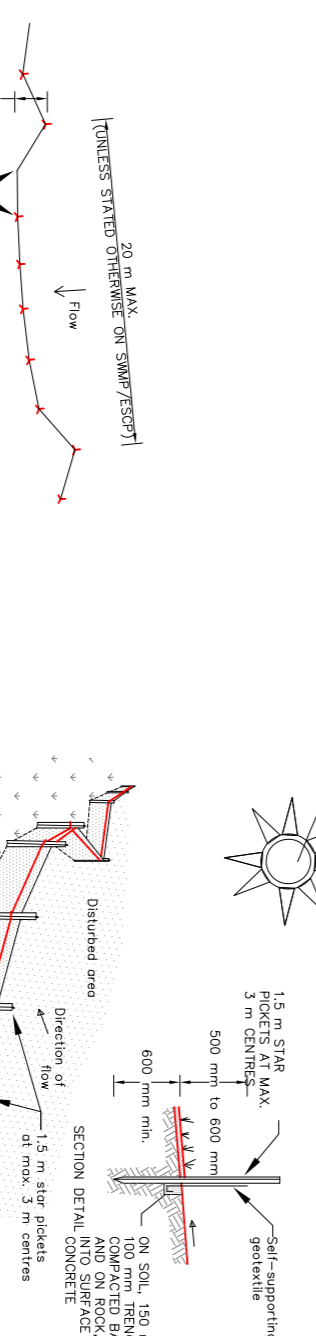


**Geotextile Filter Fabric Drop Inlet Sediment Trap.**

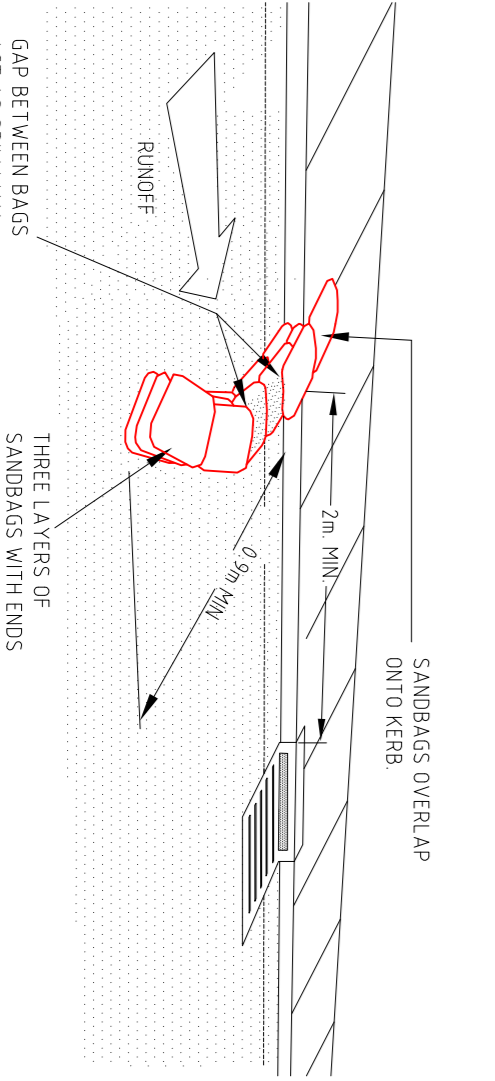


**SEDIMENT CONTROL FENCE**

1. CONSTRUCTION FENCE AS SHOWN TO PREVENT TOXIC MATERIALS FROM BEING TRACKED ONTO PUBLIC RIGHTS OF WAY.  
 2. FENCE SHALL BE MAINTAINED IN A CONDITION TO ALLOW THE FREE FLOW OF SEDIMENT INTO PUBLIC RIGHTS OF WAY.  
 3. FENCE SHALL BE MAINTAINED IN A CONDITION TO ALLOW THE FREE FLOW OF SEDIMENT INTO PUBLIC RIGHTS OF WAY.  
 4. FENCE SHALL BE MAINTAINED IN A CONDITION TO ALLOW THE FREE FLOW OF SEDIMENT INTO PUBLIC RIGHTS OF WAY.  
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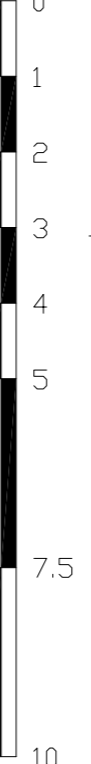


**SANDBAG KERB INLET SEDIMENT TRAP**



**EROSION AND SEDIMENT CONTROL NOTES**

Bar Scale 1: 100 (A1), 1: 200 (A3)



**TREE TABLE**

TREE NO.	SPREAD	TRUNK	HEIGHT
T1	6	0.5	7
T2	5	0.5	5
T3	2	0.3	3

- GENERAL INSTRUCTIONS**
- E1 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
  - E2 THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THIS SPECIFICATION.
  - E3 ALL BOUNDARIES AND SUB-CONTRACTORS WILL BE ADVISED OF THEIR OBLIGATIONS AND RESPONSIBILITIES FOR SOIL EROSION AND POLLUTION TO DOWN-SLOPE LANDS AND WATERWAYS.
  - E4 CONSTRUCTION SEQUENCE
  - E5 THE SOIL EROSION POTENTIAL ON THIS SITE SHALL BE MINIMISED HENCE WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
    - (a) INSTALL SEDIMENT FENCES
    - (b) UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE
  - E6 EROSION CONTROL
  - E7 DURING WINDY CONDITIONS, LARGE UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
  - E8 FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE INCLUDING ALL AREAS OF UNPROTECTED HIGH VELOCITY FLOWS FROM SUCH AREAS. SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWN-SLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCES.
  - E9 STORAGES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARDOUS AREAS INCLUDING ALL AREAS OF UNPROTECTED HIGH VELOCITY FLOWS FROM SUCH AREAS. SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWN-SLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCES.

