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**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**PV 15/02/22 – 335 Lambton Road New Lambton – DA2021/00959  
Multi dwelling housing - includes one into four lot subdivision and  
demolition of existing structures**

**PAGE 3      ITEM-1      Attachment A:      Submitted Plans**

**DISTRIBUTED UNDER SEPARATE COVER**





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**PV 15/02/22 – 335 Lambton Road New Lambton – DA2021/00959  
Multi dwelling housing - includes one into four lot subdivision and  
demolition of existing structures**

**ITEM - 1      Attachment A:      Submitted Plans**

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# DEVELOPMENT APPLICATION 20151

Multi Dwelling - 335 Lambton Road, New Lambton

Lambton Road Developments PTY LTD

## SCHEDULE OF DRAWINGS

DA000	COVER PAGE
DA010	SITE ANALYSIS PLAN
DA020	DEMOLITION PLAN
DA030	SITE PLAN
DA035	SITE COVERAGE PLAN
DA040	PERSPECTIVES
DA100	GROUND FLOOR
DA110	FIRST FLOOR
DA150	ROOF PLAN
DA300	ELEVATIONS
DA301	ELEVATIONS
DA350	EXTERNAL FINISHES
DA400	SECTIONS
DA900	EXTERNAL SHADOW DIAGRAMS
DA901	EXTERNAL SHADOW DIAGRAMS
DA902	NEIGHBOURING DWELLING SHADOW DIAGRAMS
DA960	SEDIMENT CONTROL



SUBJECT SITE



SITE LOCATION

Survey By: Positive Survey Solutions  
Ref: 21143 Date: 17.12.2020

DMN Assessor #16/1742	16 <sup>th</sup> July 2021	Reference: 258/2021	
Evergreen Energy Consultants			
Email address: <a href="mailto:enquiries@evergreeneec.com.au">enquiries@evergreeneec.com.au</a>	Ph: 1300 584 010		
<b>Important Note for Development Applicants:</b>			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If they vary from drawings or other specifications this Specification shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.			
Once the development is approved by the consent authority, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, the proposed construction varies to those detailed or need further information, please contact Evergreen Energy Consultants.			
This assessment has assumed that the BCA provisions for building sealing will be complied with at construction.			
<b>Thermal Performance Specifications</b>			
<b>External Wall Construction</b>	Insulation	Colour (Solar Absorbance)	Detail
Brick Veneer	Anti-glare foil with bulk R2.5	Medium	
Fibro Cavity Panel Direct Fix	Anti-glare foil with bulk R2.5	Medium and Dark	
<b>Internal Wall Construction</b>	Insulation	Detail	
Cavity wall, direct fix plasterboard, single gap	None		
Cavity wall, direct fix plasterboard, single gap	Bulk insulation R2.5	Internal walls adjoining garage	
Party Walls – Shaft Liner	Bulk insulation both sides R2.5		
<b>Ceiling Construction</b>	Insulation	Detail	
Plasterboard with Timber	Bulk insulation R4.0	External ceilings	
Timber above Plasterboard	None	Internal ceilings	
<b>Roof Construction</b>	Insulation	Colour (Solar Absorbance)	Detail
Corrugated Iron	Bulk, reflective side down, no air gap above R1.3	Monument – 0.73	1°, 2°, 3°, 5° & 10° Pitch
<b>Floor Construction</b>	Insulation	Covering	
175mm Waffle Pod Slab	None	Carpet, Tiles and Bare	
Suspended Timber Floor	None	Carpet and Tiles	
<b>Windows</b>	Glass and frame type	U Value	SHGC Area m2
ALM-001-03 A Aluminium framed			
Group A Windows Single Glazed High Solar Gain Low-E	5.40	0.49	
ALM-002-03 A Aluminium framed			
Group B Windows Single Glazed High Solar Gain Low-E	5.40	0.58	
Skylights – Velux U-Value 2.50, SHGC 0.21			
All Group A windows are Awning, Bifold, Casement, Tilt 'n' Turn, Entry, French & Hinged windows and doors. All Group B windows are Double Hung, Louvre, Fixed, Sliding & Stacker windows and doors.			
U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 5% higher or lower than the above figures.			
<b>Fixed shading – Eaves</b>	Width includes guttering, offset is distance above windows		
As drawn	Nominal only, refer to plan for detail		
<b>Fixed shading – Other</b>	Verandah to certain units only		
Shaded areas and shade devices as drawn, adjoining buildings and boundary fences			
<b>For construction in NSW the BCA Vol 1 or 2 must be complied with, in particular the following:</b>			
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1			
- Thermal breaks in accordance with Section J1.3(d) & 1.5(c) or Part 3.12.1.2(c) & 3.12.1.4(b)			
- Compensating for loss of ceiling insulation in accordance with Section J1.3(c) or Part 3.12.1.2(e)			
- Floor insulation in accordance with Section J1.6(c) & (d) or Part 3.12.1.5(a)(iii) or (c) & (d)			
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6			

<b>335 Lambton Road, New Lambton</b>				
SUMMARY OF BASIX COMMITMENTS				
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details.				
<b>WATER COMMITMENTS</b>				
Fixtures				
Alternative Water – Rainwater Tank Size 4,000(L) Tank/Unit Connected To:				
Laundry W/M Cold Tap	One Outdoor Tap	All toilets		
Fixtures				
3 Star Shower Heads	3 Star Toilet	3 Star Kitchen Taps	3 Star Basin Taps	
<b>THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans</b>				
<b>ENERGY COMMITMENTS</b>				
Hot Water	Gas instantaneous 6 star			
Cooling System	Living	1-phase air conditioning EER 3.0-3.5 (zoned)		
	Bedrooms	1-phase air conditioning EER 3.0-3.5 (zoned)		
Heating System	Living	1-phase air conditioning EER 3.0-3.5 (zoned)		
	Bedrooms	1-phase air conditioning EER 3.0-3.5 (zoned)		
Ventilation	Bathroom	Individual fan, not ducted	Manual on/off	
	Kitchen	Individual fan, not ducted	Manual on/off	
	Laundry	Individual fan, not ducted	Manual on/off	
Natural Lighting	Window/Skylight in Kitchen	As Drawn		
	Window/Skylight in Bathrooms/Toilets	As Drawn		
Artificial Lighting (Primarily lit by fluoro or LED)	Number of bedrooms	All	Dedicated	Yes
	Number of Living/Dining rooms	All	Dedicated	Yes
	Kitchen	Yes	Dedicated	Yes
	All Bathrooms/Toilets	Yes	Dedicated	Yes
	Laundry	Yes	Dedicated	Yes
	All Hallways	Yes	Dedicated	Yes
<b>OTHER COMMITMENTS</b>				
Outdoor clothes line	Yes	Indoor or sheltered clothes drying line	No	
Stove/Oven	Gas cooktop, electric oven			
Other	"Well ventilated" refrigerator space			
	Ceiling fans to be installed – Refer to NatHERS certificates for locations			



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PO Box 601 Kolaria  
NSW 2289 Ph 49524425  
Nominated Architect: Daniel Hadley 8209  
**Notes**  
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Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.  
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Issue	Description	Date
P1	For Review	17/02/2021
P2	For Information	19/05/2021
P3	Consultant Issue	16/06/2021
P4	For Review	28/06/2021
P5	Consultant Issue	30/06/2021
P6	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

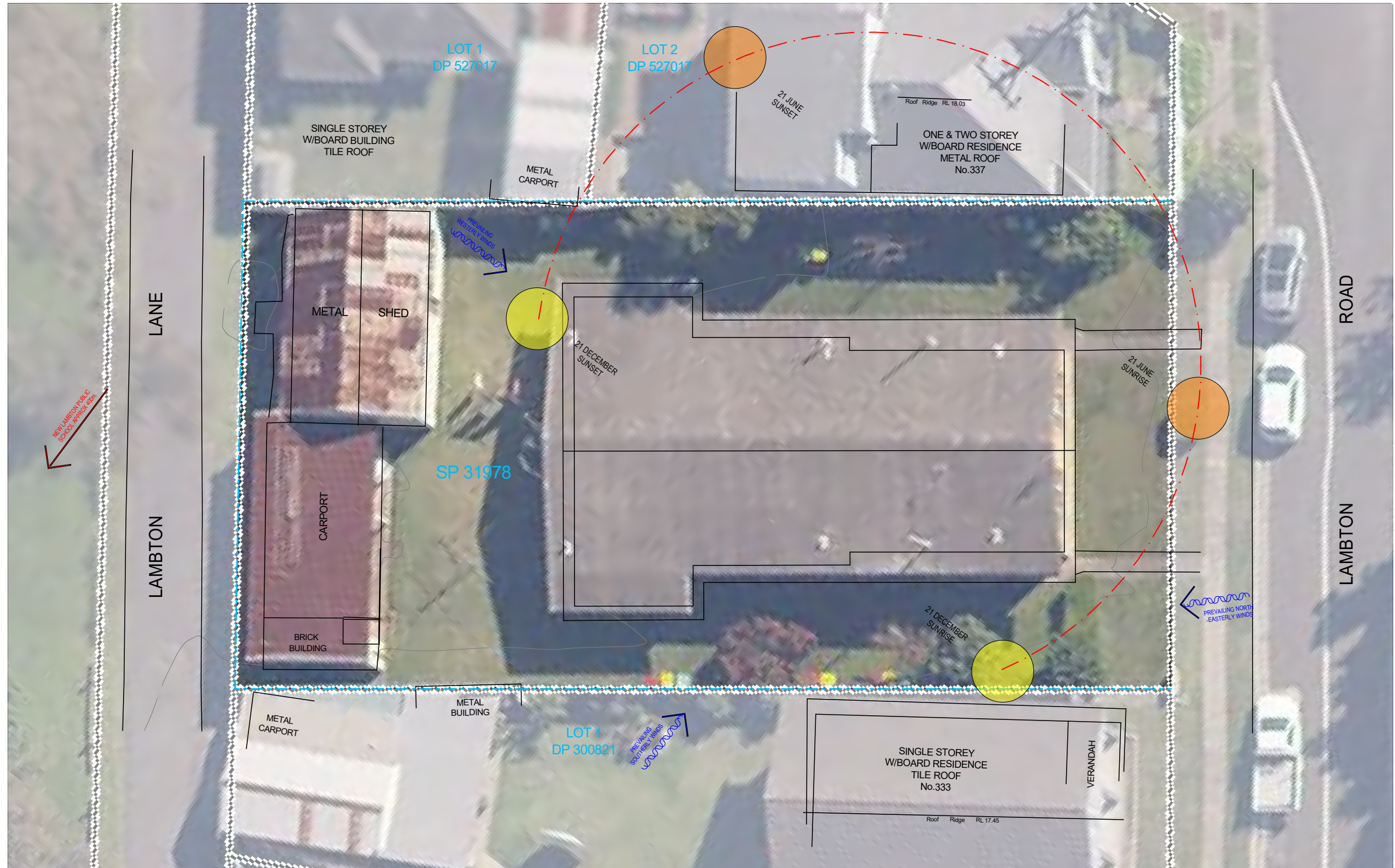
Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**COVER PAGE**  
Scale  
**@ A3**  
DRAWN  
**JG**  
QA CHECKED  
**SV**

Drawing Number  
**DA000**  
Issue  
**A**  
Project Number  
**20151**







**Summary of planning controls**

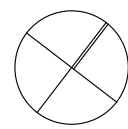
Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Newcastle Local Environmental Plan 2012 (pub. 30-5-2014)
Land Zoning	R2 - Low Density Residential: (pub. 15-6-2012)
Height Of Building	8.5 m
Floor Space Ratio	0.6:1
Minimum Lot Size	400 m <sup>2</sup>
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Acid Sulfate Soils	Class 5



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A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**




Drawing  
**SITE ANALYSIS PLAN**  
Scale  
**@ A3**  
DRAWN  
**JG**  
QA CHECKED  
**SV**

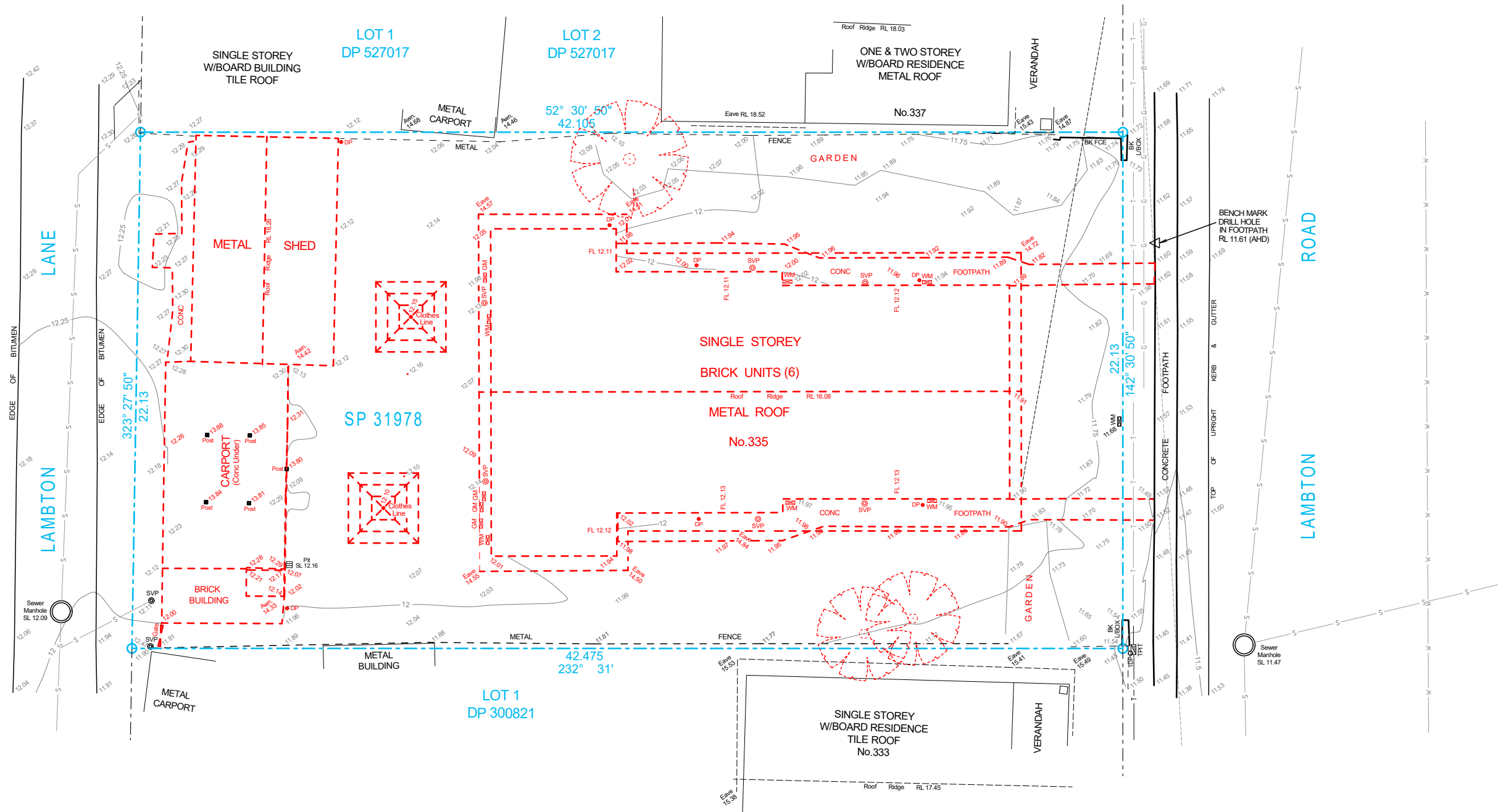
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Issue  
**A**  
Project Number  
**20151**





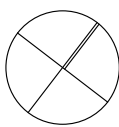
DEMOLITION LEGEND

-  EXISTING TREE TO BE DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  TO BE DEMOLISHED



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Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**DEMOLITION PLAN**  
Scale  
1:200 @ A3  
DRAWN  
**JG**  
QA CHECKED  
**SV**

Drawing Number  
**DA020**

Issue  
**A**

Project Number  
**20151**



AREA CALCULATION (m2)	
DEEP SOIL	141
DRIVEWAY	213
LANDSCAPING	280
Proposed Lot 1	208
Proposed Lot 2	208
Proposed Lot 3	259
Proposed Lot 4	261

AREAS	
SITE AREA	936m <sup>2</sup>
FLOOR SPACE RATIO (MAX 0.60)	0.65
TOTAL GFA	611m <sup>2</sup>
LANDSCAPE	280m <sup>2</sup>
DEEP SOIL	141m <sup>2</sup>
	15%



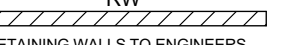


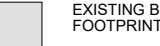
UNIT 01	
FIRST FLOOR	88
GARAGE	17
GROUND FLOOR	62

UNIT 02	
FIRST FLOOR	87
GARAGE	17
GROUND FLOOR	62

UNIT 03	
FIRST FLOOR	78
GARAGE	18
GROUND FLOOR	78

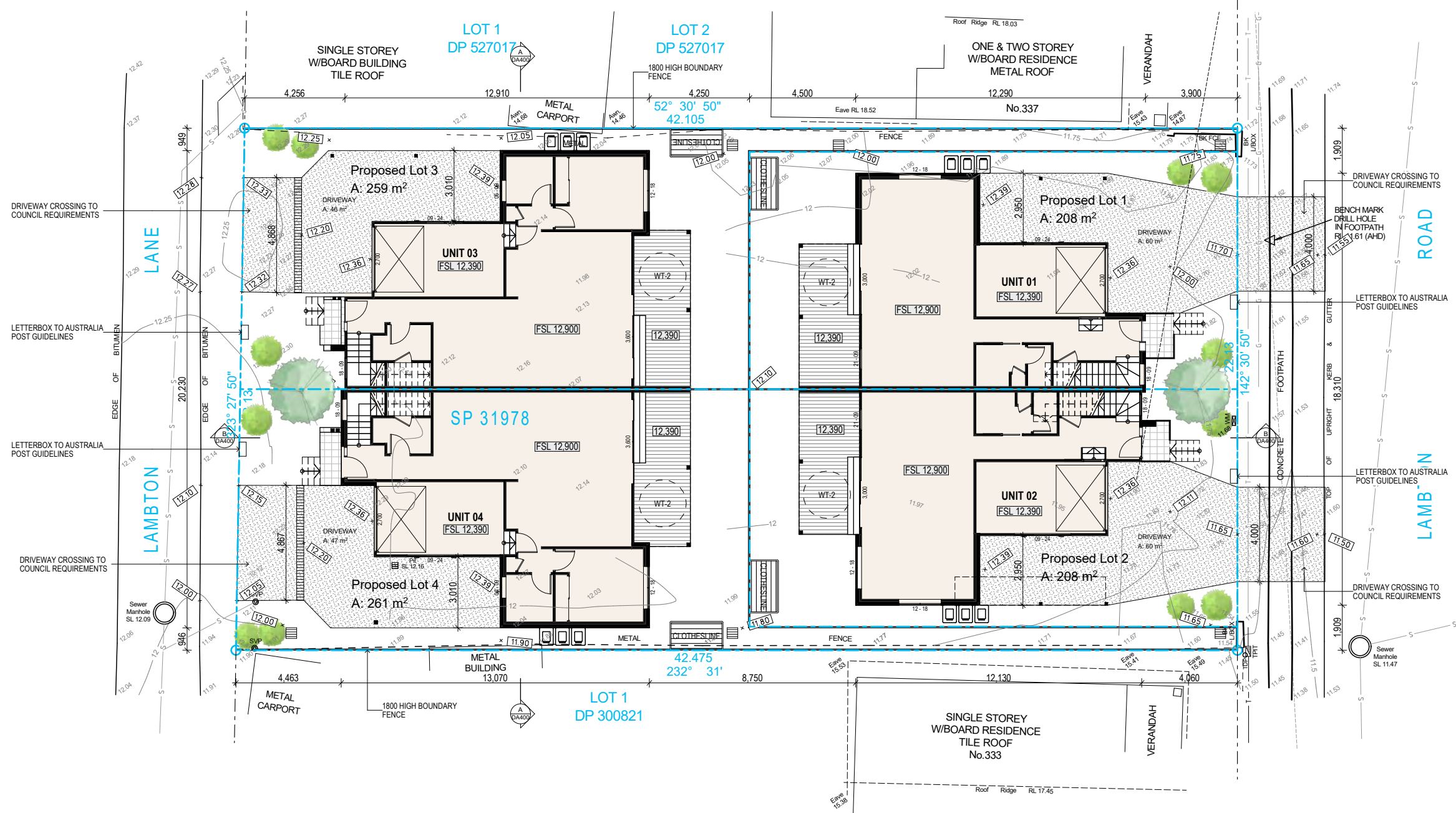
UNIT 04	
FIRST FLOOR	78
GARAGE	17
GROUND FLOOR	78

**SITE LEGEND**

-  4,000 LITRE ABOVE GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
-  4,000 LITRE UNDER GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
-  RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS
-  EXISTING TREE TO BE RETAINED
-  PROPOSED BUILDING FOOTPRINT
-  EXISTING BUILDING FOOTPRINT

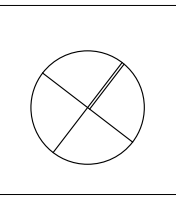
**SITE NOTES**

1. GFA (GROSS FLOOR AREA) AS DEFINED BY THE LOCAL COUNCIL
2. PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPIPES TO BE CONFIRMED BY HYDRAULIC ENGINEER OR BUILDER.
5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION



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P4	For Review	27/04/2021
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P7	For Review	28/06/2021
P8	Consultant Issue	30/06/2021
P9	Hunter Water Issue	9/07/2021
P10	Consultant Issue	12/07/2021
A	Development Application	16/07/2021







Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**SITE PLAN**  
Scale  
1:200 @ A3  
DRAWN  
**JG**  
QA CHECKED  
**SV**

Drawing Number  
**DA030**  
Issue  
**A**  
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**20151**  


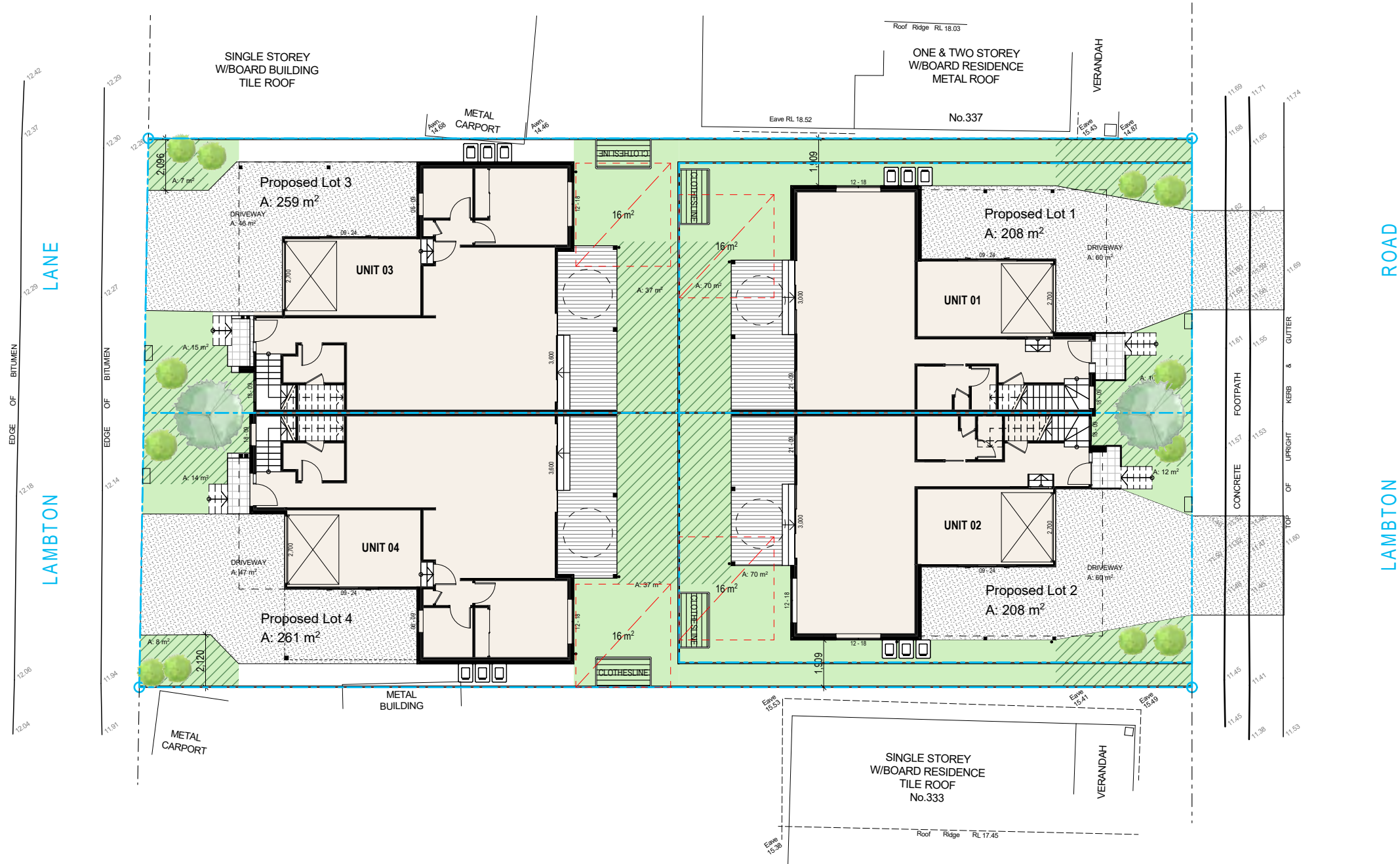


**SITE COVERAGE LEGEND**

-  PROPOSED BUILDING FOOTPRINT
-  EXISTING BUILDING FOOTPRINT
-  CALCULATED LANDSCAPED AREAS
-  DEEP SOIL AREAS
-  PRIVATE OPEN SPACE
-  INDICATIVE PLANTING

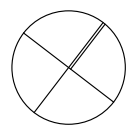
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Drawing  
**SITE COVERAGE PLAN**  
Scale  
1:200 @ A3  
DRAWN  
**JG**  
QA CHECKED  
**SV**

Drawing Number  
**DA035**  
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**A**  
Project Number  
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VIEW OF UNIT 03 & UNIT 04 FROM LANEWAY



VIEW OF UNIT 01 & UNIT 02 FROM LAMBTON ROAD



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Issue	Description	Date
P1	For Review	27/04/2021
P2	For Information	19/05/2021
P3	Consultant Issue	16/06/2021
P4	For Review	25/06/2021
P5	For Review	28/06/2021
P6	Consultant Issue	30/06/2021
P7	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**PERSPECTIVES**  
Scale  
@ A3  
DRAWN  
JG

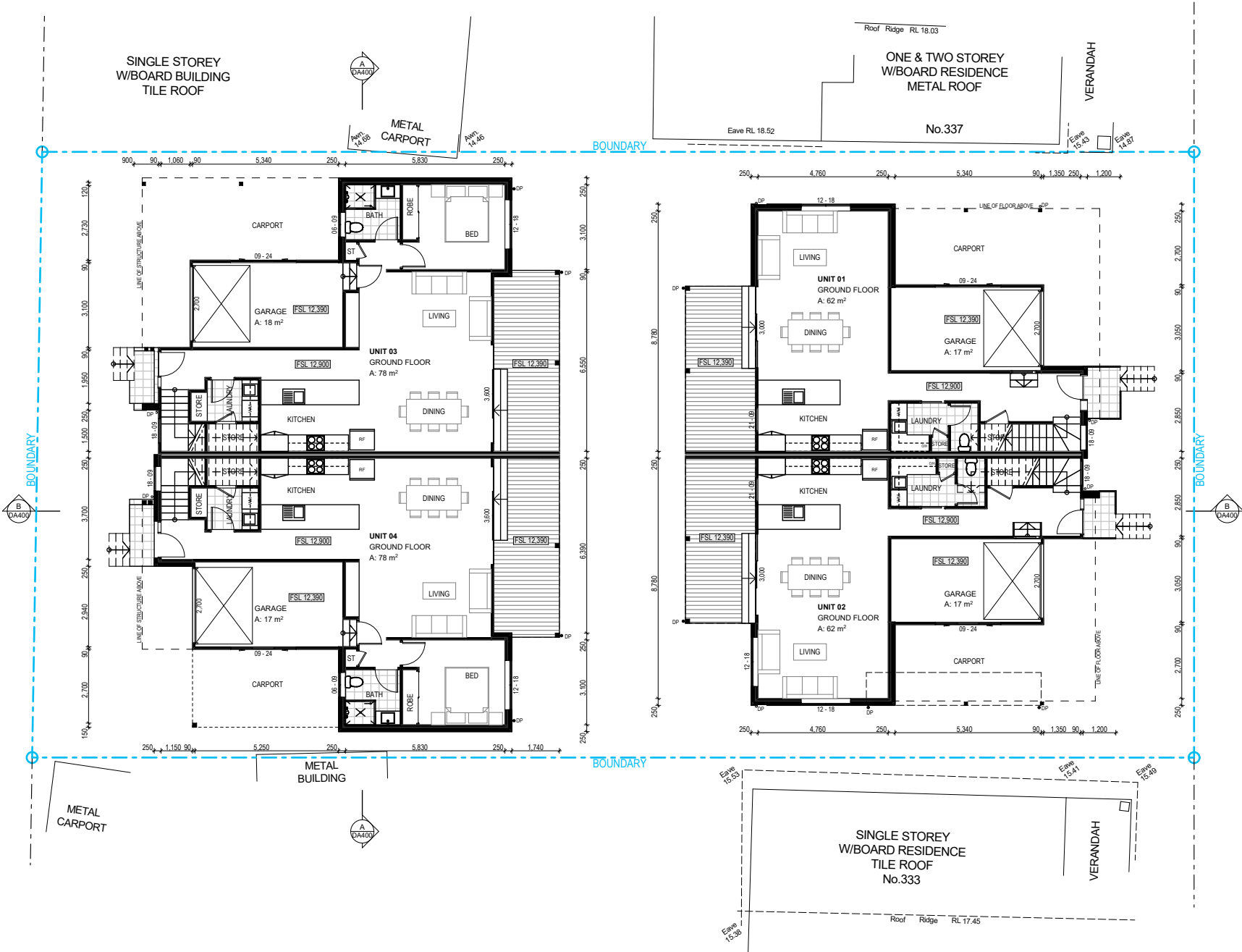
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SV

Drawing Number  
**DA040**  
Issue  
A  
Project Number  
**20151**



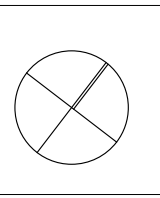
STORAGE CALCULATION (m3)

UNIT 01	STORE	10
UNIT 02	STORE	10
UNIT 03	STORE	11
UNIT 04	STORE	11



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Issue	Description	Date
P3	For Review	9/04/2021
P4	For Review	27/04/2021
P5	For Information	19/05/2021
P6	Consultant Issue	16/06/2021
P7	For Review	28/06/2021
P8	Consultant Issue	30/06/2021
P9	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

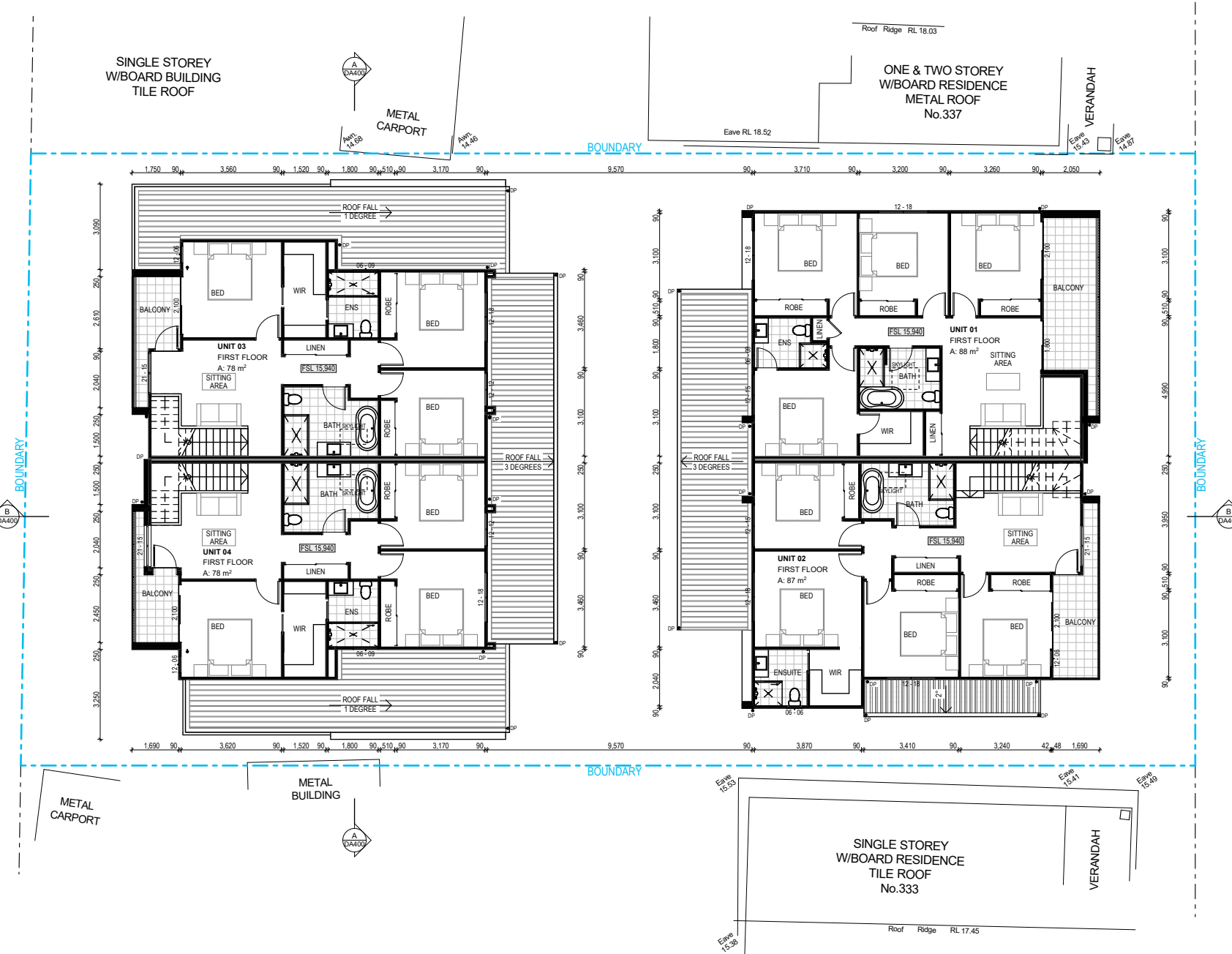
Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**GROUND FLOOR**  
Scale  
1:200 @ A3  
DRAWN  
**JG**  
QA CHECKED  
**SV**

Drawing Number  
**DA100**  
Issue  
**A**  
Project Number  
**20151**



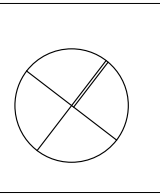




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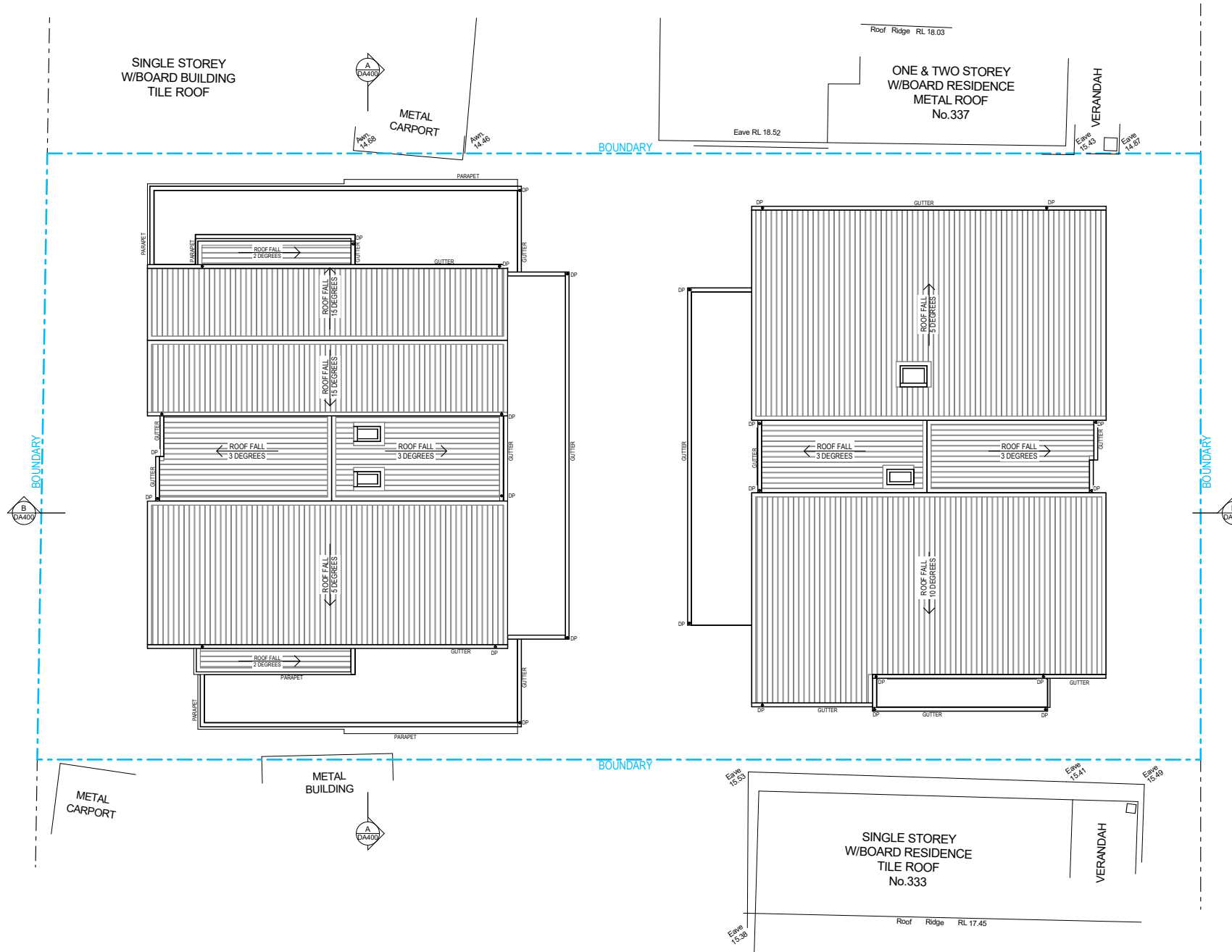
Issue	Description	Date
P3	For Review	9/04/2021
P4	For Review	27/04/2021
P5	For Information	19/05/2021
P6	Consultant Issue	16/06/2021
P7	For Review	28/06/2021
P8	Consultant Issue	30/06/2021
P9	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**FIRST FLOOR**  
Scale  
1:200 @ A3  
DRAWN  
**JG**  
QA CHECKED  
**SV**

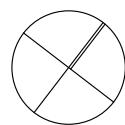
Drawing Number  
**DA110**  
Issue  
**A**  
Project Number  
**20151**





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P5	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**ROOF PLAN**  
Scale  
1:200 @ A3  
DRAWN  
**JG**

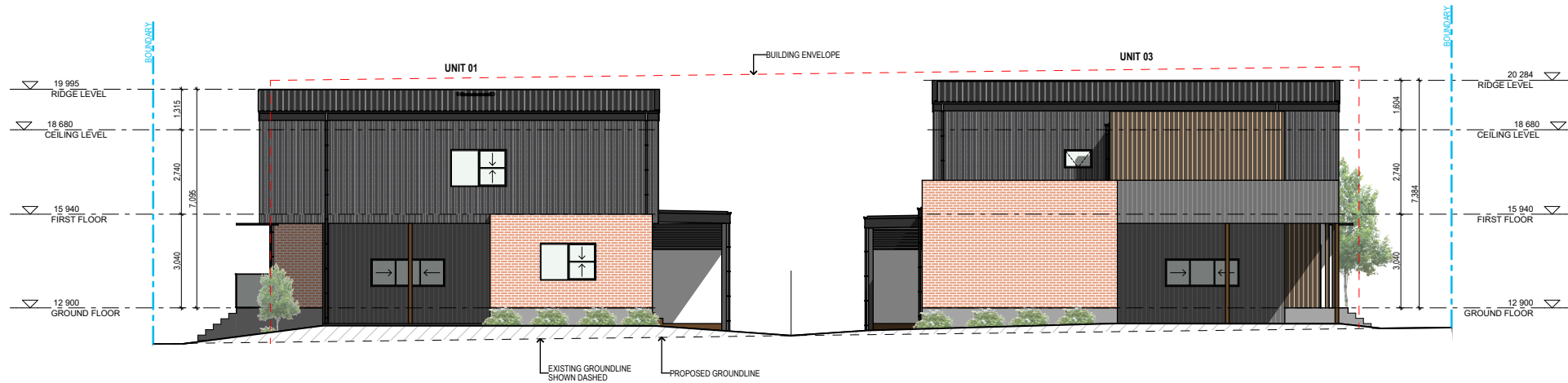
QA CHECKED  
**SV**

Drawing Number  
**DA150**  
Issue  
**A**  
Project Number  
**20151**



**ELEVATION NOTES**

1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
2. REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.
5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION



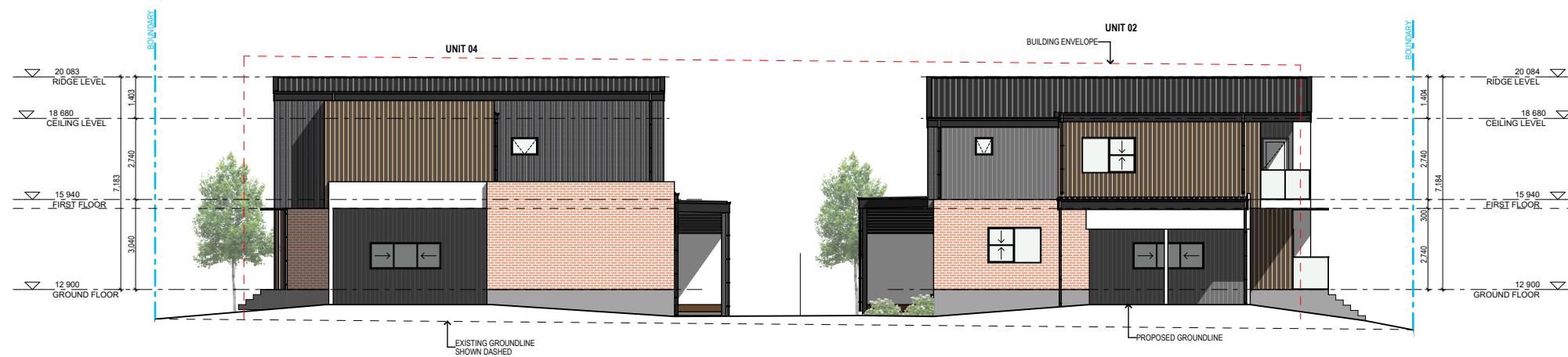
**E-01**  
NORTH ELEVATION  
1:200



**E-02**  
EAST ELEVATION  
1:200



**E-04**  
WEST ELEVATION  
1:200



**E-03**  
SOUTH ELEVATION  
1:200



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P6	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**ELEVATIONS**  
Scale  
1:200 @ A3  
DRAWN  
**JG**

QA CHECKED  
**SV**

Drawing Number  
**DA300**  
Issue  
**A**  
Project Number  
**20151**







E-05  
INTERNAL WEST ELEVATION  
1:200



E-06  
INTERNAL EAST ELEVATION  
1:200



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P3	For Review	28/06/2021
P4	Consultant Issue	30/06/2021
P5	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

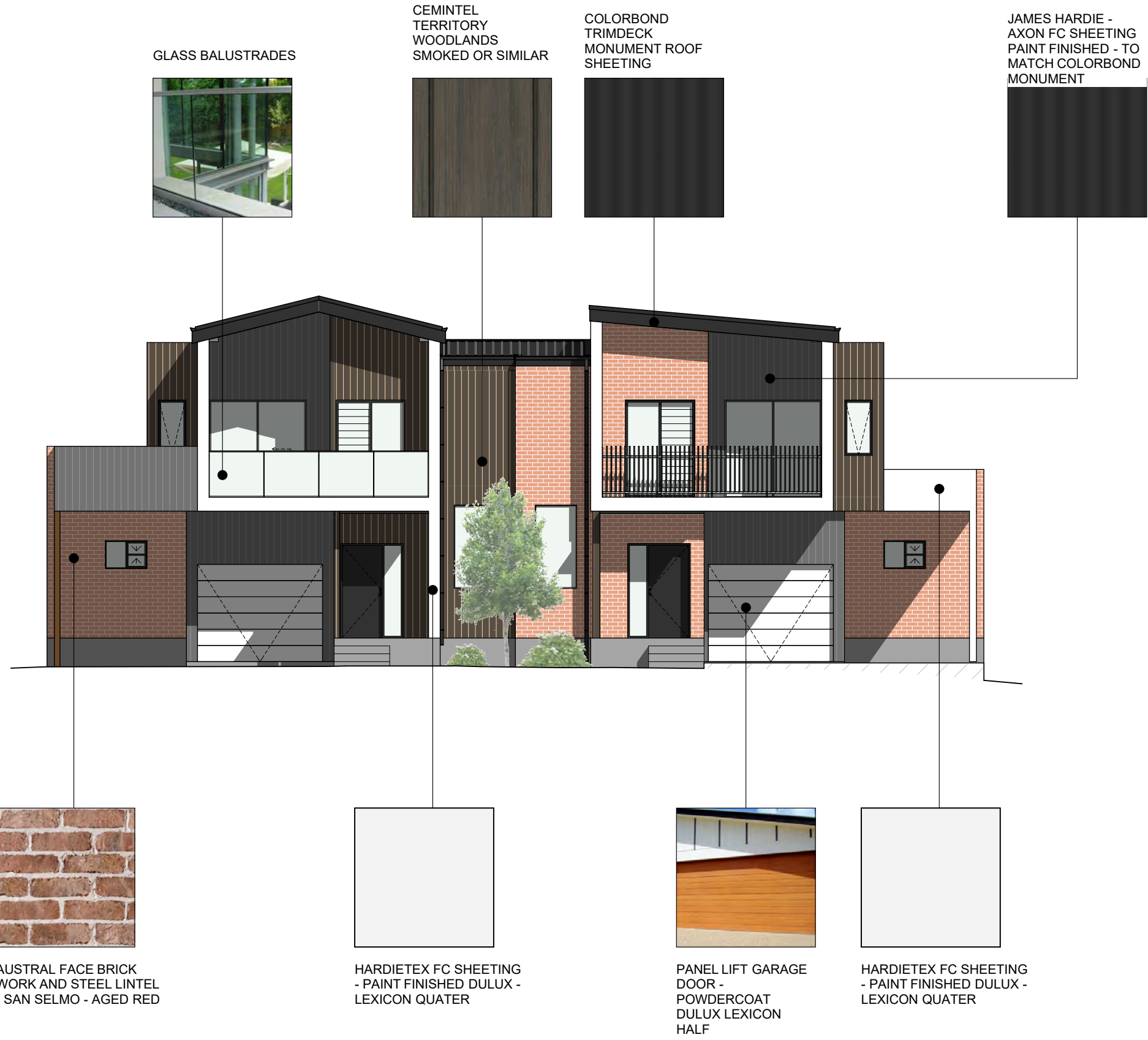
Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**ELEVATIONS**  
Scale  
1:200 @ A3  
DRAWN  
**JG**

QA CHECKED  
**SV**

Drawing Number  
**DA301**  
Issue  
**A**  
Project Number  
**20151**





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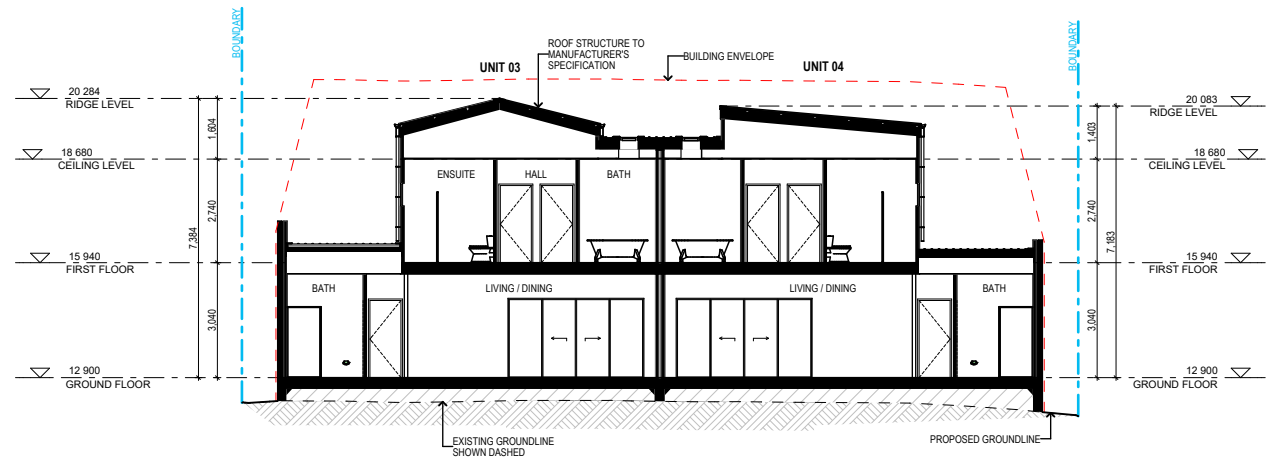
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**Issue**  
P1 For Review 27/04/2021  
P2 Consultant Issue 16/06/2021  
P3 For Review 28/06/2021  
P4 Consultant Issue 30/06/2021  
P5 Hunter Water Issue 9/07/2021  
A Development Application 16/07/2021

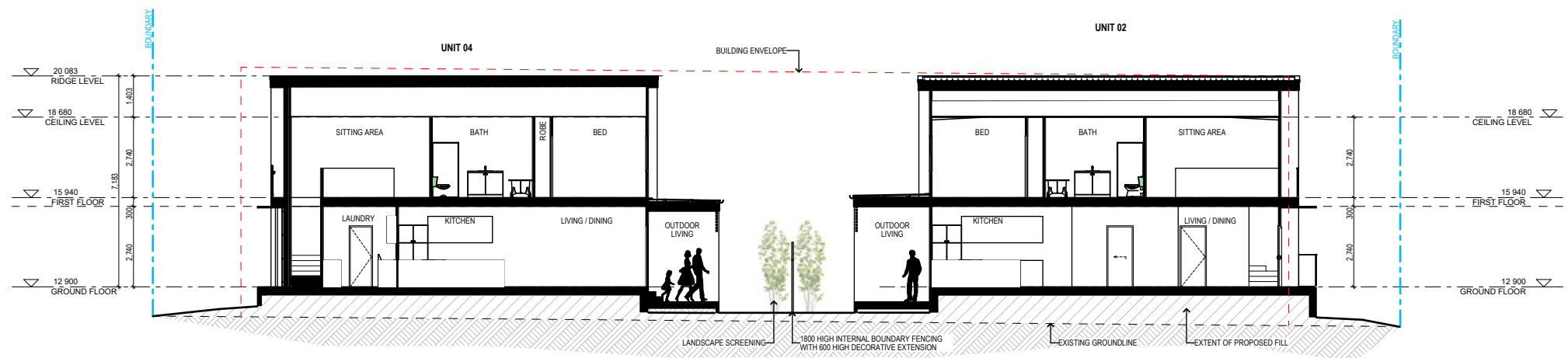
Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**EXTERNAL FINISHES**  
Scale  
1:100 @ A3  
DRAWN  
JG  
QA CHECKED  
SV

Drawing Number  
**DA350**  
Issue  
A  
Project Number  
**20151**  
**ELK**



**A** SECTION AA  
1:200



**B** SECTION BB  
1:200



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Issue Description Date  
P1 For Information 19/05/2021  
P2 Consultant Issue 16/06/2021  
P3 For Review 28/06/2021  
P4 Consultant Issue 30/06/2021  
P5 Hunter Water Issue 9/07/2021  
A Development Application 16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**SECTIONS**  
Scale  
1:200 @ A3  
DRAWN  
**JG**

QA CHECKED  
**SV**

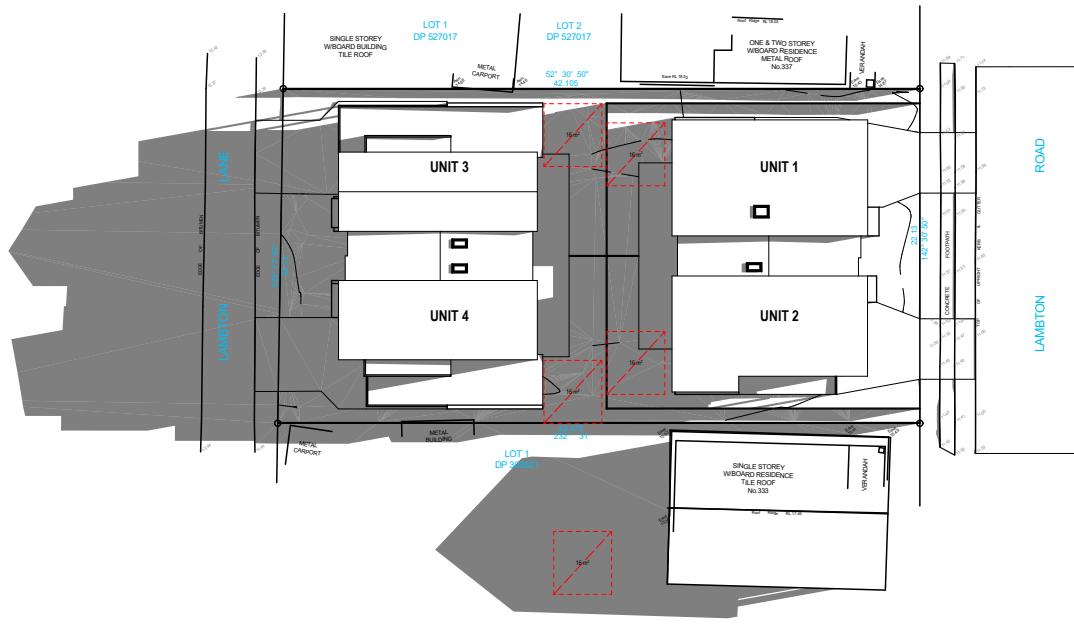
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**A**  
Project Number  
**20151**





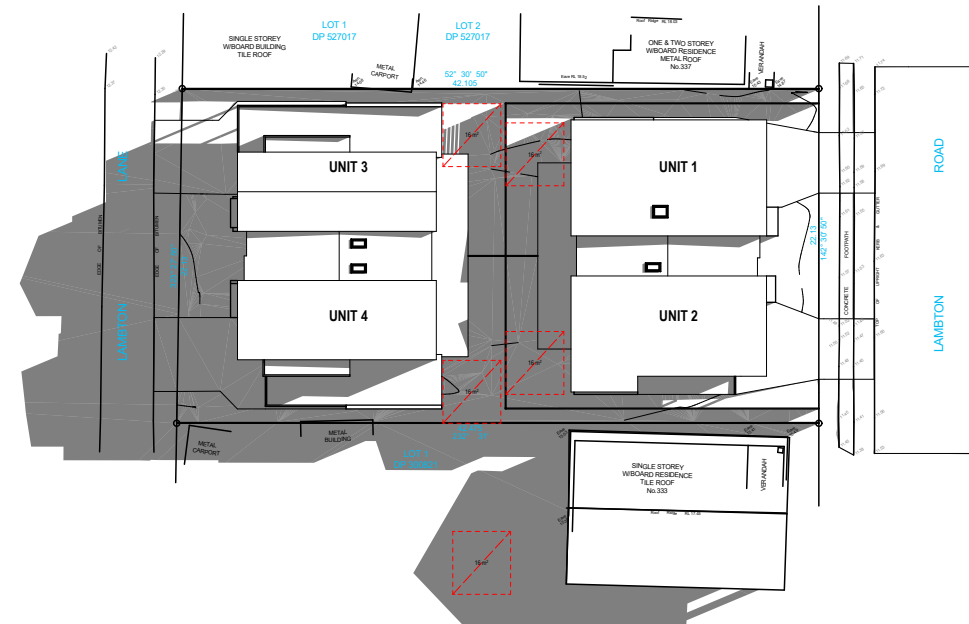
SHADOW DIAGRAM LEGEND

- AREA OF OPEN SPACE ACHIEVING SOLAR ACCESS
- AREA OF RESIDENTS COMMUNAL OPEN SPACE WITH SOLAR ACCESS



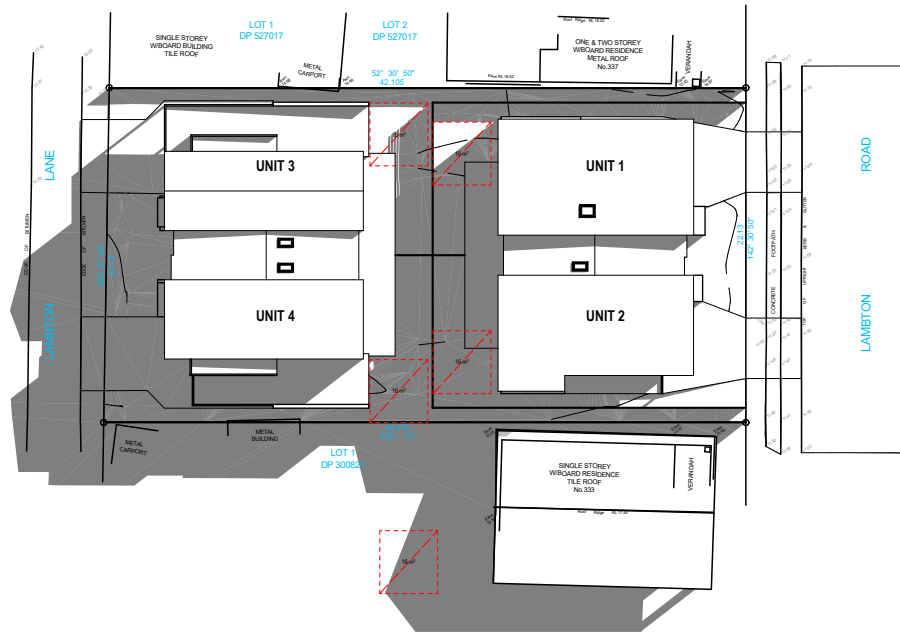
01  
-

21 JUN at 09:00  
1:500



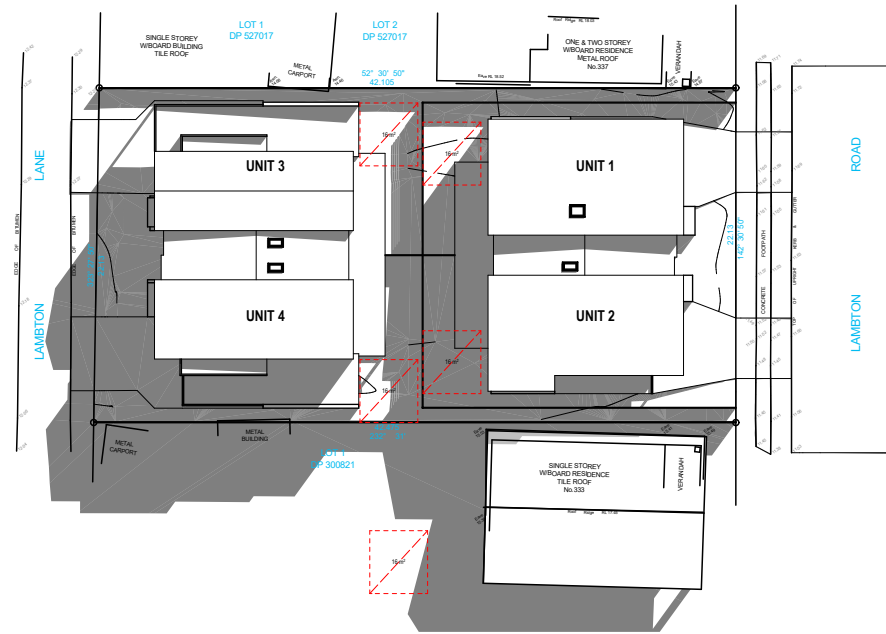
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-

21 JUN at 10:00  
1:500



03  
-

21 JUN at 11:00  
1:500



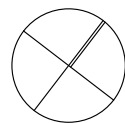
04  
-

21 JUN at 12:00  
1:500



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P2	For Review	28/06/2021
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Project  
**Multi Dwelling**  
Location  
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Client  
**Lambton Road  
Developments PTY LTD**