**OTHER MATTERS**

ACCEPTABLE RECEIVERS WILL BE PROVIDED FOR CONCRETE AND PORTLAND CEMENT PAINTS, ACID WASHINGS, LIGHT WEIGHT WASTE MATERIALS AND LITTER.

RECEIVERS FOR CONCRETE AND PORTLAND CEMENTS, PAINTS, ACID WASHINGS, LIGHT WEIGHT WASTE MATERIALS AND LITTER ARE TO BE PROVIDED BY THE SITE SUPERINTENDENT.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE SITE SUPERINTENDENT.

**SITE INSPECTION & MAINTENANCE**

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND APPROVED BY THE SITE SUPERINTENDENT.

DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTS--STORMWATER--ENGINEERS PLANS PLUS ASSOCIATED SHEETS ATTACHED

**LEGEND**

- BOUNDARY LINE
- ADJACENT BOUNDARY
- WATER CONTROL LINE
- FENCE LINE
- TOP & 10% OF BANKS
- OVERHEAD POWER LINE
- UNDERGROUND WATER LINE (DB10)
- UNDERGROUND TELECOMMUNICATIONS LINE (DB10)
- UNDERGROUND SEWER LINE (DB10)
- UNDERGROUND GAS LINE (DB10)
- BENCH MARK
- POWER POLE
- WATER METER
- LETTER BOX
- spread diameter/depth/height/width diameter
- 50/100/10 PHOTOGRAPH LOCATION AND DIRECTION
- EXISTING TREE SHRUB TO BE RETAINED
- EXISTING TREE SHRUB TO BE REMOVED
- STRUCTURES TO BE REMOVED
- OVERLAND FLOW PATH
- PREVAILING WIND



**LANDSCAPE DESIGNER**

**JK's GARDEN CREATIONS**  
 P.O. BOX 168 GAN GAN RD  
 ANNA BAY, NSW, 2316

John A. Kime  
 Mob. 0412882966  
 email.gardent@1704@gmail.com  
 Member AILDM  
 Diploma in Horticulture Landscape Des. Cert. Ag

DATE	BY	AMENDMENT
9.7.21	MS	AMENDMENTS AS PER EMAIL & PLANS
30.8.21	MS	AMENDMENTS AS PER EMAIL & PLANS
6.9.21	MS	UPDATED STORM WATER ADDED AS PER EMAIL & PLANS RECEIVED 03.09.21

**CLIENT**  
 LINEFRONT Pty Ltd

**MULTI DWELLING**  
 LOT 6, SECTION D, DP 61  
 57a HENRY STREET  
 TIGHE'S HILL

**designs**

PO Box 601 Kotara  
 NSW 2289 Ph 49524425  
 Nominated Architect: Daniel Hadley 8209

DATE: 26/10/2020  
 DRAWN: Mishka  
 SCALES: 1:100 @ A1  
 1:200 @ A3  
 CHECKED: JK  
 SHEET: 1 OF 3  
 Site Analysis Plan



DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTS--STORMWATER--ENGINEERS PLANS PLUS ASSOCIATED SHEETS ATTACHED

**LEGEND**

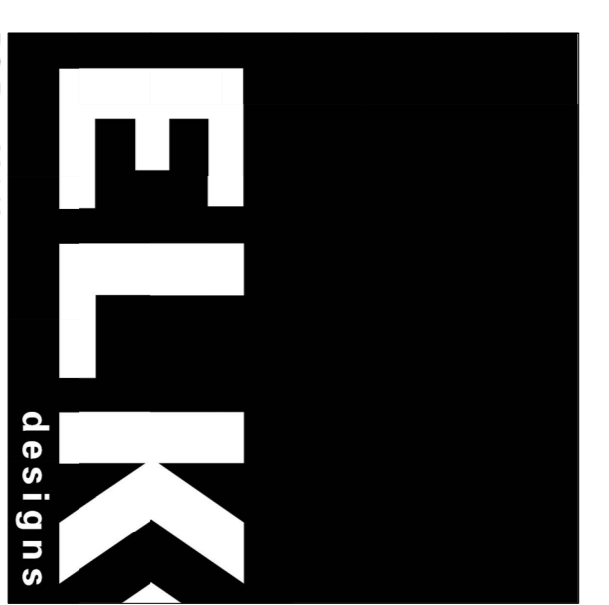
- CONCRETE PATHS & DRIVEWAY
- TURF - REFER TO SHEET 3 FOR DETAILS
- 100mm COMPACTED RHYOLITE TO SHADED AREAS - REFER TO SHEET 3 FOR DETAILS
- GARBAGE BINS
- CLOTHESLINE
- WATER TANKS
- 1.8M HIGH COLORBOND BOUNDARY FENCE
- 1.2M HIGH ALUMINIUM OPEN FENCE
- 1.2M HIGH BRICK FRONT BOUNDARY FENCE TO ARCHITECTURAL DETAIL
- EXTERNAL YARD TAP
- LETTERBOX
- DENOTES DESIGN SPOT LEVELS
- DENOTES RETAINING WALL TO ENGINEERS DETAILS
- 450 x 450 STEPPING PAVERS
- PRIVATE OPEN SPACE



DATE	BY	AMENDMENT
9.7.21	MS	AMENDMENTS AS PER EMAIL & PLANS DATED 02.07.2021
30.8.21	MS	AMENDMENTS AS PER EMAIL & PLANS DATED 25.08.2021
6.9.21	MS	UPDATED STORM WATER ADDED AS PER EMAIL & PLANS DATED 05.09.21

**LANDSCAPE DESIGNER**  
**JK'S GARDEN CREATIONS**  
 P.O. BOX 168 GAN GAN RD  
 ANNA BAY, NSW, 2316  
 John A. Kime  
 Mob. 0412582966  
 email.gardentoraz704@gmail.com  
 Member ALLDM  
 Diploma in Horticulture Landscape Dsn. Cert Ag

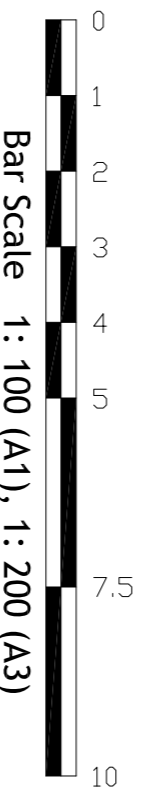
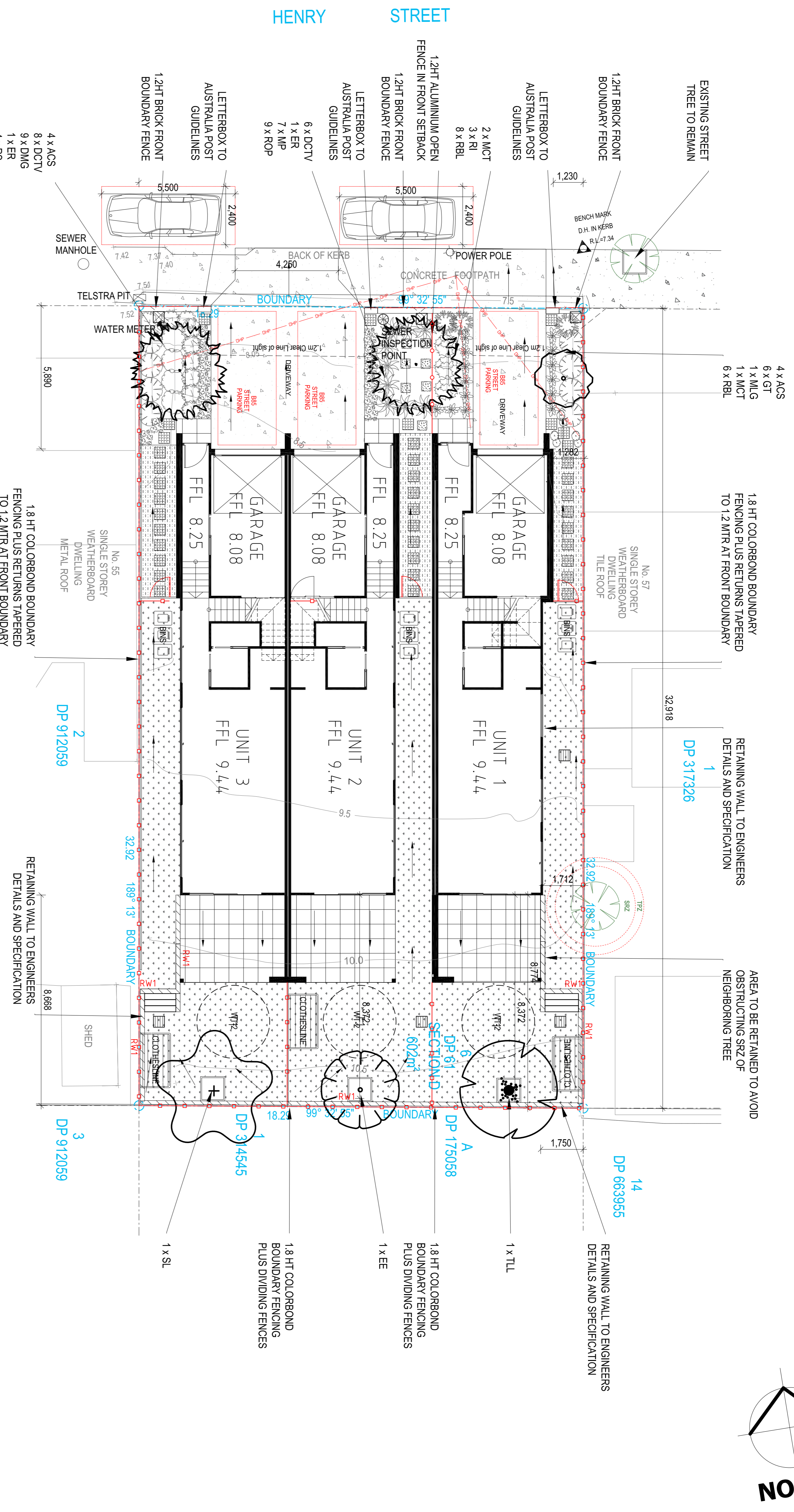
**CLIENT**  
**LINEFRONT Pty Ltd**  
 MULTI DWELLING  
 LOT 6, SECTION D, DP 61  
 57a HENRY STREET  
 TIGHES HILL



PO Box 601 Kotara  
 NSW 2289 Ph: 49524425  
 Nominated Architect: Daniel Hadley 8209