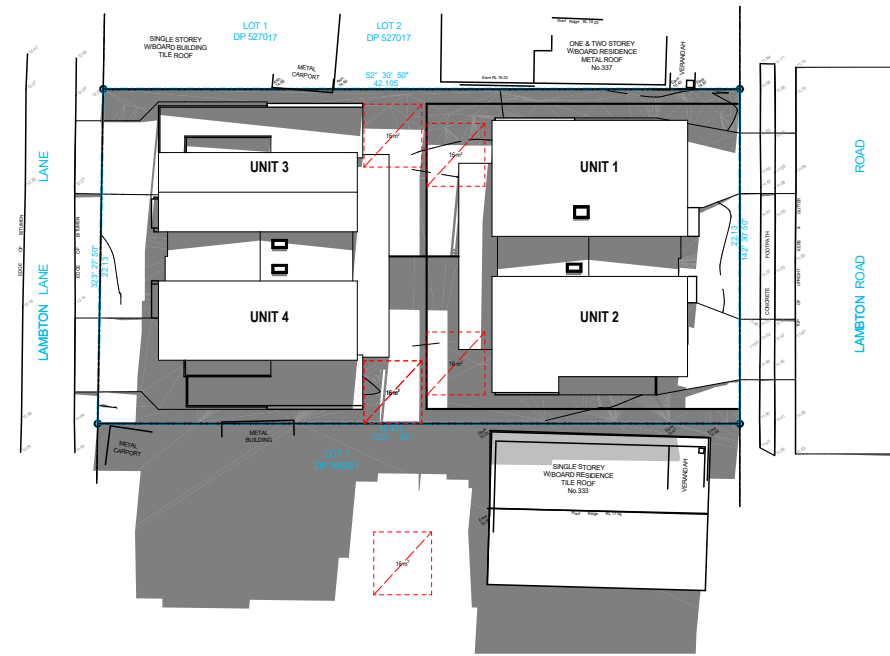
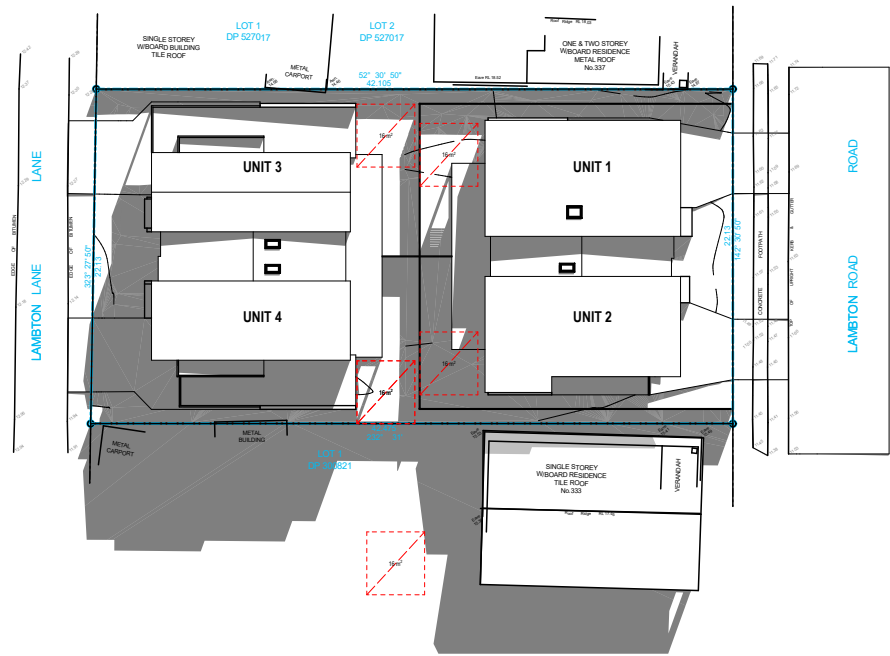
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**EXTERNAL SHADOW  
DIAGRAMS**  
Scale  
1:500 @ A3  
DRAWN  
**JG**  
QA CHECKED  
**SV**

Drawing Number  
**DA900**  
Issue  
**A**  
Project Number  
**20151**



SHADOW DIAGRAM LEGEND

-  AREA OF OPEN SPACE ACHIEVING SOLAR ACCESS
-  AREA OF RESIDENTS COMMUNAL OPEN SPACE WITH SOLAR ACCESS

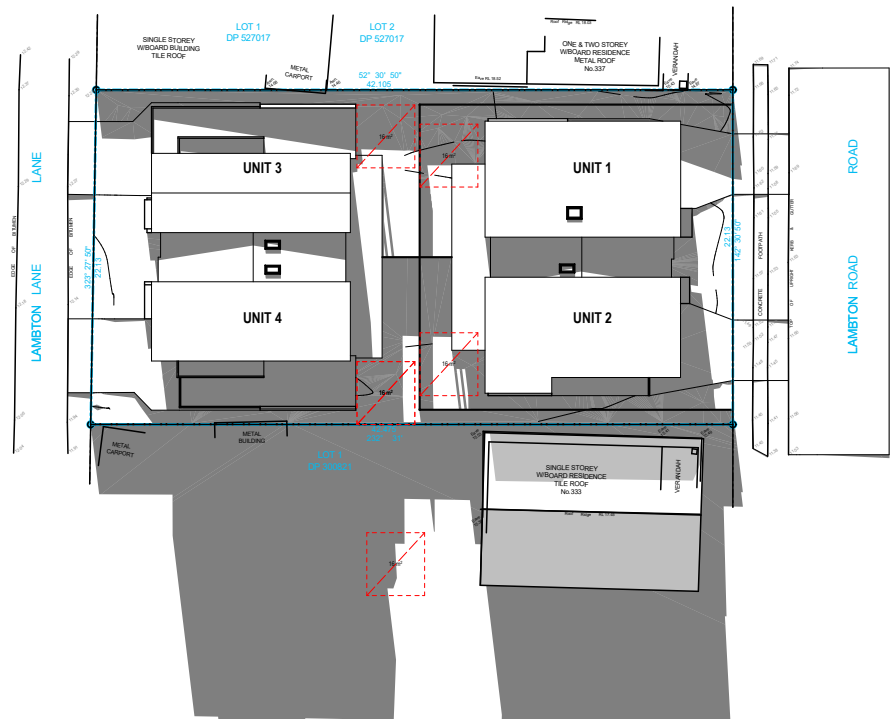


01  
-

21 JUN at 13:00  
1:500

02  
-

21 JUN at 14:00  
1:500



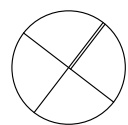
03  
-

21 JUN at 15:00  
1:500



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PO Box 601 Kolaria  
NSW 2289 Ph 49524425  
Nominated Architect: Daniel Hadley 8209  
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e: gardenflora704@gmail.com

Issue	Description	Date
P1	Consultant Issue	16/06/2021
P2	For Review	28/06/2021
P3	Consultant Issue	30/06/2021
P4	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**EXTERNAL SHADOW  
DIAGRAMS**  
Scale  
1:500 @ A3  
DRAWN  
**JG**

QA CHECKED  
**SV**

Drawing Number  
**DA901**  
Issue  
**A**  
Project Number  
**20151**





9am Neighbouring Overshadow



10am Neighbouring Overshadow



11am Neighbouring Overshadow



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Landscape Consultant  
JK's Gardencreations  
p: 0412582966  
e: gardenflora704@gmail.com

Issue	Description	Date
P1	For Review	22/06/2021
P2	For Review	25/06/2021
P3	For Review	28/06/2021
P4	Consultant Issue	30/06/2021
P5	Hunter Water Issue	9/07/2021
A	Development Application	16/07/2021

Project  
**Multi Dwelling**  
Location  
**335 Lambton Road  
New Lambton**  
Client  
**Lambton Road  
Developments PTY LTD**

Drawing  
**NEIGHBOURING DWELLING  
SHADOW DIAGRAMS**  
Scale  
1:410.19 @ A3  
DRAWN  
**JG** QA CHECKED  
**SV**

Drawing Number  
**DA902**  
Issue  
**A**  
Project Number  
**20151**





**Sediment and erosion control**

All erosion and sediment control measures to be installed prior to site disturbance.

The project manager to inform all contractors and sub-contractors of their obligations under the erosion and sediment control plan.

Topsoil from all areas that will be disturbed to be stripped and stockpiled at the nominated site.

All sediment control structures to be inspected by site supervisor after each rainfall event for structural damage and all trapped sediment to be removed to a nominated stockpile site.

Sediment and erosion control shall be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the superintendent's satisfaction.

A single all weather access way will be provided at the front of the property consisting of 50-75 aggregate or similar material at a minimum thickness of 150 laid over needle-punched geotextile fabric and constructed prior to commencement of works.

The contractor shall ensure that no spoil or fill encroaches upon adjacent areas for the duration of works.

The contractor shall ensure that kerb inlets and drains receiving stormwater shall be protected at all times during development. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage.

Sediment fencing shall be secured by post (where metal star pickets are used plastic safety caps shall be used) at 3000 intervals with geotextile fabric embedded 200 in soil.

All topsoil stripped from the site and stockpiled does not interfere with drainage lines and stormwater inlets and will be suitably covered with an impervious membrane material and screened by sediment fencing.

**Soil conservation**

Prior to commencement of construction provide 'sediment fence,' 'sediment trap' and washout area to ensure the capture of water borne material generated from the site.

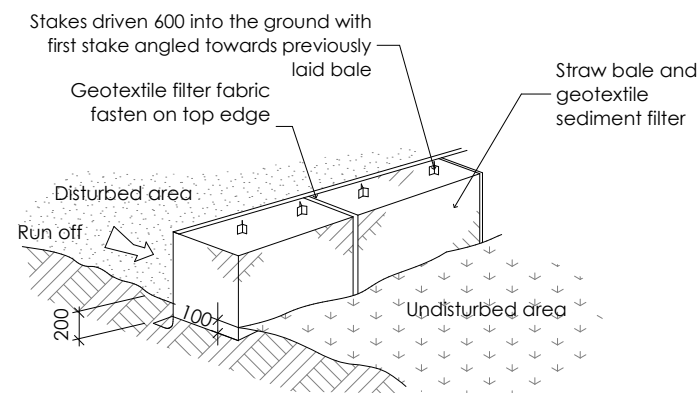
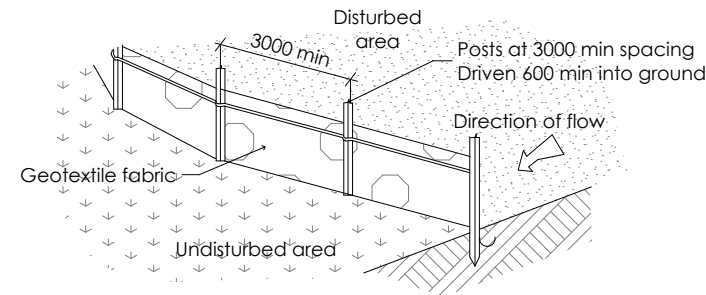
Maintain the above during the course of construction, and clear the 'sediment trap after each storm.

**Sediment trap**

1000 x 1000 wide 500 deep pit, located at the lowest point to the trap sediment.

**Sediment fence**

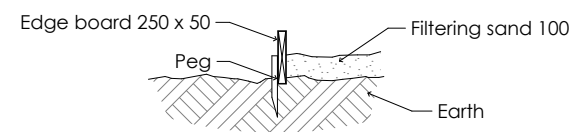
Provide sediment fence on down slope boundary as shown on plan. Fabric to be buried below ground at lower edge.



Drainage area 0.5 ha. max. slope gradient 1:2  
max. slope length 50m.

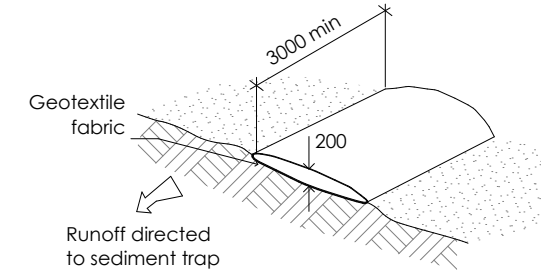
**Washout area**

to be 1800 x 1800 allocated for the washing of tool and equipment



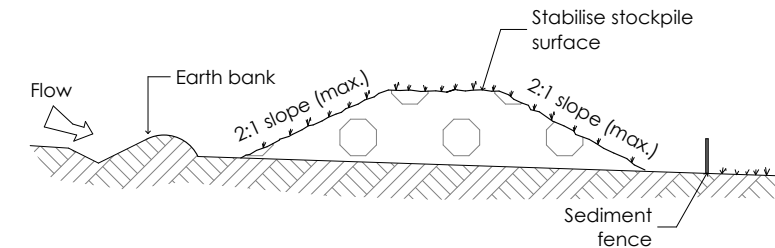
**Vehicle access to site**

Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement.



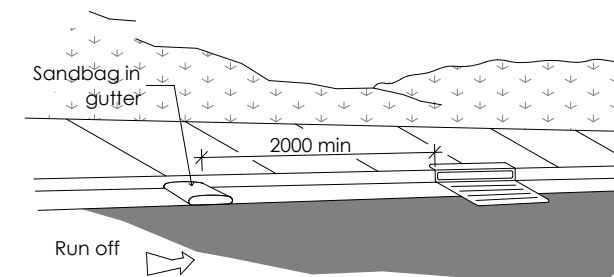
**Building material stockpiles**

All stockpiles of building material such as sand and soil must be protected to prevent scour and erosion. They should never be placed in the street gutter where they will wash away with the first rainstorm.



**Sandbag kerb sediment trap**

In certain circumstances extra sediment trapping may be needed in the street gutter.



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Issue	Description	Date																									
P1	Consultant Issue	16/06/2021																									
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Version 2.2 (30 November 2020)  
**HUNTER WATER BUILDING PLAN ASSESSMENT**

**Clear of Hunter Water Assets**

Reference No: 29253

Water available for connection  
 Sewer available for connection

Only valid for 29253  
 Only valid for 29253  
 Only valid for 29253

Development Assessment (Section 50) application has been submitted and is being reviewed by Hunter Water. A Hydraulic Design Assessment application is required if development is larger than 2 units or commercial/industrial. Application for Services Disconnection and Services Connection required.

Date Processed: 13 July 2021  
 Applicant: ELK Designs Newcastle Pty Ltd - Safah Blatchford  
 Property Location: U 1 335 LAMBTON RD NEW LAMBTON

PLEASE TAKE INTO CONSIDERATION

AREA CALCULATION (m2)		AREAS	
DEEP SOIL	141	SITE AREA	936m <sup>2</sup>
DRIVEWAY	213	FLOOR SPACE RATIO (MAX 0.60)	0.65
LANDSCAPING	280	TOTAL GFA	611m <sup>2</sup>
Proposed Lot 1	208	LANDSCAPE	280m <sup>2</sup>
Proposed Lot 2	208	DEEP SOIL	141m <sup>2</sup>
Proposed Lot 3	259		15%
Proposed Lot 4	261		

UNIT 01	
FIRST FLOOR	88
GARAGE	17
GROUND FLOOR	62

UNIT 02	
FIRST FLOOR	87
GARAGE	17
GROUND FLOOR	62

UNIT 03	
FIRST FLOOR	78
GARAGE	18
GROUND FLOOR	78

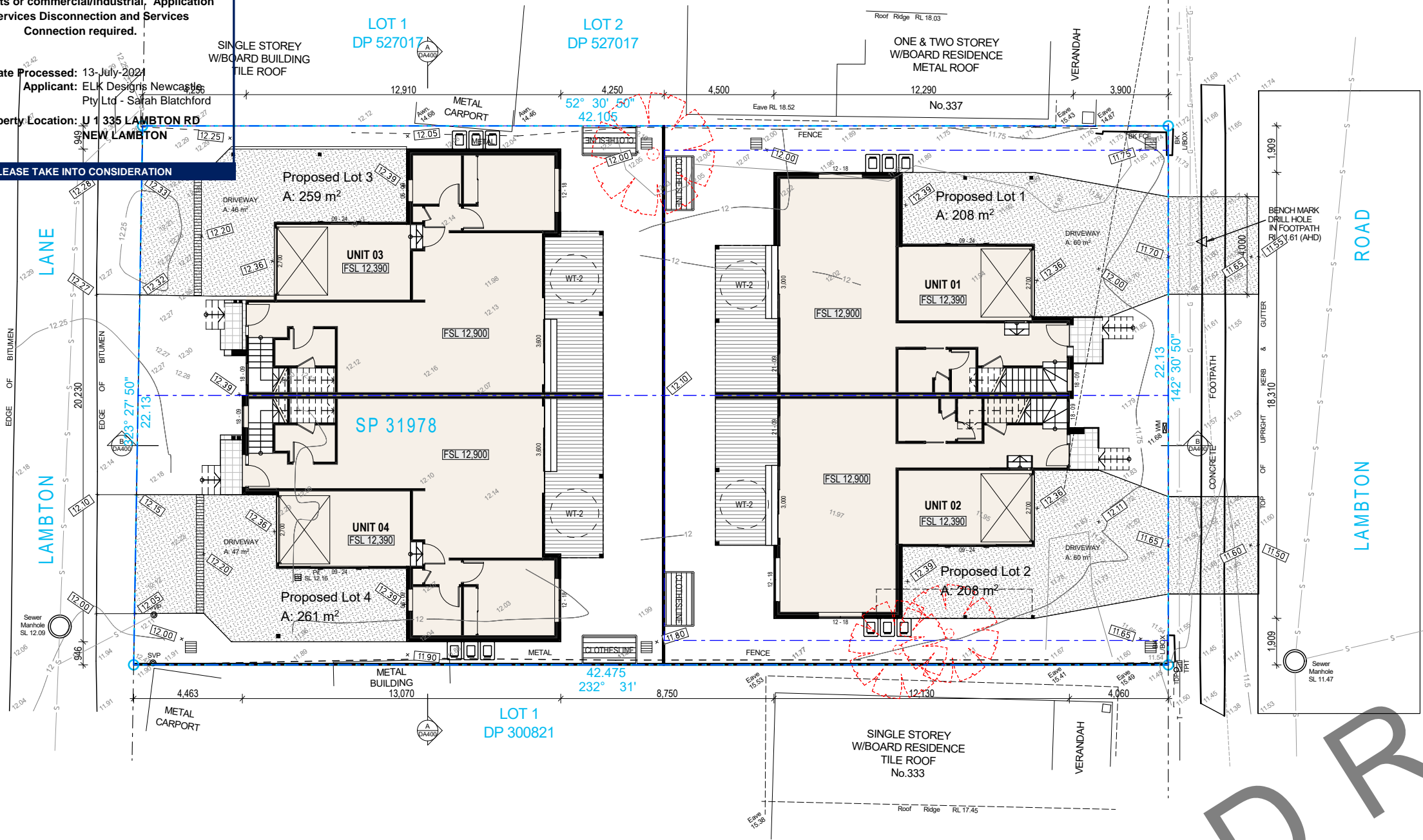
UNIT 04	
FIRST FLOOR	78
GARAGE	17
GROUND FLOOR	78

**SITE LEGEND**

- 4,000 LITRE ABOVE GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
- 4,000 LITRE UNDER GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
- RW
- RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS
- EXISTING TREE TO BE RETAINED
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING FOOTPRINT

**SITE NOTES**

1. GFA (GROSS FLOOR AREA) AS DEFINED BY THE LOCAL COUNCIL
2. PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY HYDRAULIC ENGINEER OR BUILDER.
5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION



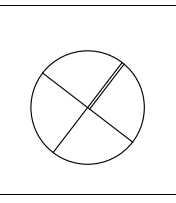
DRAFT

PRELIMINARY

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 Nominated Architect: Daniel Hadley 8209

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Consultants

Issue	Description	Date
P2	For Review	2/03/2021
P3	For Review	9/04/2021
P4	For Review	27/04/2021
P5	For Information	19/05/2021
P6	Consultant Issue	16/06/2021
P7	For Review	28/06/2021
P8	Consultant Issue	30/06/2021
P9	Hunter Water Issue	9/07/2021

Project  
**Multi Dwelling**

Location  
**335 Lambton Road  
 New Lambton**

Client  
**Lambton Road  
 Developments PTY LTD**

Drawing  
**SITE PLAN**

Scale  
 1:200 @ A3

DRAWN  
**JH**

QA CHECKED  
**SV**

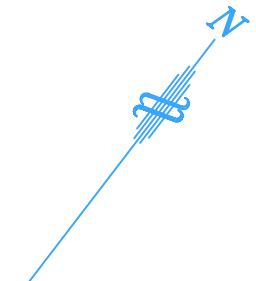
Drawing Number  
**DA030**

Issue  
**P9**

Project Number  
**20151**

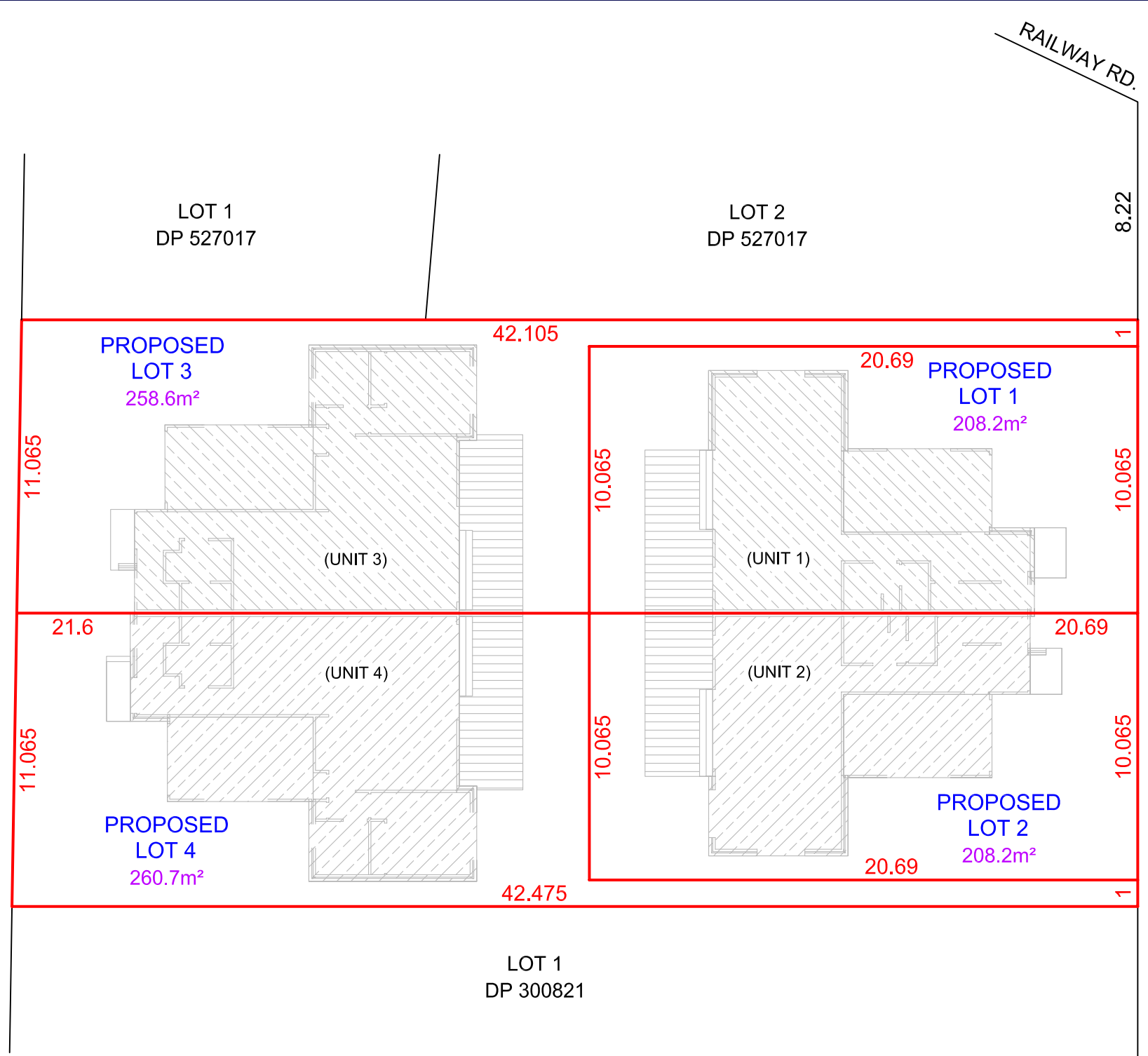
PROJECT MANAGEMENT

SURVEYING



LAMBTON LANE

ROAD LAMBTON



**NOTES:-**  
 1. ALL DIMENSIONS AND AREAS ARE APPROXIMATE ONLY AND ARE SUBJECT TO APPROVAL, CONSTRUCTION, FINAL SURVEY AND REGISTRATION OF PLAN AT THE LAND REGISTRY SERVICES OFFICE, NSW.