DATE	CHECKED
26/10/2020	JK
1:200 @ A3	JK

SHEET 2 OF 3  
 Landscape Plan  
 JOB No. LINE100920



Refer to ELK Site Coverage Plan for Landscape Calculations

**PLANT LEGEND**

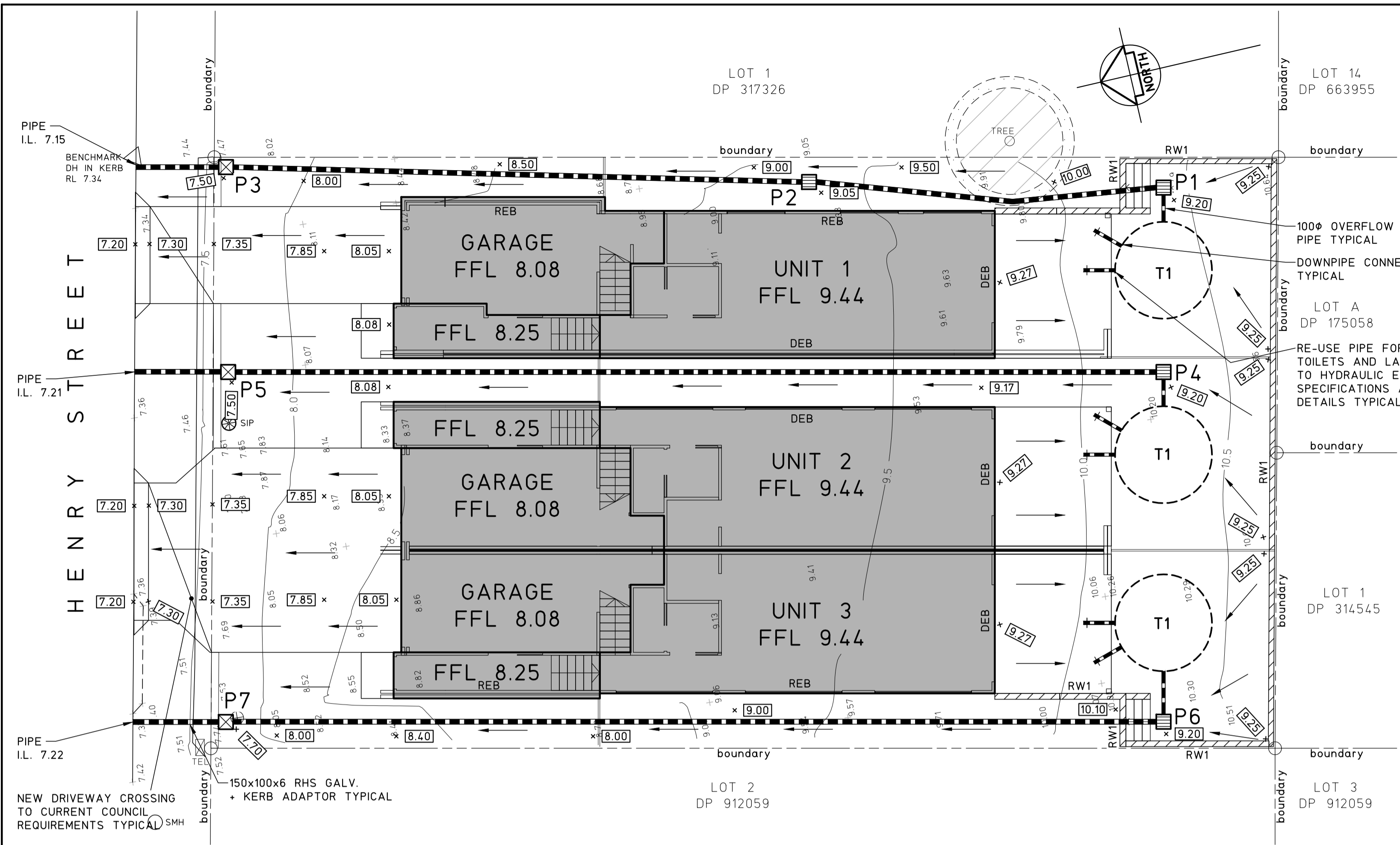
	ACS ACMENA CHERRY SURPRISE
	DCTV DIANELLA CAERULEA CTV
	DMG DURANTA MINI GOLD
	EE ELAEOCHARIS EUMUNDI
	ER ELEOCHARIS RETICULATUS
	GT GAZANIA TOMENTOSA
	MLG MAGNOLIA LITTLE GEM
	MCT MELALEUCA CLARET TOPS
	MP MYOPORUM PARVIFOLIUM
	RI RAPHIOLEPIS INTERMEDIA
	ROP RAPHIOLEPIS ORIENTAL PEARL
	RS RAPHIOLEPIS SPRINGTIME
	RBL ROSMARINUS BLUE LAGOON
	SL SYZYGIUM LEUHAMNI
	TLL TRISTANOPSIS LAURINA LUSCIOUS

**PLANT SCHEDULE**  
**TREES, SHRUBS & GROUNDCOVERS**

ID	Botanical Name	Common Name	Qty	Pot Size mm/ltr	Mature Size W x H mtrs
ACS	Acmena smithii 'Cherry Surprise'	Red tipped lilly pilli	8	200mm	2 x 2.5m
DCTV	Dianella caerulea cultivar	Cultivar flax lillies	14	200mm	.7 x .7m
DMG	Duranta mini gold		9	200mm	1 x 1m
EE	Eleocharis eumundi	Eumundi quongdong	1	25ltr	4 x 9m
ER	Eleocharis reticulatus	Blue berry ash	2	25ltr	5 x 9m
GT	Gazania tomentosa		6	200mm	G/cover
MLG	Magnolia grandiflora 'little gem'	Dwarf bullbay	1	25ltr	3 x 6m
MCT	Melaleuca claret tops	Dwarf red tipped snow in summer	3	200mm	1.5x1.5m
MP	Myoporum parvifolium	Creeping boobialla	7	200mm	G/cover
RI	Raphiolepis intermedia		3	200mm	1.5x1.5m
ROPW	Raphiolepis oriental pearl (white)		9	200mm	1 x 1m
RS	Raphiolepis 'Springtime'		4	200mm	1.2 x 1.2m
RBL	Rosmarinus blue lagoon	Dwarf rosemary	14	200mm	1 x .7m
SL	Syzygium leuhamni	Weeping lilly pilli	1	25ltr	6 x 9m
TLL	Tristanopsis laurina 'Luscious'	Water gum	1	25ltr	5 x 9m

ALL HEIGHTS ARE AVERAGE DEPENDENT ON SOIL, CLIMATE, MAINTENANCE, ETC.





**LEGEND**

- DENOTES 100Ø PIPE U.N.O.
- - - DENOTES EXISTING CONTOUR
- 7.38 DENOTES EXISTING LEVELS
- 7.85 \* DENOTES DESIGN SPOT LEVELS
- RW1 DENOTES RETAINING WALL
- REB DENOTES RETAINING EDGE BEAM TO BUILDING SLAB OR PAVEMENT
- DEB DENOTES DROPPED EDGE BEAM TO BUILDING SLAB OR PAVEMENT
- DENOTES DIRECTION OF SURFACE FLOWS
- T1 DENOTES 4000 LITRE UNDERGROUND WATER STORAGE TANK STORING ROOF RAINWATER TO MANUFACTURERS SPECIFICATION. TANK SHALL BE FITTED WITH A FIRST FLUSH SYSTEM, PUMP TO SUPPLY TOILETS AND LAUNDRY AND A DIVERSION SWITCH TO MAINS SUPPLY ON TANK BEING EMPTY. BACK FLOW PREVENTION TO MAINS WATER SHALL BE PROVIDED. TANK TO OVERFLOW TO STORMWATER SYSTEM.