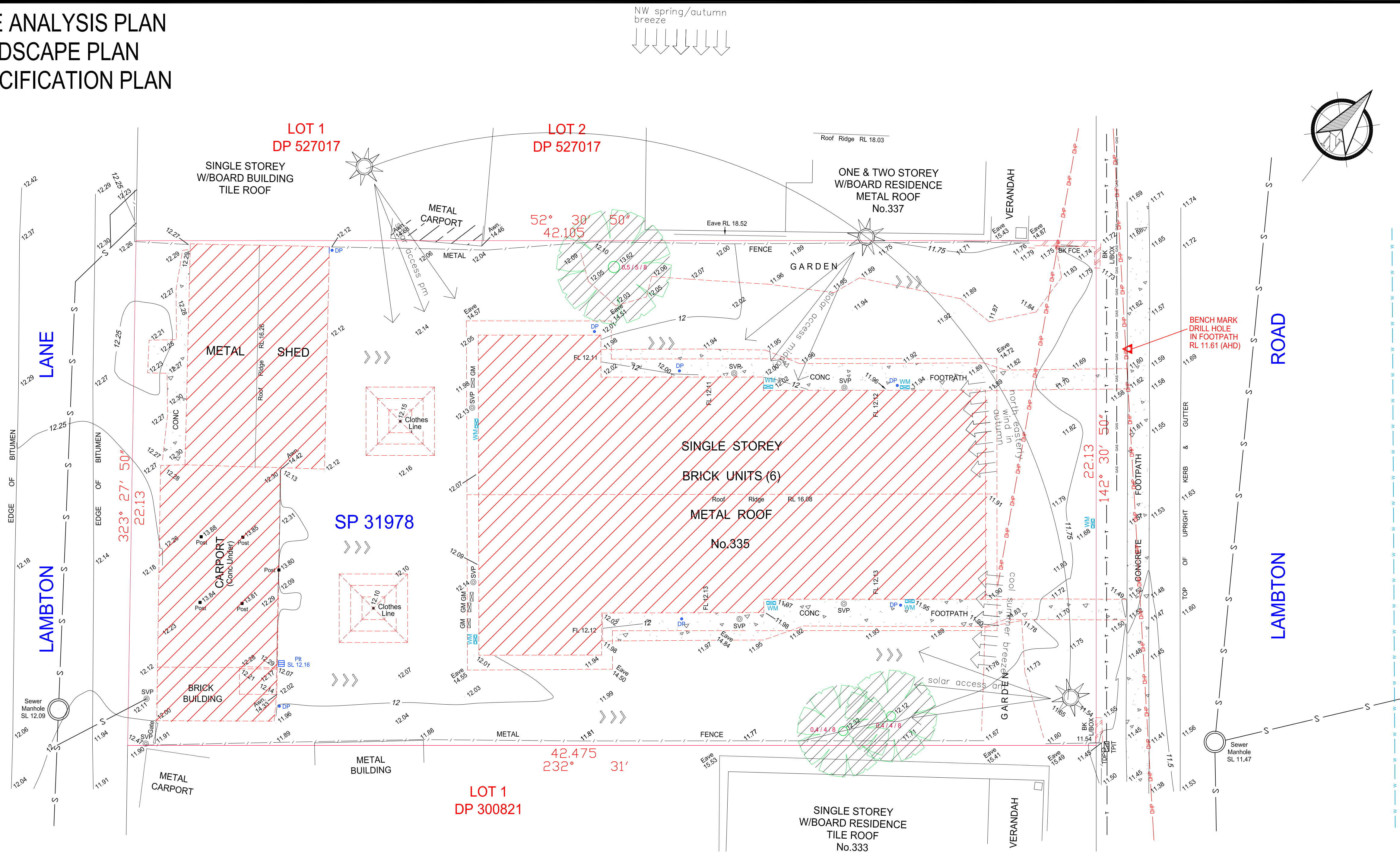
TITLE:	PLAN OF PROPOSED SUBDIVISION OF LOTS 1-6 incl. IN STRATA PLAN 31978
LOCATION:	No.335 LAMBTON ROAD, NEW LAMBTON
CLIENT:	Fourjay Investments - Cassandra Lantry



Amendment	Description	Date
A	INITIAL ISSUE	9.07.21
B		
C		
D		
E		

SCALE: 1: 200 (A3)	JOB No:  <b>21410</b>
DATE: 9.07.21	
DATUM: N / A	
CONTOUR INTERVAL: N / A	
SURVEYOR: BW DRAWN: SD	
DRAWING REF: 21410_SA_A.dwg	
REVISION: A	





### LEGEND

- BOUNDARY LINE
- ADJACENT BOUNDARY
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- FENCE LINE
- TOP & TOE OF BANKS
- OVERHEAD POWER LINE (DBYD)
- UNDERGROUND WATER LINE (DBYD)
- UNDERGROUND TELECOMMUNICATIONS LINE (DBYD)
- UNDERGROUND SEWER LINE (DBYD)
- UNDERGROUND GAS LINE (DBYD)
- BENCH MARK
- POWER POLE
- WATER METER
- LETTER BOX
- SS10/0.6 spread diameter/approx height/trunk diameter
- PHOTOGRAPH LOCATION AND DIRECTION
- EXISTING TREE SHRUB TO BE RETAINED
- EXISTING TREE SHRUB TO BE REMOVED
- STRUCTURES TO BE REMOVED
- OVERLAND FLOW PATH
- PREVAILING WIND



DATE	BY	AMENDMENT

LANDSCAPE DESIGNER  
**JK's GARDEN CREATIONS**  
 P.O. BOX 168 GAN GAN RD  
 ANNA BAY. NSW. 2316  
 John A. Kime  
**Mob. 0412582966**  
**email.gardenflora704@gmail.com**  
**Member AILDM**  
 Diploma in Horticulture / Landscape Dsn. Cert. Ag

SITE ADDRESS  
**MULTI DWELLING**  
 SP 31978  
 335 LAMBTON ROAD  
 NEW LAMBTON

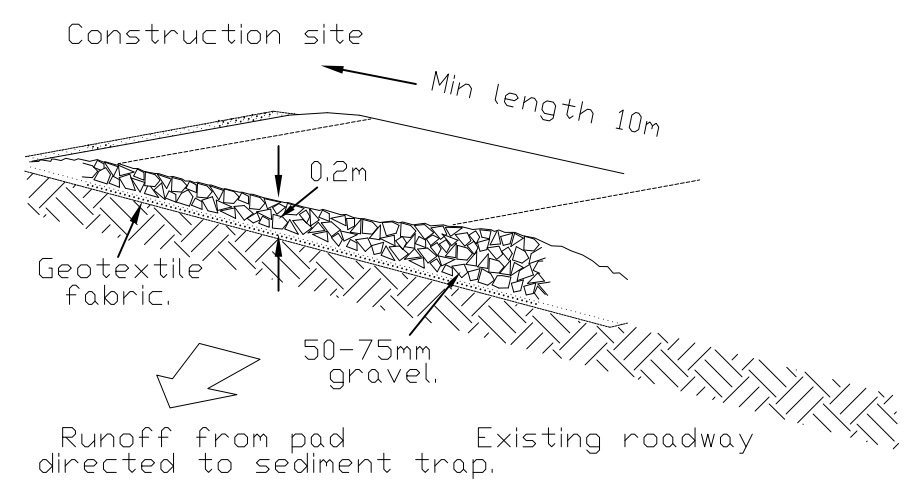
CLIENT  
**FOURJAY PTY LTD**

ARCHITECT  
  
 P.O. Box 801 Kotara  
 NSW 2289 PH 49524425  
 Nominated Architect: Daniel Hadley 8209  
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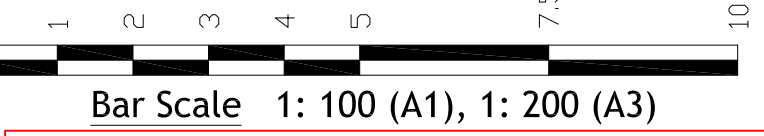
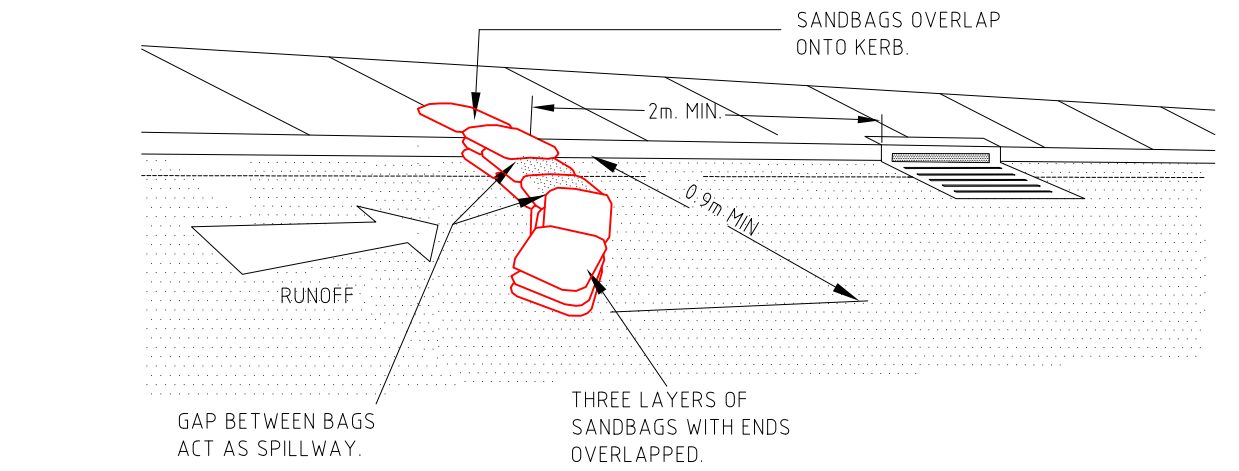
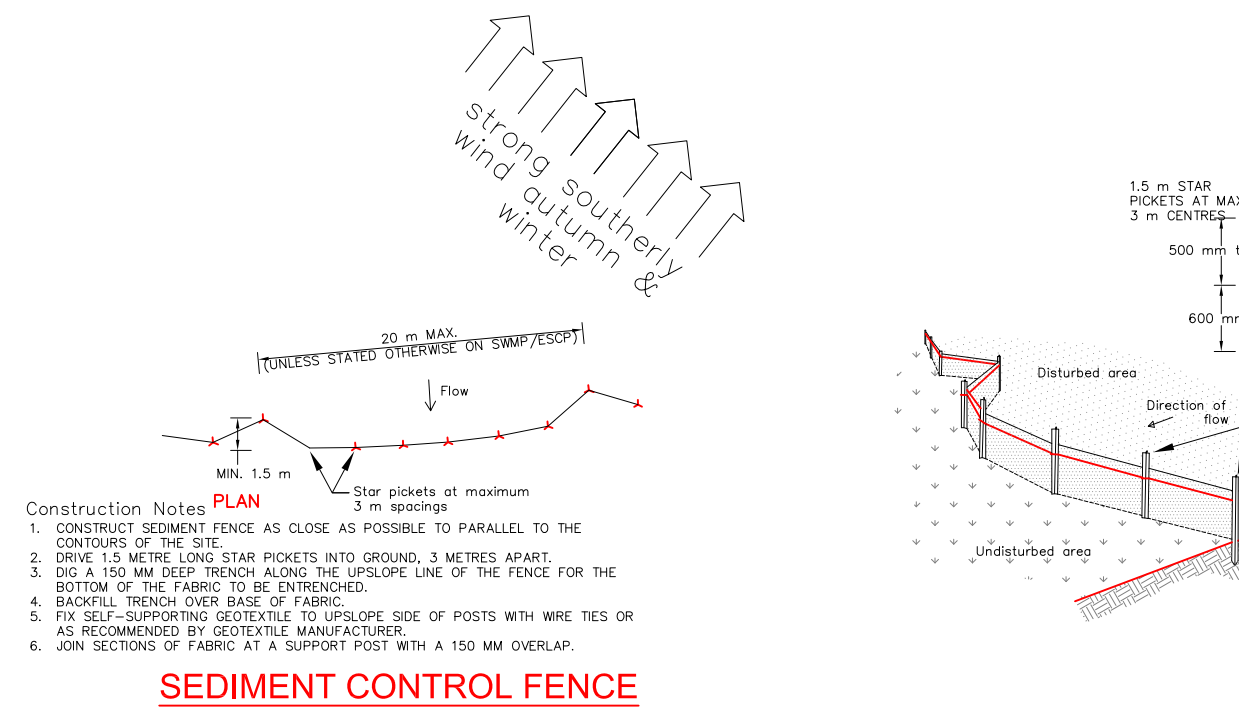
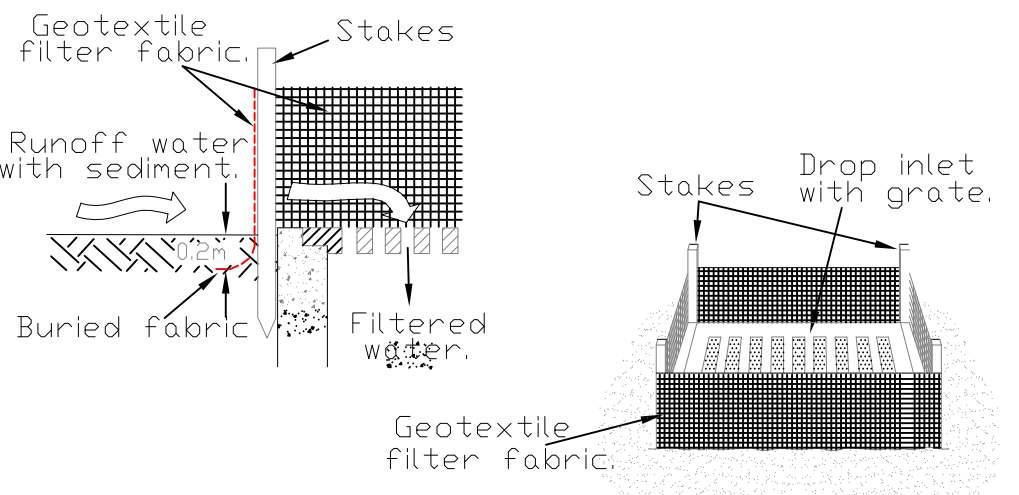
DRAWN <b>Mishka</b>	DATE <b>22/06/2021</b>
SCALES <b>1:100 @ A1 1:200 @ A3</b>	CHECKED <b>JK</b>
SHEET <b>1 OF 3 Site Analysis Plan</b>	JOB No. <b>FOUR300421</b>

### NOTES

The lot has six existing brick units, metal shed, carport and brick building to be removed with three existing trees to be removed also. The drainage lines are towards the front boundary with the soil being a gravel-clay base and a thin loam topsoil.



**MAINTENANCE:**  
 THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS OF WAY MUST BE REMOVED.



### EROSION AND SEDIMENT CONTROL NOTES

#### GENERAL INSTRUCTIONS

- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.
- THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THIS SPECIFICATION.
- ALL BUILDERS AND SUB-CONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS.

#### CONSTRUCTION SEQUENCE

- THE SOIL EROSION POTENTIAL ON THIS SITE SHALL BE MINIMISED. HENCE WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
  - INSTALL SEDIMENT FENCES
  - UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

#### EROSION CONTROL

- DURING WINDY CONDITIONS, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

#### FENCING

- STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS, WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.

ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.

WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE. I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.

TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

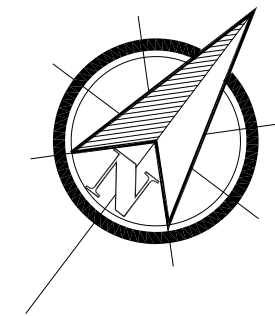
#### OTHER MATTERS

ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.

#### SITE INSPECTION & MAINTENANCE

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AFTER RAINFALL EVENTS TO ENSURE THAT THEY OPERATE EFFECTIVELY. REPAIR AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED.





**LEGEND**

- CONCRETE PATHS & DRIVEWAY
- TURF
- PERMEABLE GRAVEL TO SHADED AREAS
- GARBAGE BINS
- CLOTHESLINE
- WATER TANKS
- 1.8M HIGH COLOURBOND BOUNDARY FENCE AND DIVIDING FENCES PLUS RETURNS
- 1.2M HIGH SLAT TIMBER FRONT BOUNDARY FENCE
- EXTERNAL YARD TAP
- LETTERBOX
- DENOTES DESIGN SPOT LEVELS
- DENOTES RETAINING WALL TO ENGINEERS DETAILS
- 450 x 450 STEPPING PAVERS
- PRIVATE OPEN SPACE

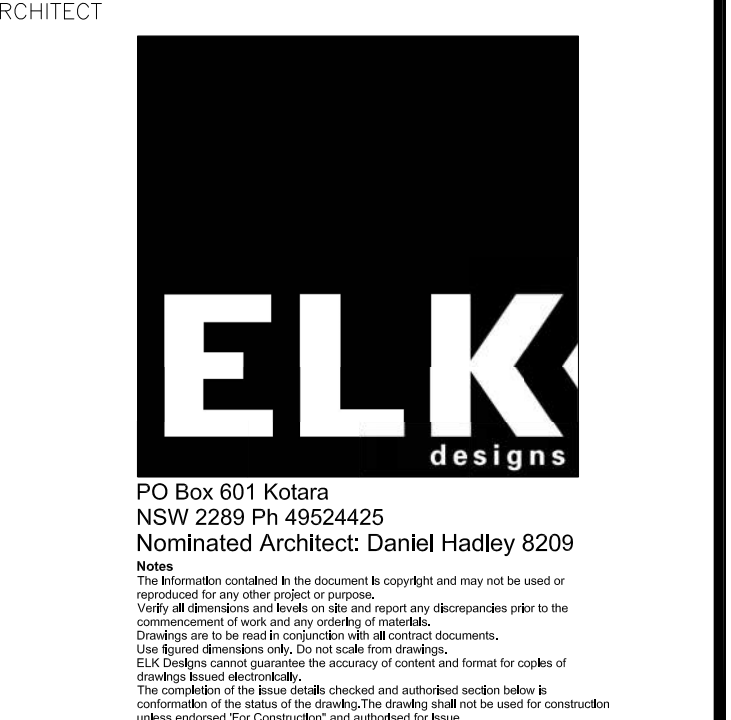


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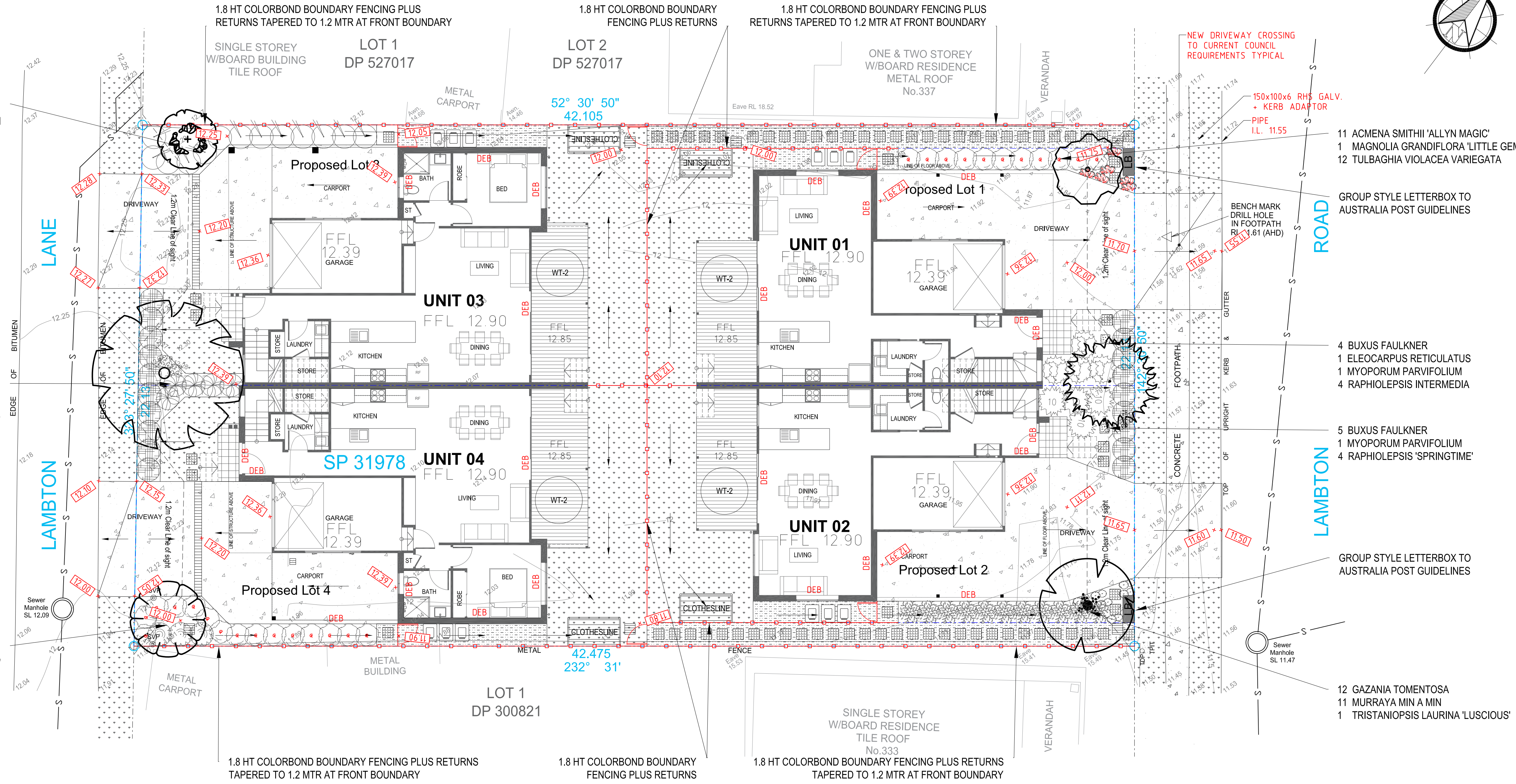
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**MULTI DWELLING**  
 SP 31978  
 335 LAMBTON ROAD  
 NEW LAMBTON

CLIENT  
**FOURJAY PTY LTD**



DRAWN	DATE	CHECKED	JOB No.
Mishka	22/06/2021	JK	FOUR300421
SCALES 1:100 @ A1 1:200 @ A3			
SHEET 2 OF 3 Landscape Plan			

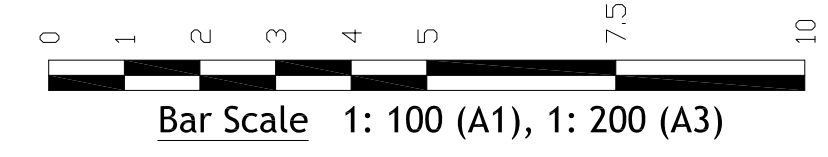


- 1 ACMENA SMITHII 'SUBLIME'
- 13 RAPHIOLEPSIS SNOW MAIDEN

- 5 ABELIA GRANDIFLORA DWARF
- 10 BUXUS FAULKNER
- 4 DIANELLA CAERULA CULTIVAR
- 1 WATERHOUSEA FLORIBUNDA

- 15 ACMENA SMITHII 'ALLYN MAGIC'
- 3 CALLISTEMON 'GREAT BALLS OF FIRE'
- 1 ELEOCARPUS EUMUNDI

- PLANT LEGEND**
- AAM ACMENA ALLYN MAGIC
  - ASS ACMENA SMITHII 'SUBLIME'
  - AGD ABELIA GRANDIFLORA DWARF
  - BF BUXUS FAULKNER
  - CGBF CALLISTEMON GREAT BALLS OF FIRE
  - DCTV DIANELLA CAERULEA CTV
  - EE ELAEOCARPUS EUMUNDI
  - ER ELEOCARPUS RETICULATUS
  - GT GAZANIA TOMENTOSA
  - MLG MAGNOLIA LITTLE GEM
  - MMM MURRAYA MIN A MIN
  - MP MYOPORUM PARVIFOLIUM
  - RI RAPHIOLEPSIS INTERMEDIA
  - RS RAPHIOLEPSIS SPRINGTIME
  - RSM RAPHIOLEPSIS SNOW MAIDEN
  - TLL TRISTANIOPSIS LAURINA LUCSIOUS
  - TVV TULBAGHIA VIOLACEA 'VAREIGATA'
  - WF WATERHUSIA FLORIBUNDA



Refer to ELK Site Coverage Plan for Landscape Calculations

**PLANT SCHEDULE**

**TREES, SHRUBS & GROUNDCOVERS**

ID	Botanical Name	Common Name	Qty	Pot Size mm/ltr	Mature Size W x H mtrs
AGD	Abelia grandiflora dwarf	Glossy abelia	5	200mm	1.2x1.2m
AAM	Acmena smithii 'Allyn Magic'	Dwarf lilly pilli	26	200mm	1 x 1m
ASS	Acmena smithii 'Sublime'	Small leaved lilly pilli	1	25ltr	2.5 x 5m
BF	Buxus faulkner	Korean box	19	200mm	1.2x1.2m
CGBF	Callistemon 'Great Balls of Fire'	Dwarf white bottlebrush	3	200mm	1.5x1.5m
DCTV	Dianella caerula cultivar	Cultivar flax lillies	4	200mm	.7 x .7m
EE	Eleocarpus eumundi	Eumundi quongdong	1	25ltr	4 x 9m
ER	Eleocarpus reticulatus	Blue berry ash	1	25ltr	5 x 9m
GT	Gazania tomentosa		12	200mm	G/cover
MLG	Magnolia grandiflora 'little gem'	Dwarf bullbay	1	25ltr	3 x 6m
MMM	Murraya Min a Min	Dwarf Mock orange	11	200mm	1 x 1m
MP	Myoporum parvifolium	Creeping boobialla	2	200mm	G/cover
RI	Raphiolepis intermedia		4	200mm	1.5x1.5m
RSM	Raphiolepis snow maiden		13	200mm	1.2 x 1.2m
RS	Raphiolepis 'Springtime'		4	200mm	1.2 x 1.2m
TLL	Tristaniopsis laurina 'Luscious'	Water gum	1	25ltr	5 x 9m
TVV	Tulbaghia violacea variegata	Ornamental Variegated society garlic	12	200mm	.3x.3m
WF	Waterhousea floribunda	Weeping lilly pilli	1	25ltr	8 x 8m

ALL HEIGHTS ARE AVERAGE DEPENDENT ON SOIL, CLIMATE, MAINTENANCE, ETC.



**INITIAL PREPARATION**

Verify all dimensions on site prior to commencement, locate all underground services and ensure no damage occurs to them throughout the contract. Comply with the requirements of the Council site guidelines in reference to erosion and sediment control regulations and other environmental controls to contain all within confines of the site. Spray with approved herbicide weed killer to all proposed lawn and garden areas to manufactures directions. Spray all weeds before commencement of any site works are carried and throughout the contract so as to suppress any weeds that may arise. Source all plants before start of job so the time factor to purchase from species list, will be true to plant schedule. The trees and shrubs recommended may sometimes be difficult to source due to times of year, weather, disease etc, this being the case, please inform early so arrangements to substitute can be made. Excess soils and contaminated soil are to be removed within the guidelines of the council requirements to approved sites.

**SOIL PREPARATION**

Cultivate to the minimum depth of 200mm in all garden areas and 100mm depth in all lawn areas; add a clay breaker to all garden areas, before the addition of garden soil is added. In all areas where fill is required, gain required levels using a premium soil mix. Where excavation is required as with clay excavate as required to allow for addition of 200-400mm depth of premium garden soil to garden areas and 100-300mm depth of topsoil to lawn areas. Undertake all required action to ensure that no root balls of proposed plants sit in clay wells and that all garden and lawn areas drain satisfactorily. It is the contractor's responsibility to ensure the end result of the project is that all lawn and garden areas drain sufficiently (both surface and subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Soil levels are to allow for the addition of turf and mulches to specified requirements.

**GARDEN EDGING**

**EDGING:** Timber edging shall be located to all planter bed edges where meeting new or existing turfed areas. Use 38x150mm treated pine edging with 50x50 pegs at 1200 centres finished 30mm below top of edging.

**PLANTING**

Purchase plants from an approved nursery that supplies plants that are true to type and species, healthy and able to store at nursery to maintain vigor before planting. Plant within 24hrs of plants being delivered. Set out plants as indicated on plan. Plant holes shall be dug approximately twice the width and 100mm deeper than the plant root balls that they are to receive. Add fertilizer, followed by 100mm of garden soil shall be placed into the base of hole and lightly consolidated. Remove plant from container install and backfill with garden soil and firmed into place. Base of stem shall finish flush with finished soil level. Thoroughly water all plants on first planting to soak soil of plant and surrounding soil so as to allow roots to adjust, do not allow drying out. Water regular over the first 3-4 weeks.

**FERTILISING**

Use slow release fertilizers such as osmocote and or agriform tablets on all plants.

**MULCHING**

Install 100mm minimum of Forest mulch as a mulch over all gardens. Shaded areas mulch with 10-25mm pebble mulch with weedmat under.

**GRAVEL AREAS**

- Consolidated crushed rhyolite, 100mm thick, over a compacted road base. Contain areas between gardens & gravel with timber edging.

**RETAINING WALLS**

Erection of masonry block retaining walls treated timber retaining walls to be as per retaining wall specification guidelines. All retaining walls and footings to remain within the confines of boundary.

**TURF**

Prepare for, level and lay cultivated Buffalo turf to all areas nominated on the plan as being lawn. To be laid within 24 hrs of delivery on site, making sure all areas are level for drainage, garden edging and paths.

**COMPLETION**

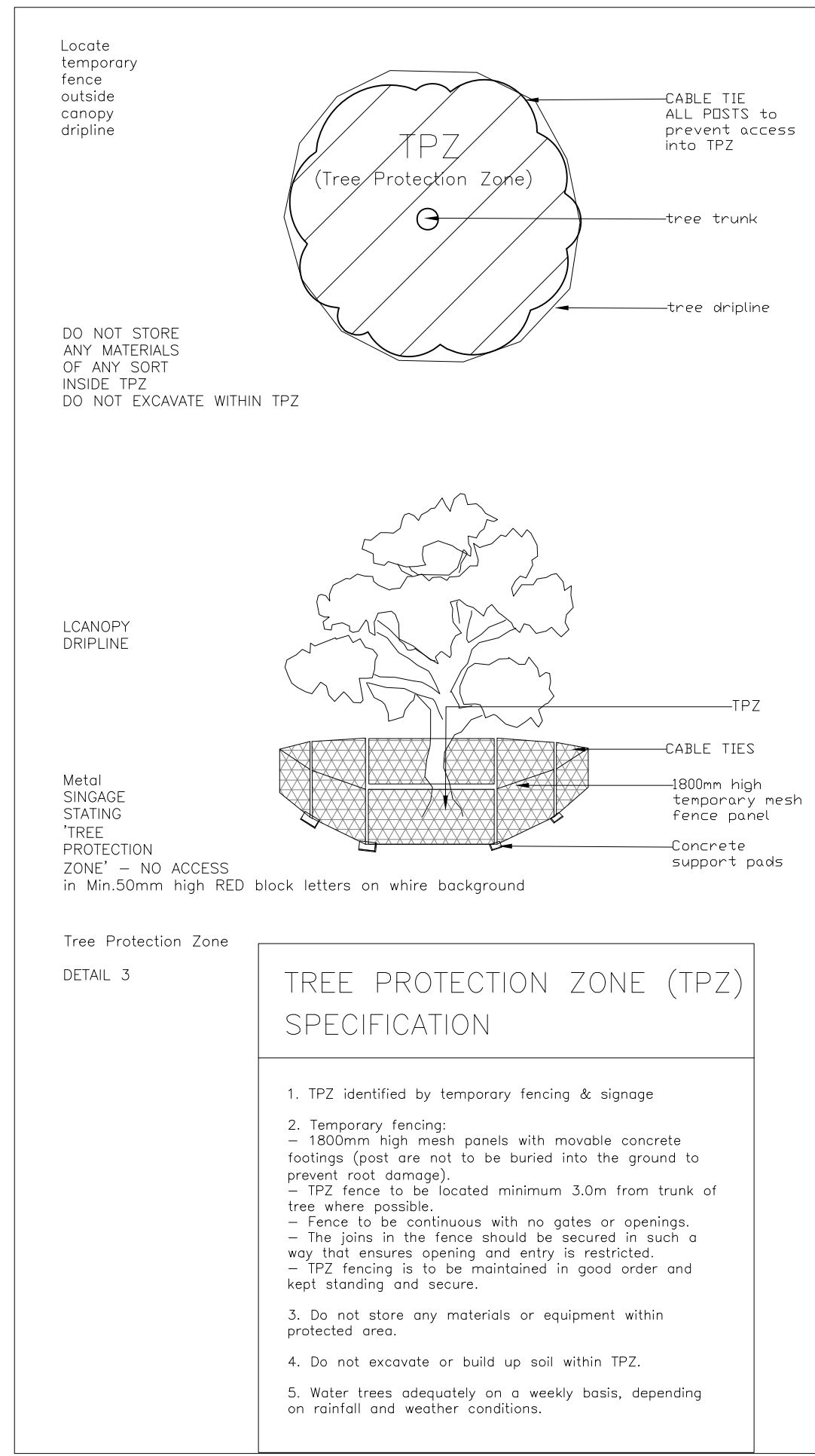
Prior to practical completion removal from site all unwanted debris occurring from work. Satisfy council that all landscaping work has been undertaken in strict accordance with council's landscape codes and guide lines.

At the completion of landscape works and prior to the issue of the Certificate of Practical Completion.

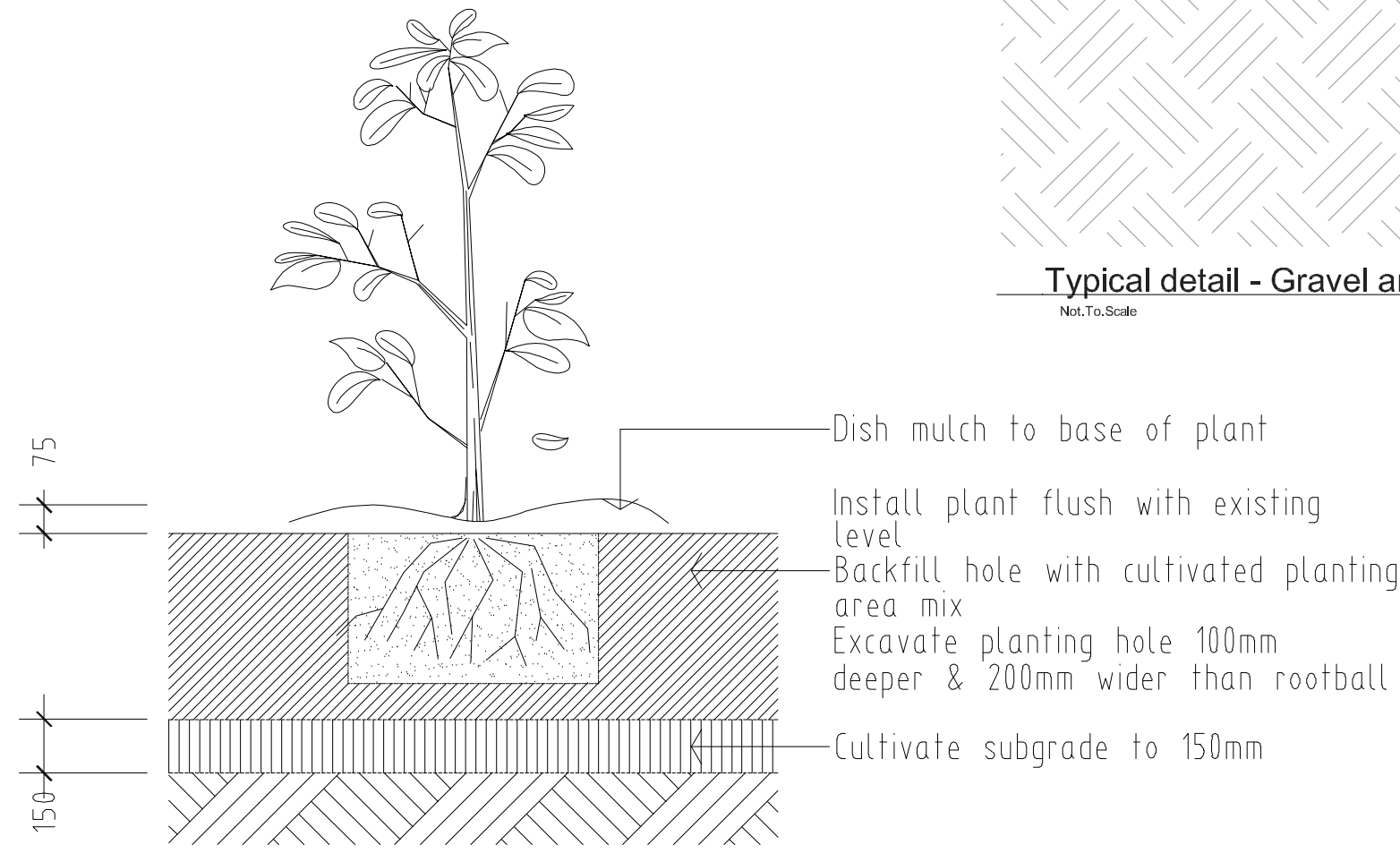
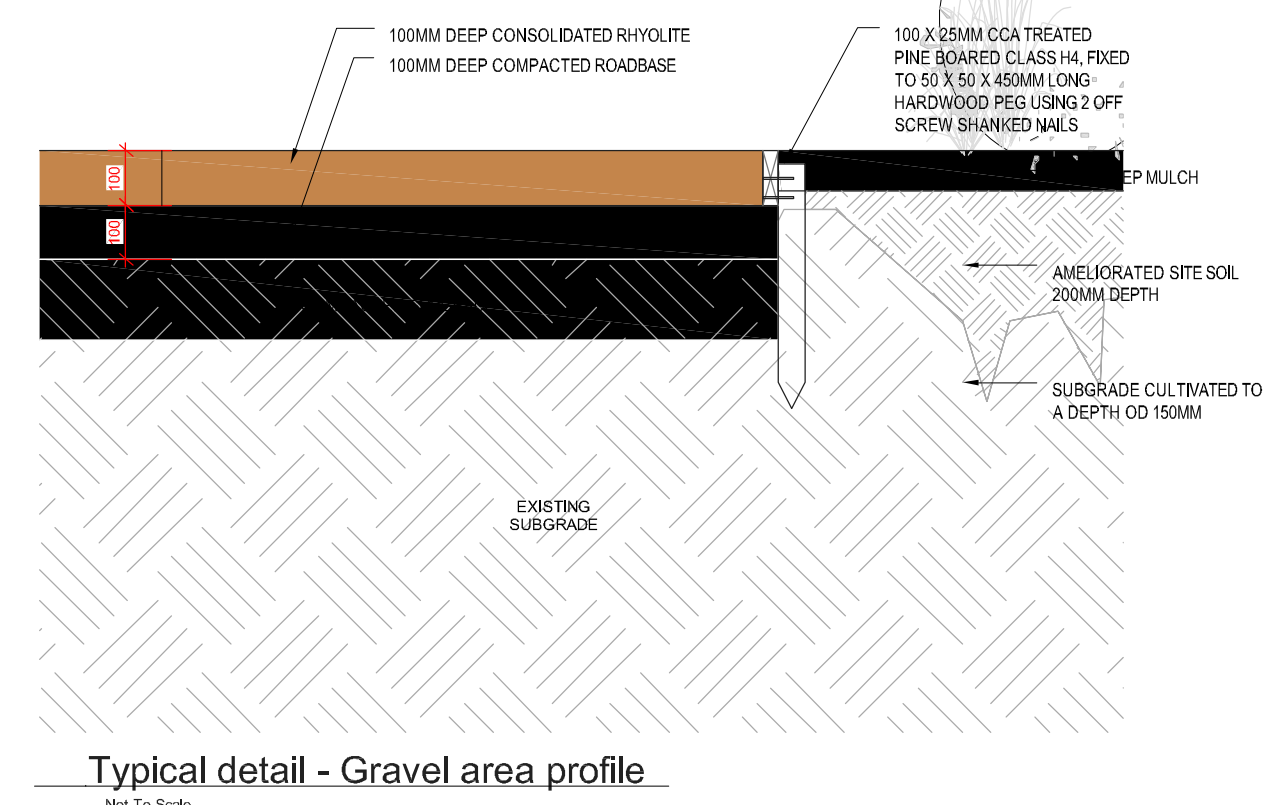
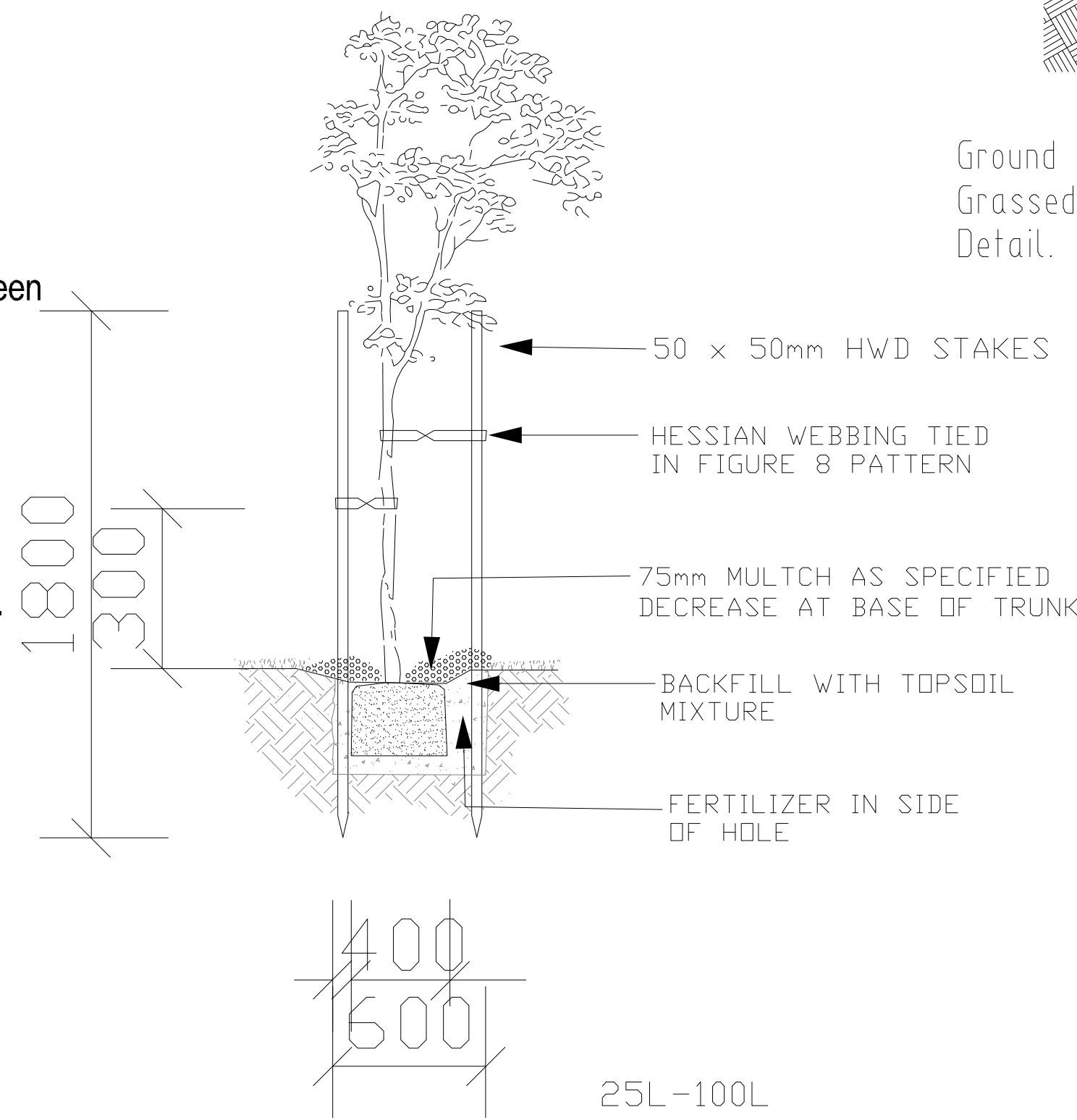
Carry out the following during the maintenance period( determined by Builder). These works shall include but not limited to watering, weeding, fertilizing, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovation, top dressing and the like.