**NOTE**  
SETOUT AND ALIGNMENT OF WALLS TO BOUNDARY TO ARCHITECTS DETAILS TYPICAL

**NOTE**  
ALL SETOUT, DIMENSIONS AND RL'S TO ARCHITECTS SPECIFICATION & DETAILS

**NOTE**  
ALL DOWNPIPES FROM EACH UNIT TO CONNECT TO EACH UNITS SLIMLINE ABOVE GROUND WATER STORAGE TANK TYPICAL

**NOTE**  
BUILDER TO PROVIDE ADEQUATE SHORING IN ORDER TO MAINTAIN STABILITY OF EXISTING NEIGHBOURING STRUCTURES AND FENCES DURING EXCAVATION WORKS TYPICAL

**NOTE**  
DRIVEWAY GRADES TO CURRENT COUNCIL REQUIREMENTS. BUILDER TO CONFIRM GRADES PRIOR TO CONSTRUCTION OF DRIVEWAY

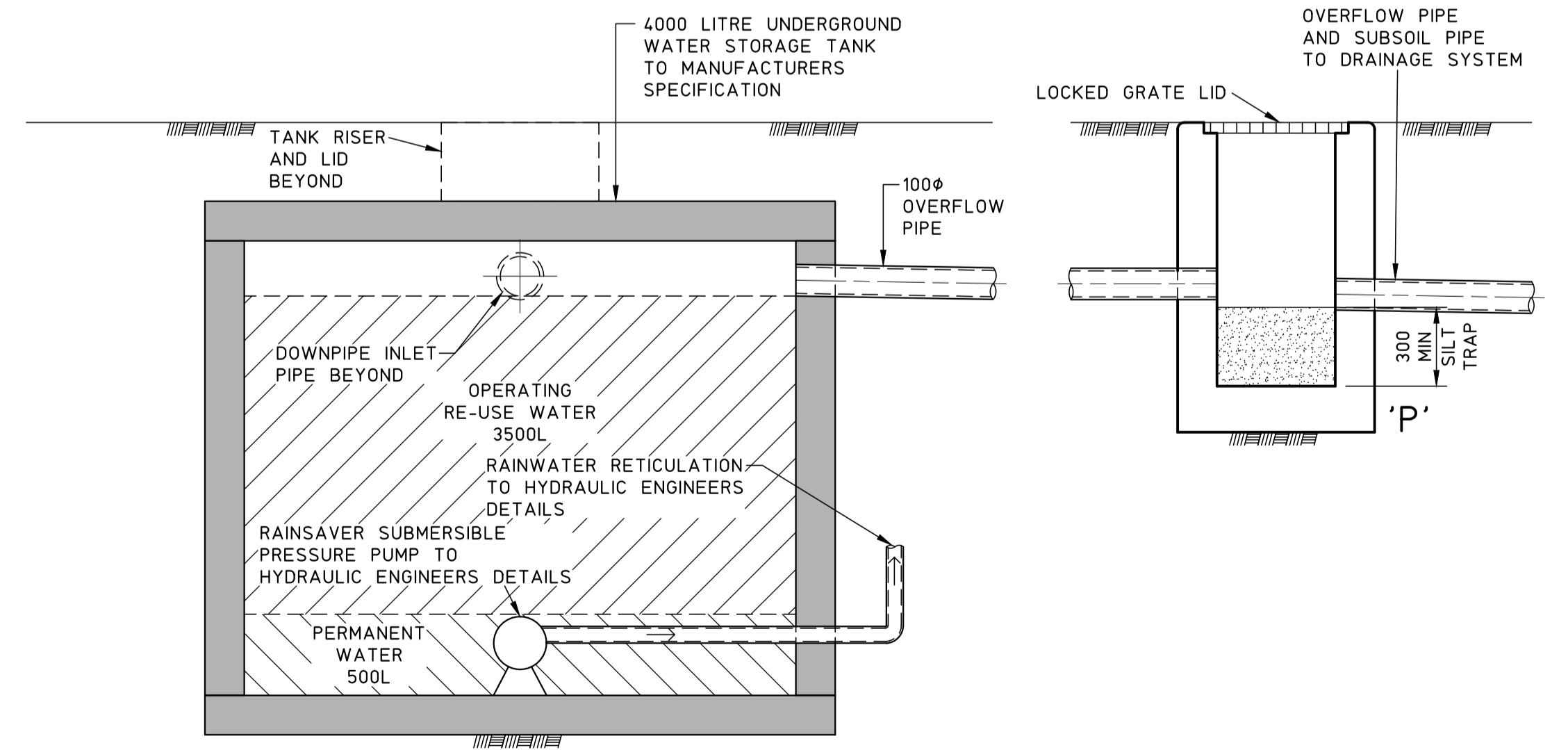
**NOTE**  
ALL STRIP DRAINS RETAINING WALLS (RW1) TO CONNECT TO STORMWATER SYSTEM TYPICAL

**STORMWATER PLAN**

- SCALE 1:100
- STORMWATER NOTES**
- ALL WORKS TO BE IN ACCORDANCE WITH AS3500.3
  - ALL PIPES TO HAVE A 1% MINIMUM FALL U.N.O.
  - ALL DOWNPIPES (DP) TO BE SPECIFIED BY ARCHITECT. FOR EXACT LOCATION OF DOWNPIPES, REFER TO ARCHITECTURAL DRAWINGS.
  - ALL PIPES TO BE UPVC U.N.O.
  - ALL UPVC PIPES TO BE SEWER GRADE AND TO AS1260.
  - ALL REINFORCED CONCRETE PIPES (RCP) TO BE SPIGOT AND SOCKET TYPE WITH RUBBER RINGS CLASS 2 TO AS4058.
  - PITS TO BE C18 REINFORCED PRE-CAST CONCRETE PITS OR EQUIVALENT PROPRIETARY PITS.
  - ALL LIDS AND GRATES TO BE PROPRIETARY HEAVY DUTY IN AREAS OF VEHICULAR TRAFFIC, LIGHT DUTY ELSEWHERE, IN ACCORDANCE WITH AS3996.
  - MINIMUM COVER TO STORMWATER PIPES TO BE AS FOLLOW U.N.O.  
TRAFFICABLE AREAS - 450mm, LANDSCAPED AREAS - 300mm.
  - PIPES TO BE CONCRETE ENCASED IF MINIMUM COVERS CANNOT BE OBTAINED IN TRAFFICABLE AREAS, REFER TO CLAUSE 3.8 AS3500.3. ALTERNATIVELY USE UPVC SEWER GRADE PIPES UNDER ROAD AND BUILDINGS.
  - PROVIDE 100Ø AG DRAINS IN FILTER SOCKS TO ALL LANDSCAPED AREAS, PLANTER BEDS AND STORMWATER PIPE TRENCHES.  
ALL AG DRAINS TO BE BEDDED IN COARSE AGGREGATE AND TO BE CONNECTED TO STORMWATER SYSTEM.
  - ALL PITS, DETENTION TANKS AND PROPRIETARY POLLUTION CONTROL DEVICES TO BE CLEANED OF SEDIMENT AT 3 MONTH MAXIMUM INTERVALS.
  - ALL EXISTING SERVICES TO BE LOCATED PRIOR TO COMMENCEMENT OF WORK.
  - ANY FOOTPATHS, KERB AND GUTTER OR ROADWAY DISTURBED BY WORKS TO BE REINSTATED TO CURRENT COUNCIL REQUIREMENTS.
  - PROVIDE ACCESS LADDER TO TANK AS REQUIRED, REFER TO AS1657.

PIT SCHEDULE				
PIT No.	SIZE	TYPE	SURFACE LEVEL S.L.	INVERT LEVEL I.L.
P1	450x450	GRATED PIT	9.20	8.80 (PIPE I.L)
P2	450x450	GRATED PIT	9.05	8.65
P3	450x450	GRATED PIT	7.50	7.23
P4	450x450	GRATED PIT	9.20	8.80 (PIPE I.L)
P5	450x450	GRATED PIT	7.50	7.26
P6	450x450	GRATED PIT	9.20	8.80 (PIPE I.L)
P7	450x450	GRATED PIT	7.70	7.27

**NOT FOR CONSTRUCTION**



**TYPICAL TANK (T1) DETAIL**  
SCALE 1:20

<p>© Copyright MPC Consulting Engineers as date of issue</p> <p><b>THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ENDORSED BELOW</b></p>		<p>COPYRIGHT</p> <p>The concepts and information contained in this document are the copyright of MPC Consulting Engineers. Use or copying of the document in whole or in part without the written permission of MPC Consulting Engineers constitutes an infringement of copyright.</p>		<p>CLIENT</p> <p><b>LINEFRONT PTY LTD</b></p>		<p>PROJECT</p> <p><b>PROPOSED MULTI-DWELLING AT; LOT 6, DP 61, SEC. D No.57A HENRY STREET, TIGHES HILL</b></p>		<p><b>DO NOT SCALE DRAWING</b></p> <table border="1"> <tr> <td>DRAWN L.C.</td> <td>ENGINEER P.M.</td> <td>No in SET 1</td> <td>SHEET A1</td> </tr> <tr> <td>SCALES 1:100, 20</td> <td>JOB No 210151</td> <td>DRAWING No C01</td> <td>ISSUE 2</td> </tr> </table>				DRAWN L.C.	ENGINEER P.M.	No in SET 1	SHEET A1	SCALES 1:100, 20	JOB No 210151	DRAWING No C01	ISSUE 2
DRAWN L.C.	ENGINEER P.M.	No in SET 1	SHEET A1																
SCALES 1:100, 20	JOB No 210151	DRAWING No C01	ISSUE 2																
2	REVISED DEVELOPMENT APPLICATION	3.9.21																	
1	REVISED DEVELOPMENT APPLICATION	6.7.21																	
0	DEVELOPMENT APPLICATION	22.10.20																	
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE	ISSUE														



**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 16/11/21 - 57A Henry Street Tighes Hill - DA2020/01328 - Multi Dwelling housing – demolition of existing structures, erection of three storey dwellings and 1 into 3 lot subdivision.**

**ITEM-22      Attachment B:      Draft Schedule of Conditions**

**DISTRIBUTED UNDER SEPARATE COVER**





<b>Application No:</b>	DA2020/01328
<b>Land:</b>	Lot 6 Sec D DP 61
<b>Property Address:</b>	57A Henry Street Tighes Hill, NSW 2297
<b>Proposed Development:</b>	Multi dwelling housing - demolition of existing structures, erection of three two storey dwellings and one into three lot subdivision

### SCHEDULE 1

#### APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Demolition Plan	DA020 Issue B	ELK Designs	20/10/2021
Site Plan	DA030 Issue J	ELK Designs	20/10/2021
Ground Floor Plan	DA100 Issue J	ELK Designs	20/10/2021
First Floor Plan	DA110 Issue I	ELK Designs	20/10/2021
Roof Plan	DA150 Issue E	ELK Designs	20/10/2021
Elevations (North & Dwelling 1 East)	DA300 Issue H	ELK Designs	20/10/2021
Elevations (South & Dwelling 3 West)	DA301 Issue I	ELK Designs	20/10/2021
Elevations (Dwelling 3 East & Dwelling 2 West)	DA302 Issue G	ELK Designs	20/10/2021
External Finishes	DA350 Issue E	ELK Designs	20/10/2021
Sections	DA400 Issue G	ELK Designs	20/10/2021
Sediment & Erosion Control	DA960 Issue B	ELK Designs	20/10/2021
Landscape Plan	Sheet 2 of 3	JK'sGarden Creations	26/10/2020
Landscape Specification Plan	Sheet 3 of 3	JK'sGarden Creations	26/10/2020
Draft Plan of Subdivision	Sheet 1 of 1	Timothy R. Rheinberger	19.10.2021
Stormwater Management Plan	Drg. C01 issue 2 Sheet A1	MPC Consulting Engineers	3/09/2021
BASIX Certificate	No. 1141310M_02	Evergreen Energy Consultants Pty Ltd	07/09/2021
Arborist Report	57a Henry Street, Tighes Hill	Abacus Tree Services	29/09/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

## CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. A total monetary contribution of \$9,000.00 is to be paid to the City of Newcastle, pursuant to Section 7.12 of the *Environmental Planning and Assessment Act 1979*, such contribution to be payable prior to the issue of a Construction Certificate in respect of the proposed development.