**EXISTING TREES**

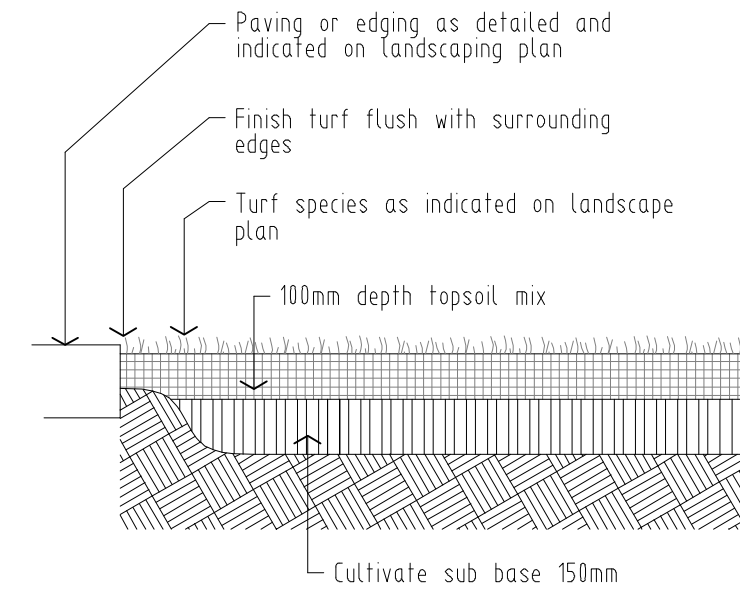
The existing trees to be retained on site are to be protected by surrounding with a 1.8m high chainmesh fence 3.00m from the base of the tree. This fence is to be erected prior to works commencing on site and is to be retained until all building works are completed. The enclosed area is to remain free of materials, machinery, vehicles or site sheds. With this preparation is to protect the existing tree and its critical roots from mechanical damage, compaction or any other adverse impacts resulting from construction activity and allowing the trees to grow the optimum growth once all works have been finalized.



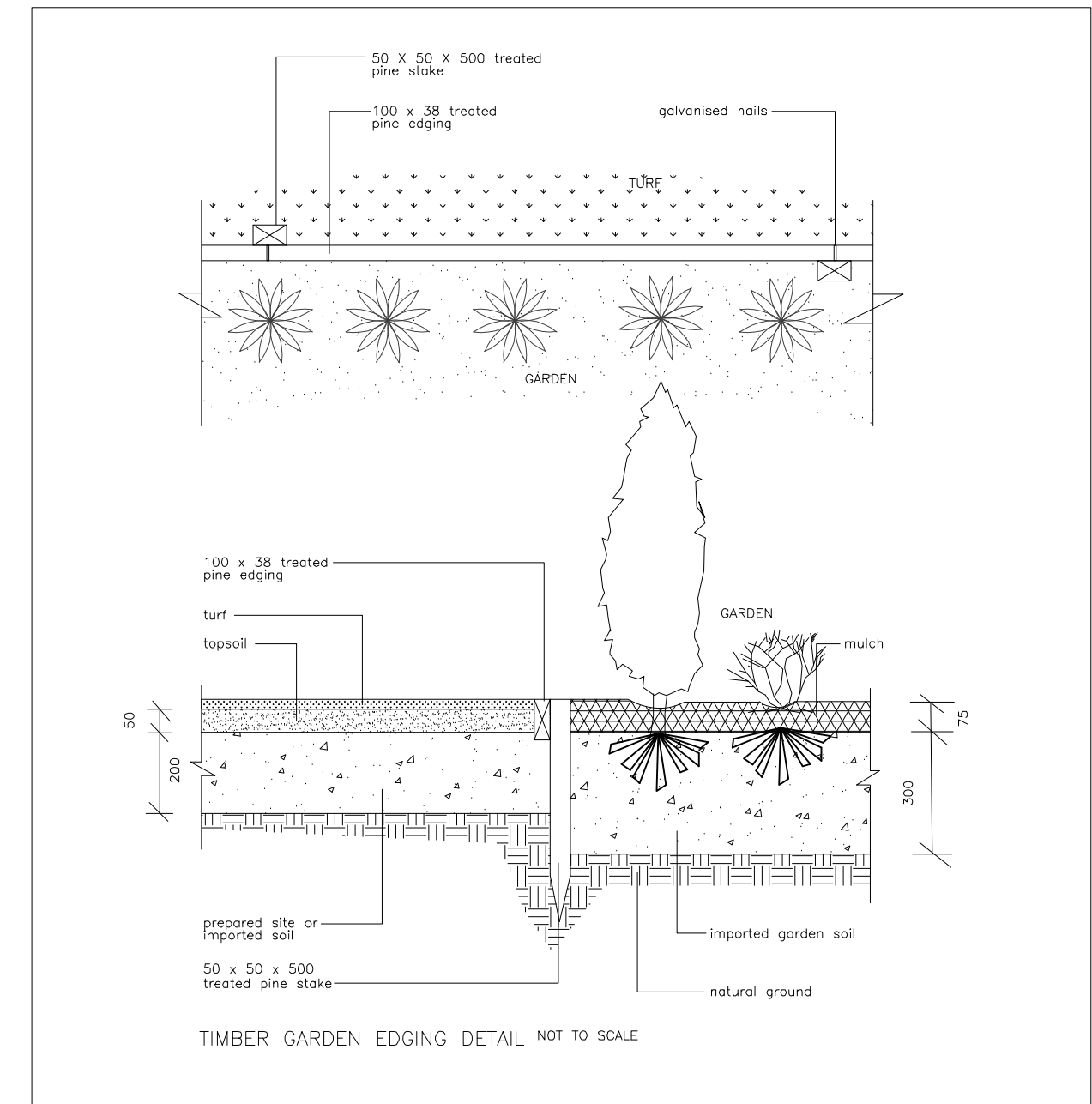
TREES STAKE DIAGRAM



Planting in garden beds Detail. Not To Scale.



Ground preparation Grassed area: turf using imported topsoil Detail. Not To Scale.

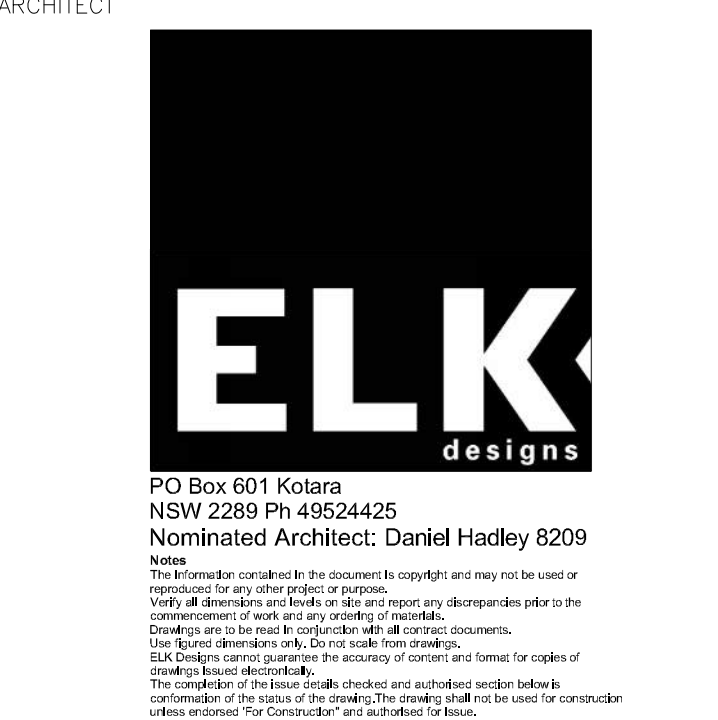


DATE	BY	AMENDMENT

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**335 LAMBTON ROAD**  
**NEW LAMBTON**

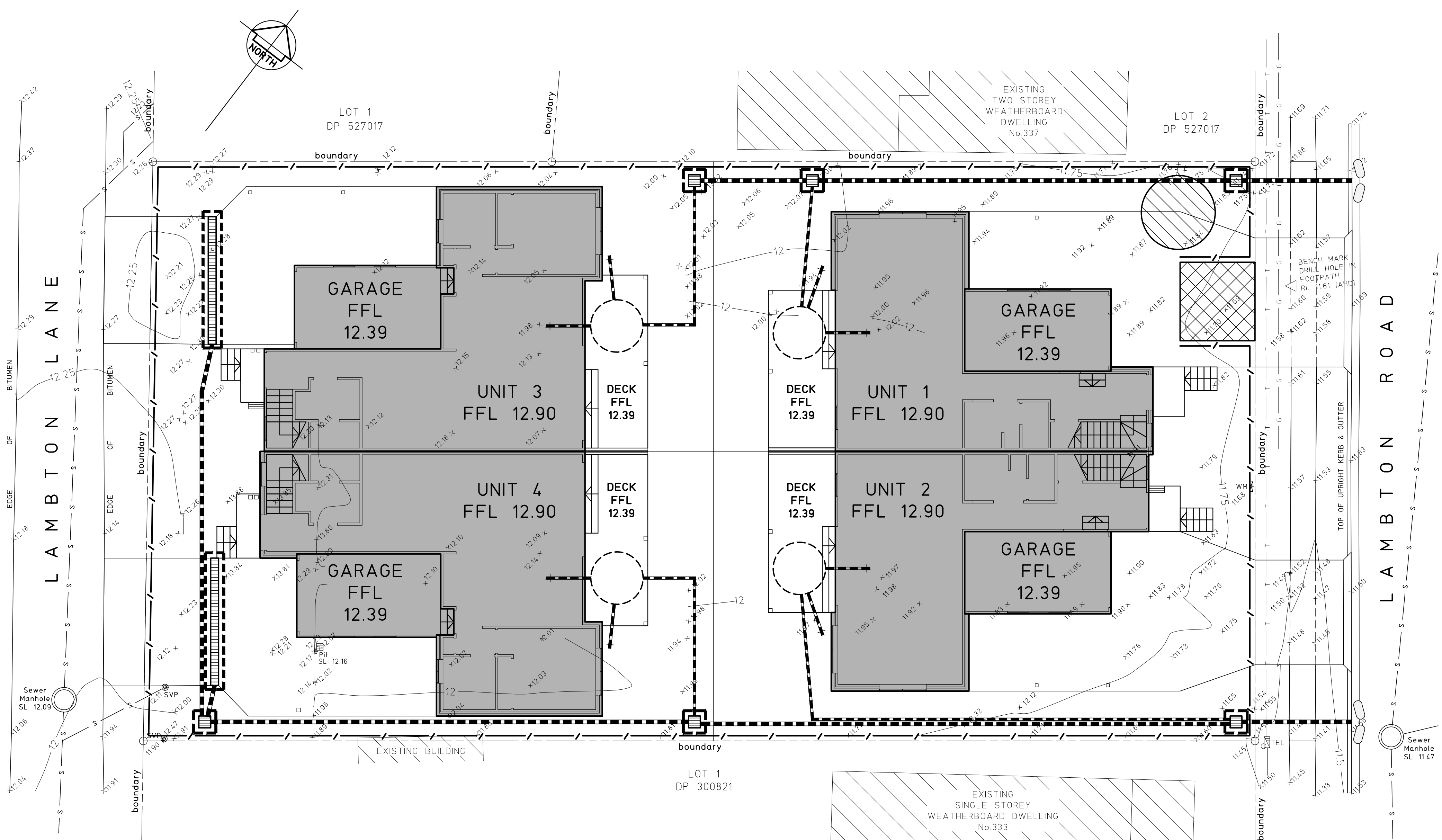
CLIENT **FOURJAY PTY LTD**



PLANT SCHEDULE						
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ALL HEIGHTS ARE AVERAGE DEPENDENT ON SOIL, CLIMATE, MAINTENANCE, ETC.						

DRAWN Mishka	DATE 22/06/2021
SCALES	CHECKED JK
SHEET 3 OF 3 Specification Plan	JOB No. FOUR300421







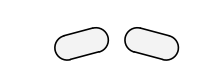


## SEDIMENTATION AND EROSION CONTROL PLAN

SCALE 1:100

### SEDIMENTATION AND EROSION CONTROL NOTES

- SELECTIVE CLEARING OF VEGETATION TO BE RESTRICTED TO NOMINATED AREAS WITH CLEARED VEGETATION WIND ROWED ON THE CONTOUR.
- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO BE STRIPPED AND STOCKPILED AT THE NOMINATED SITE.
- NO MORE THAN 150m OF TRENCH TO BE OPEN AT ANY ONE TIME.
- CUT AND FILL BATTER GRADIENTS OF 1:2 (MAXIMUM).
- A STRIP OF TURF 450mm WIDE IS TO BE PLACED IMMEDIATELY BEHIND THE KERB ON ALL NEW ROAD TO ACT AS A FILTER TRAP. REFER TO DETAIL SD6-13.
- ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED BY SITE SUPERVISOR AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED STOCKPILE SITE.
- THE PROJECT MANAGER TO INFORM ALL CONTRACTORS AND SUB-CONTRACTORS OF THEIR OBLIGATIONS UNDER THE EROSION AND SEDIMENT CONTROL PLAN.
- NO DISTURBED AREA IS TO REMAIN DENUEDED LONGER THAN 14 DAYS.
- ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END OF EACH DAY'S OPERATION.
- THE CONTRACTOR MUST ENSURE THE SUITABILITY AND INTEGRITY OF ALL WORKS AT THE END OF EACH DAY'S WORK.
- ORANGE BARRIER TAPE TO BE AFFIXED TO TOP OF SEDIMENT CONTROL BARRIER TO IDENTIFY WORK AREA.
- ALL SEDIMENTATION & EROSION CONTROL MEASURES ARE TO STRICTLY COMPLY WITH THE GUIDELINES DETAILED IN THE DEPARTMENT OF HOUSING PUBLICATION, "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", 4TH EDITION.
- WATER TRUCKS TO BE USED AS REQUIRED TO PREVENT WIND EROSION.
- SUBGRADE MATERIAL TO BE CONSTRUCTED IMMEDIATELY FOLLOWING FILL.

### LEGEND

-  DENOTES ALLOWABLE AREA FOR TEMPORARY STOCKPILING OF CUT SOIL MATERIAL, REFER TO DETAIL SD4-1
-  DENOTES SEDIMENT FENCE, REFER TO DETAIL SD6-8
-  DENOTES MESH AND GRAVEL INLET FILTER, REFER TO DETAIL SD6-11
-  DENOTES GEOTEXTILE INLET FILTER, REFER TO DETAIL SD6-12
-  DENOTES STABILISED SITE ACCESS, REFER TO DETAIL SD6-14

NOT FOR CONSTRUCTION

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**THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ENDORSED BELOW**

ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE	ISSUE
1	REVISED DEVELOPMENT APPLICATION	15.7.21			
0	DEVELOPMENT APPLICATION	18.6.21			

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### CLIENT

FOURJAY PTY LTD

TITLE  
SEDIMENTATION AND  
EROSION CONTROL PLAN

### PROJECT

PROPOSED MULTI DWELLING AT;  
SP 31978,  
No.335 LAMBTON ROAD,  
NEW LAMBTON

### DO NOT SCALE DRAWING

DRAWN	ENGINEER	No in SET	SHEET
L.C.	P.M.	3	A1
SCALES	JOB No	DRAWING No	ISSUE
1:100	210631	C01	1



**Construction Notes**

- Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
- Construct on the contour as low, flat, elongated mounds.
- Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
- Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
- Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

**STOCKPILES** SD 4-1

**Construction Notes**

- Scarify the ground surface along the line of the contour to a depth of 50 mm to 100 mm to break up any hardsetting surfaces and to provide a good bond between the respread material and subsoil.
- Add soil ameliorants as required by the ESCP or SWMP.
- Rip to a depth of 300 mm if compacted layers occur.
- Where possible, replace topsoil to a depth of 40 to 60 mm on lands where the slope exceeds 4(H):1(V) and to at least 75 mm on lower gradients.