Note:

- i) This condition is imposed in accordance with the provisions of the City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019*.
- ii) The City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019* permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement.
- iii) The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and, as a guide, these approximate dates are as follows:

Indexation quarters	Approximate release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

3. Roof water from the proposed new work is to be directed to the proposed water tanks with a minimum capacity of 4,000 litres per dwelling and being reticulated to any new toilet cisterns and cold-water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tanks and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
4. Overflows from the roof water tank and any additional discharge controls (if required) are to be directed to City of Newcastle's drainage system by means of an interallotment drainage line or underground pipe directly to the street gutter. Details are to be included in documentation for a Construction Certificate application.
5. All new impervious surfaces, including driveways and paved areas are to be drained to the nominated discharge controls. Details are to be included in documentation for a

Construction Certificate application.

6. All proposed planting and landscape elements indicated on the submitted landscape concept plan or otherwise required by the conditions of this consent are to be detailed on a comprehensive landscape plan and specification. The plan and specification are to be prepared in accordance with the provisions of Newcastle Development Control Plan 2012 and is to include details of the following:
  - a) cross sections through the site
  - b) proposed contours or spot levels
  - c) botanical names
  - d) quantities and container size of all proposed trees
  - e) shrubs and ground cover
  - f) details of proposed soil preparation
  - g) mulching and staking
  - h) treatment of external surfaces and retaining walls where proposed
  - i) drainage, location of taps and
  - j) maintenance periods.

The plan and specification are to be prepared by a qualified landscape designer and be included in documentation for a Construction Certificate application.

7. The applicant is to comply with all requirements of the Hunter Water Corporation regarding the connection of water supply and sewerage services, including the payment of any required cash contribution towards necessary amplification of service mains in the locality as a result of the increased intensity of land use proposed. A copy of the Corporation's compliance certificate (refer Section 50 *Hunter Water Act 1991*) is to be included in documentation for a Construction Certificate application.
8. Facilities are to be provided within the proposed individual private courtyards, or in another screened location, for the storage of garbage. Full details are to be included in documentation for a Construction Certificate application.
9. Erosion and sediment control measures are to be implemented prior to the commencement of works and be maintained during the period of construction in accordance with the details set out on an Erosion and Sediment Control Plan that is to be submitted for approval with the Construction Certificate application. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
10. A residential vehicular crossing is to be constructed across the road reserve to each dwelling, in accordance with the following criteria:
  - a) Constructed in accordance with City of Newcastle's A1300 - Driveway Crossings Standard Design Details.
  - b) The driveway crossing, within the road reserve, is to be a maximum of 3m wide.
  - c) Letterboxes, landscaping and any other obstructions to visibility are to be kept clear of or limited in height to 1.2m, in the 2.0m by 2.5m splay within the property boundary, each side of the driveway entrance.



- d) The proposed driveway is to be a minimum of 3.0m clear of the trunk of any tree within the road reserve.
- e) The proposed driveway is to be a minimum of 750mm clear of the centre of any pole or obstruction within the road reserve and 1.0m clear of any drainage pit.

These works are not approved until consent under Section 138 of the *Roads Act 1993* has been granted by the City of Newcastle.

- 11. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993*. The consent is to be obtained, or other satisfactory arrangements confirmed in writing from the City of Newcastle, before the issue of a Construction Certificate.
- 12. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Element 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012, the associated Technical Manual and *AS/NZS 3500.3 Plumbing and drainage Part 3 Stormwater drainage*, as indicated on the stormwater management concept plan prepared by MPC Consulting Engineers (Job. No. 210152, Drg. No. C01, dated 3/09/2021) Details are to be included in documentation for a Construction Certificate application.

#### **CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE**

- 13. A Registered Surveyor's certificate detailing the setting out of the proposed building on the site, including the relationship of the set out building to property boundaries, is to be submitted to the Principal Certifier before construction is commenced.
- 14. A survey certificate prepared by a Registered Surveyor is to be submitted to the Principal Certifier upon completion of the floor slab formwork, before concrete is poured, to verify that the siting of the building in relation to adjacent boundaries is in accordance with the development consent.
- 15. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifier on completion of the retaining wall construction, confirming that the location of the wall/walls is consistent with the approved location.
- 16. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifier on completion of the retaining wall construction, verifying that finished levels are consistent with the approved levels.
- 17. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
  - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
  - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
- 18. Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.

19. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the City of Newcastle and to the demolisher prior to commencement of work.
20. Demolition works are to be undertaken in accordance with *Australian Standard 2601:2001 - The Demolition of Structures* and the following requirements:
- a) Demolition works are to be conducted in accordance with the submitted Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan is to be kept on site for the duration of the proposed development;
  - b) The removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the required class of Asbestos Licence, issued by SafeWork NSW;
  - c) A copy of all waste disposal receipts are to be kept on site for the duration of the proposed development and made available to authorised City of Newcastle officers upon request;
  - d) Seven working days' notice in writing is to be given to the City of Newcastle and the owners/occupiers of neighbouring premises prior to the commencement of any demolition work. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises is also to include City of Newcastle's contact telephone number (4974 2000) and the SafeWork NSW telephone number (4921 2900); and
  - e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
21. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
22. Any waste containers used in association with the proposed demolition are to be located on the site where possible.
- Note: Where this is not feasible, an application is to be made for the City of Newcastle's approval to position the container on the adjacent public road in accordance with City of Newcastle's adopted Building Waste Container Policy.
23. All demolition material incapable of being re-used in future redevelopment of the site is to be removed from the site and the site being cleared and levelled.
- Note: Where reusable building materials are to be stored on site for use in future building works, such materials are to be neatly stacked at least 150 mm above the ground.
24. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
25. Waste management is to be implemented in accordance with the approved Waste

Management Plan. At a minimum, the following measures are to be implemented during the construction phase:

- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
- c) Provision is to be made to prevent windblown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

26. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
  - a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
  - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
  - c) stating that unauthorised entry to the work site is prohibited, and
  - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

27. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
28. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
29. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
30. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
  - Monday to Friday, 7:00 am to 6:00 pm and
  - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

31. City of Newcastle's 'Prevent Pollution' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

32. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of Managing Urban Stormwater: Soils and Construction 4<sup>th</sup> Edition - Vol. 1 (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
33. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
34. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

35. All building work is to be carried out in accordance with the provisions of the National Construction Code.
36. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
37. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil are to be provided. Any proposed paving works within the Henry Street public footway are to be in accordance with City of Newcastle's specification (Form PLE/SO09).

Note: It will be necessary for the developer to notify water, telecommunications, gas and electricity authorities of the proposed paving works, before such works are commenced, in order to enable the various authorities to carry out and complete any necessary repairs and/or amplification to their respective services.

38. All roof and surface waters are to be conveyed to the street gutter by way of a sealed pipe system, extending through the footway to City of Newcastle requirements, in accordance with Element 7.06 'Stormwater' of Newcastle Development Control Plan 2012.
39. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.
40. All necessary measures are to be undertaken to control dust pollution from the site. These measures are to include, but are not limited to:

- a) Restricting topsoil removal;
- b) Regularly and lightly watering dust prone areas (note: prevent excess watering as it can cause damage and erosion);
- c) Alter or cease construction work during periods of high wind; and
- d) Erect green or black shadecloth mesh or similar products 1.8m high around the perimeter of the site and around every level of the building under construction.

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE**

- 41. Any redundant existing vehicular crossing is to be removed at no cost to the City of Newcastle. The road reserve and kerb is to be restored to the City of Newcastle's satisfaction. Works are to be completed prior to the issuing of an Occupation Certificate for the proposed development.
- 42. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
- 43. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the City of Newcastle with Occupation Certificate documentation.
- 44. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.
- 45. A Landscape Practical Completion Report is to be submitted to the Principal Certifier prior to the issue of an Occupation Certificate. The report is to verify that all landscape works have been carried out in accordance with the comprehensive landscape design plan and specifications that were required to be included in documentation for a Construction Certificate application and is to verify that an effective maintenance program has been commenced.
- 46. The premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage.  
  
The minimum numeral height is to be 75mm.
- 47. An application is to be made for a Subdivision Certificate. The application is to be supported by a survey plan of subdivision, the Administration Sheet and a Section 50 Certificate from the Hunter Water Corporation.
- 48. An instrument under Section 88B of the *Conveyancing Act 1919*, setting out the terms of easements as required by this consent, along with related notations on the plan of subdivision, are to be submitted to the City of Newcastle for certification. The City of Newcastle is to be identified as a party whose consent is required to release, vary or modify easements.

49. Written evidence of arrangements having been made with the Hunter Water Corporation for the provision of water supply and sewerage and with the electricity authority for the provision of overhead or underground electricity supply is to be submitted to the Principal Certifier prior to the issue of a Subdivision Certificate.
50. Written evidence of arrangements having been made with the telecommunications authority for the provision of underground telecommunications services to the lots is to be submitted to the Principal Certifier prior to the issue of a Subdivision Certificate.
51. The approved multi dwelling housing development on the site is to be completed to at least lock-up stage prior to the issue of the Subdivision Certificate.

Lock-up stage is taken to mean the stage at which a building's external wall cladding and roof covering is fixed and external doors and windows are fixed (even if those doors and windows are only temporary).

### CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

52. A Landscape Establishment Report is to be submitted to the City of Newcastle following completion of a three month maintenance period, verifying that satisfactory maintenance of the landscape works has been undertaken and any necessary rectification measures have been carried out.
53. The premise/s is/are allocated the following street address/es in accordance with City of Newcastle's *House Numbering Policy* and the *Surveying and Spatial Regulation*.

City of Newcastle allocated street address/es					
Unit/ dwelling number on plan	Unit	Street number	Street name	Street type	Suburb
1	3	57A	Henry	Street	Tighes Hill
2	2	57A	Henry	Street	Tighes Hill
3	1	57A	Henry	Street	Tighes Hill

### ADVISORY MATTERS

- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the

*Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- An application is to be submitted to the City of Newcastle for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
  - a) A Construction Certificate is to be obtained; and
  - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
  - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.

**END OF CONDITIONS**

## SCHEDULE 2

### REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.

### REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 16/11/21 - 57A Henry Street Tighes Hill - DA2020/01328 - Multi Dwelling housing – demolition of existing structures, erection of three storey dwellings and 1 into 3 lot subdivision.**

**ITEM-22      Attachment C:      Processing Chronology**

**DISTRIBUTED UNDER SEPARATE COVER**



**PROCESSING CHRONOLOGY**

**DA2020/01328 - 57A Henry Street Tighes Hill**

18 November 2020	Application lodged
23 November 2020 - 7 December 2020	Public notification
14 December 2020	Additional information requested
14 January 2021	Amended shadow plans submitted
9 February 2021	Additional information requested
19 March 2021	Amended information submitted
6 April 2021	Amended information submitted
13 April - 27 April 2021	Public notification of amended plans
7 May 2021	Amended plans submitted
23 May 2021	Application called into Council
15 July 2021	Public Voice Committee Meeting
19 July 2021	Amended Documentation and Response to PV
7 September 2021	Character Analysis & Amended Documentation