**REPLACING TOPSOIL** SD 4-2

**Construction Notes**

- Prohibit all traffic until the access way is constructed.
- Strip any topsoil and place a needle-punched textile over the base of the crossing.
- Place clean, rigid, non polluting aggregate or gravel in the 100 mm to 150 mm size class over the fabric to a minimum depth of 200 mm.
- Provide a 2-metre wide carriageway with sufficient length of culvert pipe to allow less than a 3(H):1 (V) slope on side batters.
- Install a lower section to act as an emergency spillway in greater than 4(H):1 (V) and to at least 75 mm on lower gradients.
- Ensure that culvert outlets extend beyond the toe of fill embankments.

**TEMPORARY WATERWAY CROSSING** SD 5-1

**Construction Notes**

- Check dams can be built with various materials, including rocks, logs, sandbags and straw bales. The maintenance program should ensure their integrity is retained, especially where constructed with straw bales. In the case of bales, this might require their replacement each two to four months.
- Trench the check dam 200 mm into the ground across its whole width. Where rock is used, fill the trenches to at least 100 mm above the ground surface to reduce the risk of undercutting.
- Normally, their maximum height should not exceed 600 mm above the gully floor. The centre should act as a spillway, being at least 150 mm lower than the outer edges.
- Space the dams so the toe of the upstream dam is level with the spillway of the next downstream dam.

**ROCK CHECK DAM** SD 5-4

**Construction Notes**

- Build with gradients between 1 percent and 5 percent.
- Avoid removing trees and shrubs if possible - work around them.
- Ensure the structures are free of projections or other irregularities that could impede water flow.
- Build the drains with circular, parabolic or trapezoidal cross sections, not V-shaped.
- Ensure the banks are properly compacted to prevent failure.
- Complete permanent or temporary stabilisation within 10 days of construction.

**EARTH BANK (LOW FLOW)** SD 5-5

**Construction Notes**

- Construct at the gradient specified on the ESCP or SWMP, normally between 1 and 5 percent
- Avoid removing trees and shrubs if possible - work around them.
- Ensure the structures are free of projections or other irregularities that could impede water flow.
- Build the drains with circular, parabolic or trapezoidal cross sections, not V-shaped, at the dimensions shown on the SWMP.
- Ensure the banks are properly compacted to prevent failure.
- Complete permanent or temporary stabilisation within 10 days of construction following Table 5.2 in Landcom (2004).
- Where discharging to erodible lands, ensure they outlet through a properly constructed level spreader.
- Construct the level spreader at the gradient specified on the ESCP or SWMP, normally less than 1 percent or level.
- Where possible, ensure they discharge waters onto either stabilised or undisturbed disposal sites within the same subcatchment area from which the water originated. Approval might be required to discharge into other subcatchments.

**EARTH BANK (HIGH FLOWS)** SD 5-6

**Construction Notes**

- Remove any rocks, clods, sticks or grass from the surface before laying matting
- Ensure that topsoil is at least 75 mm deep.
- Complete fertilising and seeding before laying the matting.
- Ensure fabric will be continuously in contact with the soil by grading the surface carefully first.
- Lay the fabric in "shingle-fashion", with the end of each upstream roll overlapping those downstream. Ensure each roll is anchored properly at its upslope end.
- Ensure that the full width of flow in the channel is covered by the matting up to the design storm event, usually in the 10-year ARI time of concentration storm event.
- Divert water from the structure until vegetation is stabilised properly.

**RECP : CONCENTRATED FLOW** SD 5-7

**Construction Notes**

- Compact the subgrade fill to the density of the surrounding undisturbed material.
- Prepare a smooth, even foundation for the structure that will ensure that the needle-punched geotextile does not sustain serious damage when covered with rock.
- Should any minor damage to the geotextile occur, repair it before spreading any aggregate. For repairs, patch one piece of fabric over the damage, making sure that all joints and patches overlap more than 300 mm.
- Lay rock following the drawing, according to Table 5.2 of Landcom (2004) and with a minimum diameter of 75 mm.
- Ensure that any concrete or spiral used for the energy dissipater or the outlet protection conforms to the grading limits specified on the SWMP.

**ENERGY DISSIPATER** SD 5-8

**Construction Notes**

- Remove all vegetation and topsoil from under the dam wall and from within the storage area.
- Construct a cut-off trench 500 mm deep and 1,200 mm wide along the centreline of the embankment extending to a point on the gully wall level with the riser crest.
- Maintain the trench free of water and recompact the materials with equipment as specified in the SWMP to 95 per cent Standard Proctor Density.
- Select fill following the SWMP that is free of roots, wood, rock, large stone or foreign material.
- Prepare the site under the embankment by ripping to at least 100 mm to help bond compacted fill to the existing substrate.
- Spread the fill in 100 mm to 150 mm layers and compact it at optimum moisture content following the SWMP.
- Construct the emergency spillway.
- Rehabilitate the structure following the SWMP.

**EARTH BASIN - WET** (APPLIES TO TYPE 'D' AND TYPE 'F' SOILS ONLY) SD 6-4

**Construction Notes**

- Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
- Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
- Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
- Fit self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
- Join sections of fabric at a support post with a 150-mm overlap.
- Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

**SEDIMENT FENCE** SD 6-8

**Construction Notes**

- Install filters to kerb inlets only at sag points.
- Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25 mm to 50 mm gravel.
- Form an elliptical cross-section about 150 mm high x 400 mm wide.
- Place the filter at the opening leaving at least a 100-mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
- Form a seal with the kerb to prevent sediment bypassing the filter.
- Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between.

**MESH AND GRAVEL INLET FILTER** SD 6-11

**Construction Notes**

- Fabricate a sediment barrier made from geotextile or straw bales.
- Follow Standard Drawing 6-8 for installation procedures for the straw bales or geotextile. Reduce the pocket spacing to 1 metre centres.
- In waterways, artificial sag points can be created with sandbags or earth banks as shown in the drawing.
- Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

**GEOTEXTILE INLET FILTER** SD 6-12

**Construction Notes**

- Install a 450 mm minimum wide roll of turf on the footpath next to the kerb and at the same level as the top of the kerb.
- Use 1.4 metre long turf strips normal to the kerb every 10 metres.
- Rehabilitate disturbed soil behind the turf strip following the ESCP/SWMP.

**KERBSIDE TURF STRIP** SD 6-13

**Construction Notes**

- Strip the topsoil, level the site and compact the subgrade.
- Cover the area with needle-punched geotextile.
- Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
- Ensure the structure is at least 15 metres long or to building alignment and at least 3 metres wide.
- Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence.

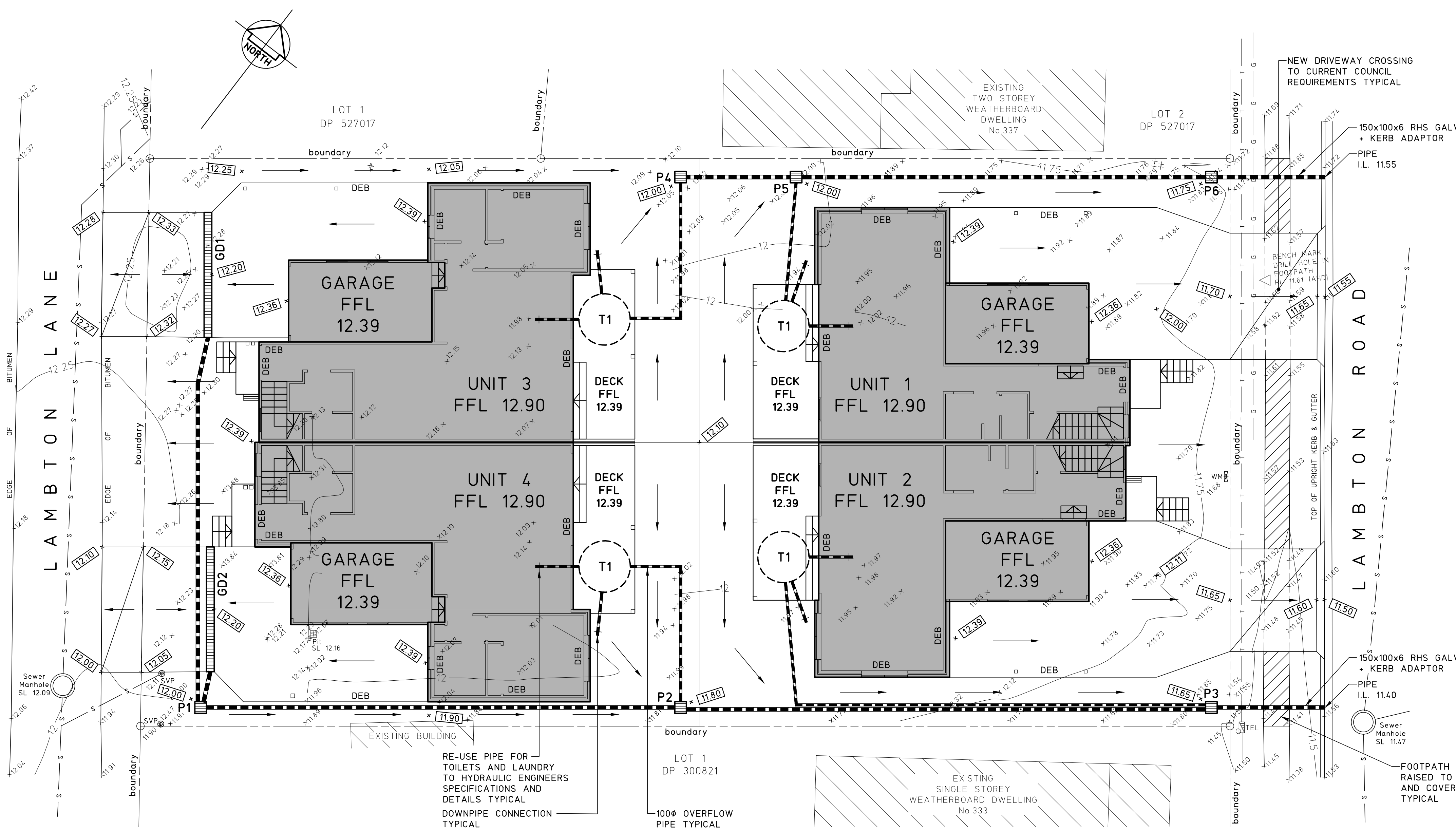
**STABILISED SITE ACCESS** SD 6-14

**SEDIMENTATION AND EROSION CONTROL DETAILS**

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<b>THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ENDORSED BELOW</b>		The concepts and information contained in this document are the copyright of MPC Consulting Engineers. Use or copying of the document in whole or in part without the written permission of MPC Consulting Engineers constitutes an infringement of copyright.				TITLE <b>SEDIMENTATION AND EROSION CONTROL DETAILS</b>		DRAWN <b>L.C.</b>		ENGINEER <b>P.M.</b>		No in SET <b>3</b>		SHEET <b>A1</b>	
0 DEVELOPMENT APPLICATION		18.6.21						SCALES <b>N.T.S.</b>		JOB No <b>210631</b>		DRAWING No <b>C02</b>		ISSUE <b>0</b>	
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE	ISSUE	FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm									





**LEGEND**

- DENOTES 150Ø PIPE U.N.O.
- 12- DENOTES EXISTING CONTOUR
- +11.4 DENOTES EXISTING LEVEL
- 12.35 DENOTES DESIGN SPOT LEVEL
- DEB DENOTES DROPPED EDGE BEAM TO BUILDING SLAB OR PAVEMENT
- DENOTES DIRECTION OF SURFACE FLOWS
- T1 DENOTES 4000 LITRE UNDER FLOOR WATER STORAGE TANK STORING ROOF RAINWATER TO MANUFACTURERS SPECIFICATION. TANK SHALL BE FITTED WITH A FIRST FLUSH SYSTEM, PUMP TO SUPPLY TOILETS AND LAUNDRY AND A DIVERSION SWITCH TO MAINS SUPPLY ON TANK BEING EMPTY. BACK FLOW PREVENTION TO MAINS WATER SHALL BE PROVIDED. TANK TO OVERFLOW TO STORMWATER SYSTEM.

**PIT SCHEDULE**

PIT No.	SIZE	TYPE	SURFACE LEVEL S.L.	INVERT LEVEL I.L.
P1	450x450	GRATED PIT	12.00	11.70
P2	450x450	GRATED PIT	11.80	11.55
P3	450x450	GRATED PIT	11.65	11.45
P4	450x450	GRATED PIT	12.00	11.75
P5	450x450	GRATED PIT	12.00	11.70
P6	450x450	GRATED PIT	11.75	11.60
GD1	300 WIDE	GRATED DRAIN	REFER TO PLAN	150 MIN DEEP
GD2	300 WIDE	GRATED DRAIN	REFER TO PLAN	150 MIN DEEP

**NOTE**  
PITS P2-P5 TO BE SILT TRAP PITS, PROVIDE 300 MIN EXTRA DEPTH TO PIT FROM PIPE INVERT LEVEL (I.L) TYPICAL

**STORMWATER PLAN**

- SCALE 1:100  
STORMWATER NOTES
- ALL WORKS TO BE IN ACCORDANCE WITH AS3500.3.
  - ALL PIPES TO HAVE A 1% MINIMUM FALL U.N.O.
  - ALL DOWNPIPES (DP) TO BE SPECIFIED BY ARCHITECT. FOR EXACT LOCATION OF DOWNPIPES, REFER TO ARCHITECTURAL DRAWINGS.
  - ALL PIPES TO BE UPVC U.N.O.
  - ALL UPVC PIPES TO BE SEWER GRADE AND TO AS1260.
  - ALL REINFORCED CONCRETE PIPES (RCP) TO BE SPIGOT AND SOCKET TYPE WITH RUBBER RINGS CLASS 2 TO AS4058.
  - PITS TO BE C18 REINFORCED PRE-CAST CONCRETE PITS OR EQUIVALENT PROPRIETARY PITS.
  - ALL LIDS AND GRATES TO BE PROPRIETARY HEAVY DUTY IN AREAS OF VEHICULAR TRAFFIC, LIGHT DUTY ELSEWHERE, IN ACCORDANCE WITH AS3996.
  - MINIMUM COVER TO STORMWATER PIPES TO BE AS FOLLOW U.N.O.  
TRAFFICABLE AREAS - 450mm, LANDSCAPED AREAS - 300mm.
  - PIPES TO BE CONCRETE ENCASED IF MINIMUM COVERS CANNOT BE OBTAINED IN TRAFFICABLE AREAS, REFER TO CLAUSE 3.8 AS3500.3. ALTERNATIVELY USE UPVC SEWER GRADE PIPES UNDER ROAD AND BUILDINGS.
  - PROVIDE 100Ø AG DRAINS IN FILTER SOCKS TO ALL LANDSCAPED AREAS, PLANTER BEDS AND STORMWATER PIPE TRENCHES.  
ALL AG DRAINS TO BE BEDDED IN COARSE AGGREGATE AND TO BE CONNECTED TO STORMWATER SYSTEM.
  - ALL PITS, DETENTION TANKS AND PROPRIETARY POLLUTION CONTROL DEVICES TO BE CLEANED OF SEDIMENT AT 3 MONTH MAXIMUM INTERVALS.
  - ALL EXISTING SERVICES TO BE LOCATED PRIOR TO COMMENCEMENT OF WORK.
  - ANY FOOTPATHS, KERB AND GUTTER OR ROADWAY DISTURBED BY WORKS TO BE REINSTATED TO CURRENT COUNCIL REQUIREMENTS.
  - PROVIDE ACCESS LADDER TO TANK AS REQUIRED, REFER TO AS1657.

**NOTE**  
SETOUT AND ALIGNMENT OF WALLS TO BOUNDARY TO ARCHITECTS DETAILS TYPICAL

**NOTE**  
ALL SETOUT, DIMENSIONS AND RL'S TO ARCHITECTS SPECIFICATION & DETAILS

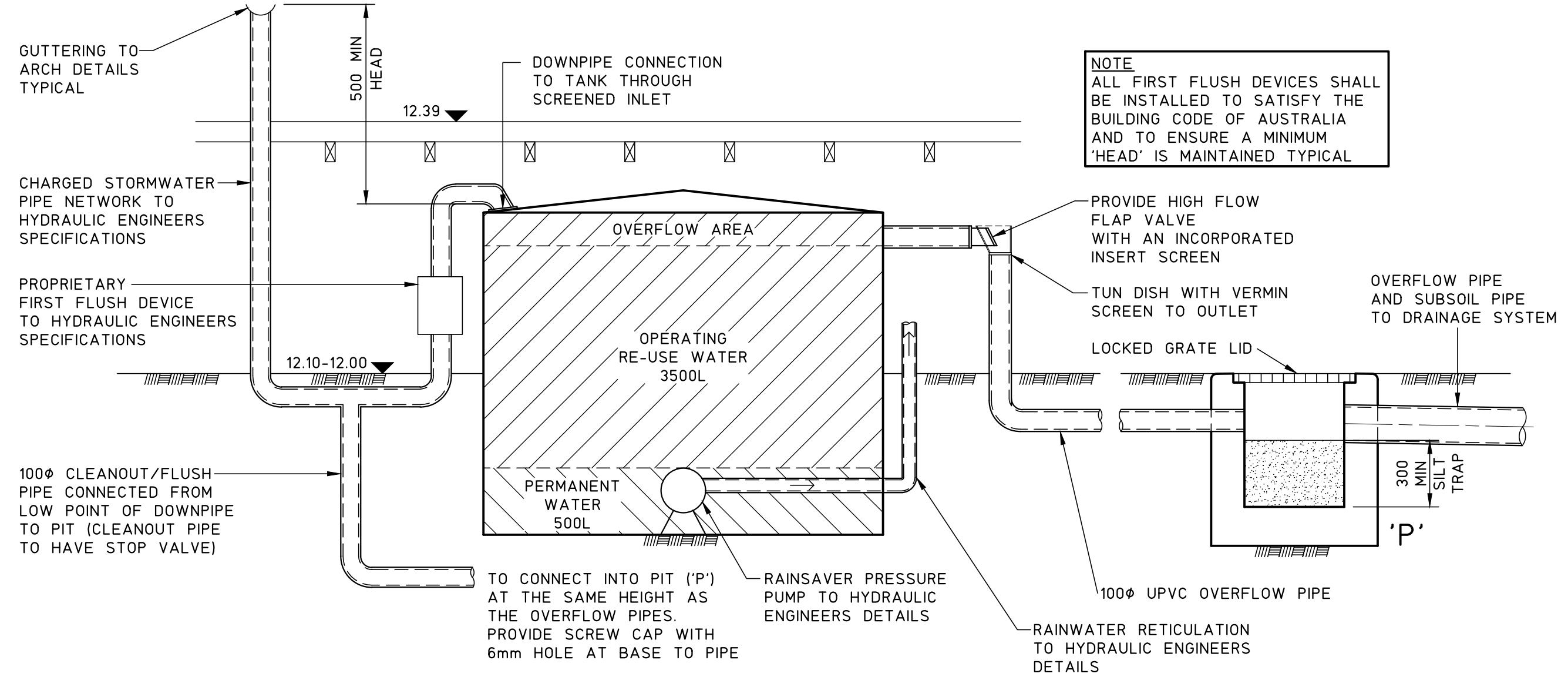
**NOTE**  
DRIVEWAY GRADES TO CURRENT COUNCIL REQUIREMENTS. BUILDER TO CONFIRM GRADES PRIOR TO CONSTRUCTION OF DRIVEWAY

**NOTE**  
ALL DOWNPIPES FROM EACH UNIT TO CONNECT TO EACH UNITS UNDER FLOOR WATER STORAGE TANK TYPICAL

**NOTE**  
BUILDER TO PROVIDE ADEQUATE SHORING IN ORDER TO MAINTAIN STABILITY OF EXISTING NEIGHBOURING STRUCTURES AND FENCES DURING EXCAVATION WORKS TYPICAL

**NOTE**  
ALL STRIP DRAINS AND AG LINES BEHIND RETAINING WALLS (RW1) AND KERBS (K1) TO CONNECT TO STORMWATER SYSTEM TYPICAL

**NOTE**  
PROVIDE EXTRA SLEEPERS UNDER BOUNDARY FENCE TO RETAIN SOIL AS REQUIRED (400 MAX RETAINING) TYPICAL



**TYPICAL TANK (T1) DETAIL**  
SCALE 1:20

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CLIENT: **FOURJAY PTY LTD**

TITLE: **STORMWATER PLAN AND DETAILS**

PROJECT: **PROPOSED MULTI DWELLING AT; SP 31978, No.335 LAMBTON ROAD, NEW LAMBTON**

DO NOT SCALE DRAWING

DRAWN L.C.	ENGINEER P.M.	No in SET 3	SHEET A1
SCALE 1:100, 20	JOB No 210631	DRAWING No C03	ISSUE 1

FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm