

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

ITEM-1 **Attachment A** - Submitted Plans - 147 Beaumont Street Hamilton

ITEM-2 **Attachment A** - Submitted Plans - 495 Hunter Street Newcastle



PUBLIC VOICE COMMITTEE MEETING

16 July 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

REPORTS BY COUNCIL OFFICERS

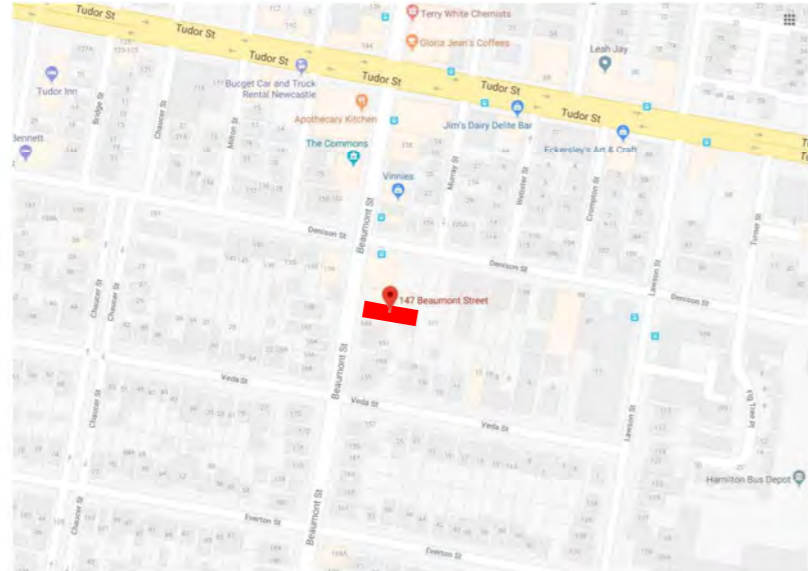
Item 1 - Attachment A - Plans DA2018/00609 - 147 Beaumont Street Hamilton

**Demolition of dwelling and outbuilding, erection of
three storey 16 room boarding house and
associated fencing**

DISTRIBUTED UNDER SEPARATE COVER

NEW GENERATION BOARDING HOUSE (NGBH)

147 BEAUMONT STREET HAMILTON, NSW 2303



SITE LOCATION

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

LEGEND:

NEW WORKS

DRAWING LIST:

DA00	COVER PAGE	NTS
DA01	SITE PLAN	AS SHOWN
DA02	GROUND FLOOR PLAN	AS SHOWN
DA03	1st FLOOR PLAN	AS SHOWN
DA04	2nd FLOOR PLAN	AS SHOWN
DA05	ROOF PLAN	AS SHOWN
DA06	ELEVATIONS	AS SHOWN
DA07	ELEVATIONS & SECTIONS	AS SHOWN
DA08	TABLE OF AREAS	AS SHOWN
DA09	SHADOW DIAGRAM - WINTER	AS SHOWN
DA10	SHADOW DIAGRAM - SUMMER	AS SHOWN
DA11	MATERIAL SHEET	AS SHOWN
DA12	NOTIFICATION PLAN	AS SHOWN

SARM Architects

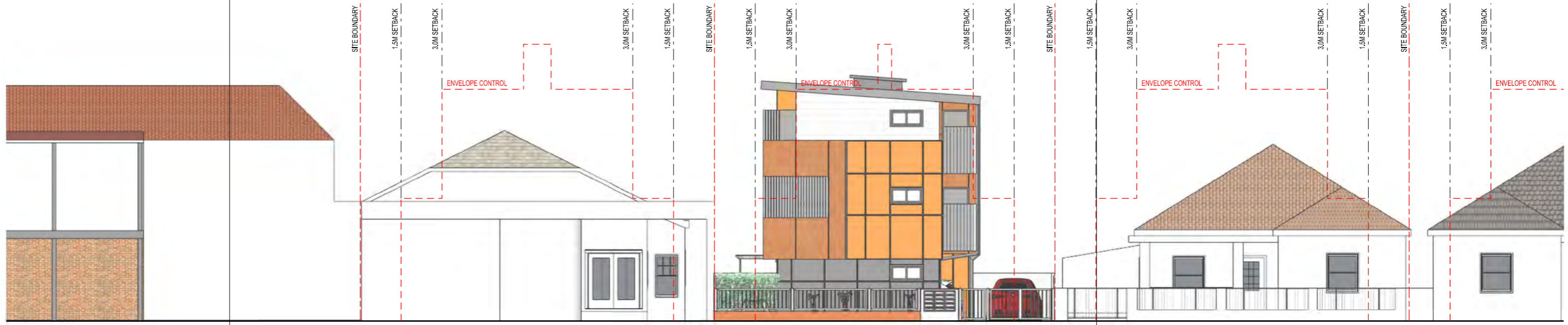
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 563 623

nominated architects
Stephen Arforn
reg. no. 7645
Robert McNamara
reg. no. 7271

live learn
work care

Job Name
NGBH 147 BEAUMONT ST.
Client
OWARCO 2303 PTY. LPT.
Sheet Title
COVER PAGE

Date
MAR 19
Scale
NTS@A3
Drawn
JF
Job No.
18003
Checked
SA
Drawing No.
DA00 - p14
Authorised
SA
Sheet No.
00



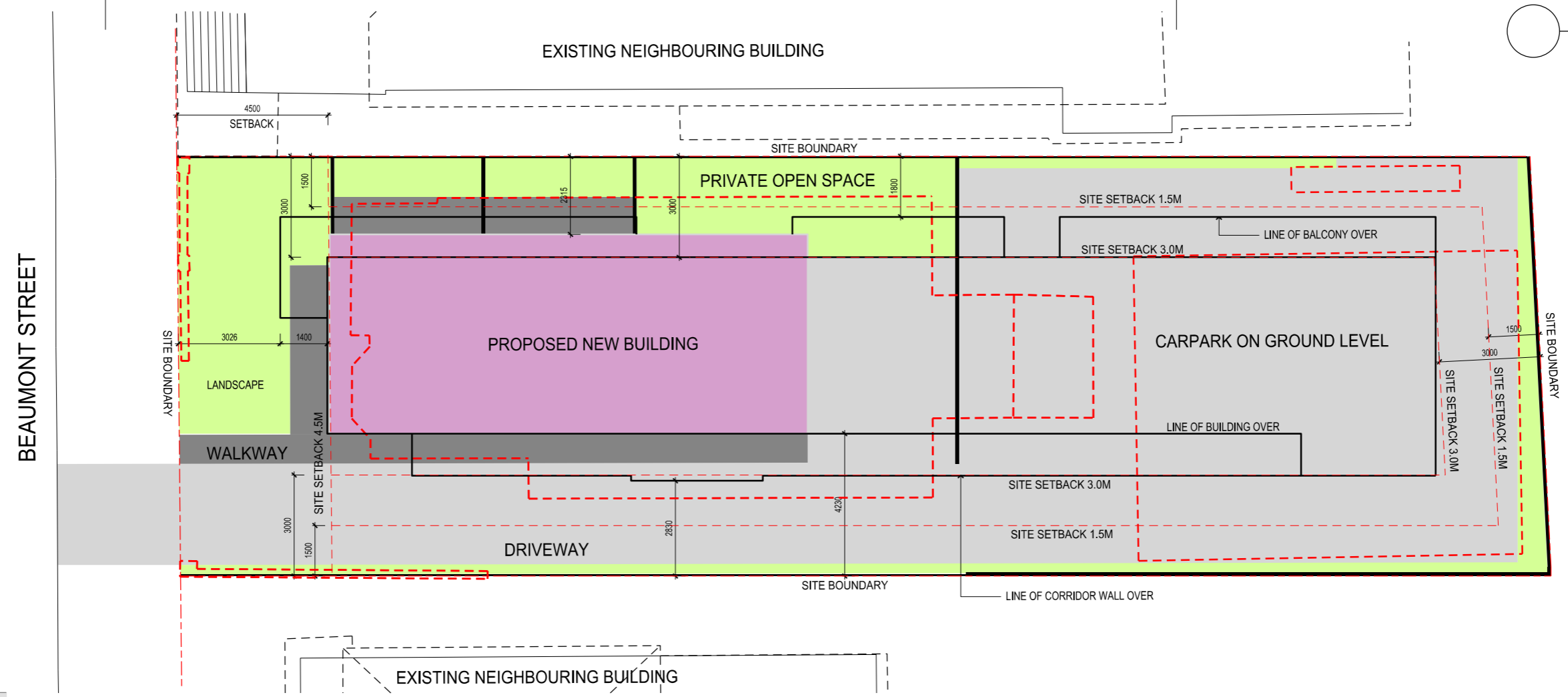
THE EXCHANGE HOTEL

EXISTING BUILDING
145 BEAUMONT STREET

PROPOSED NEW BUILDING
147 BEAUMONT STREET

EXISTING BUILDING
149 BEAUMONT STREET

STREET VIEW



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

LEGEND

- - - SITE BOUNDARY
- - - BUILDINGS TO BE DEMOLISHED SHOWN DOTTED IN RED WHICH INCLUDES EXISTING GARAGE, BRICK FENCE, FENCE, BUILDING, ROOF, CONCRETE SLAB, CLOTHES LINE
- - - BUILDING SETBACK
- PROPOSED NEW BUILDING
- LANDSCAPE AREA - REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- DRIVEWAY / CARPARK
- SLAB / DECKS / WALKWAY

1 SITE PLAN
1:150



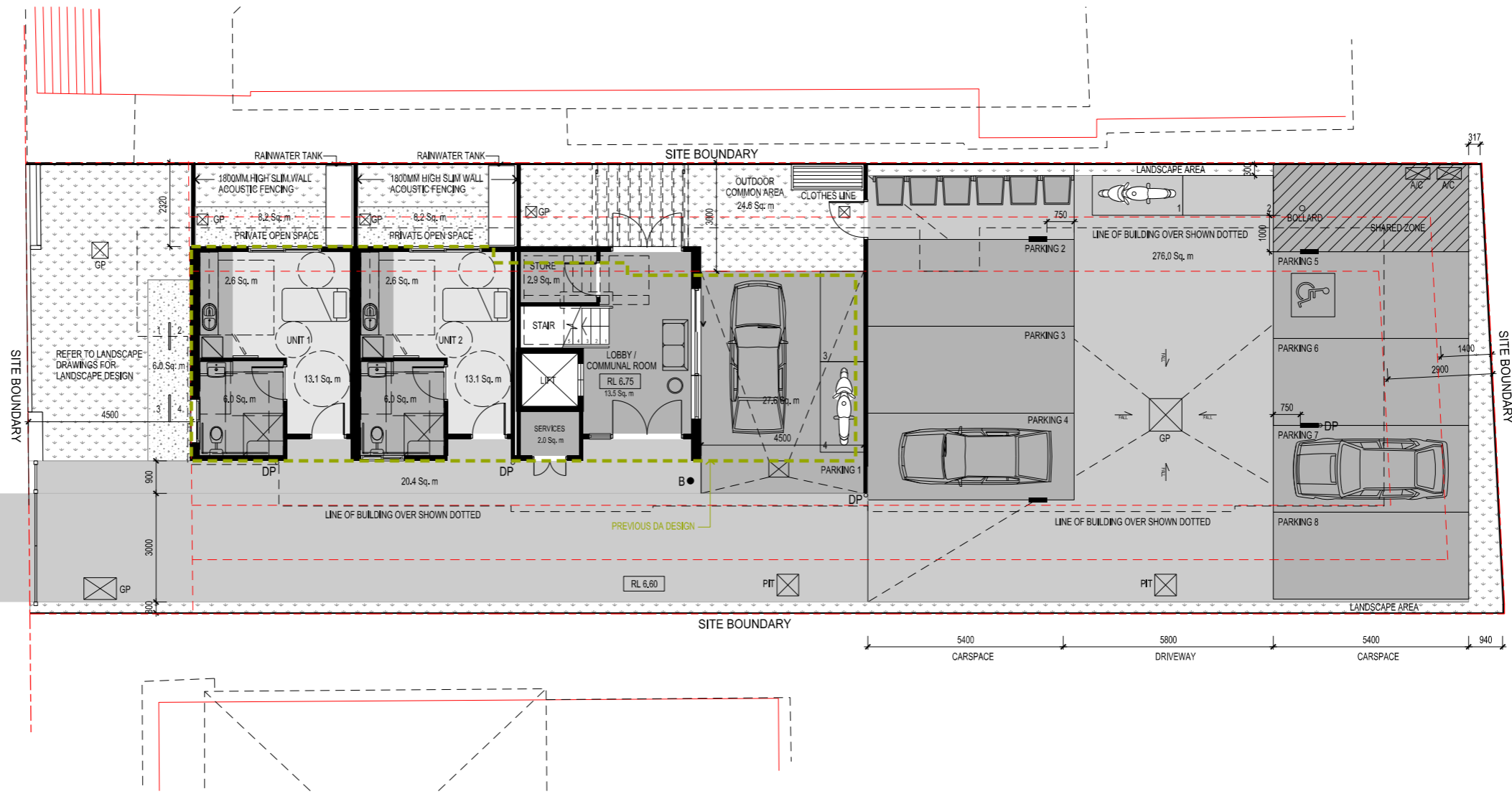
SARM Architects
 Suite 4, 7 Ridge Street
 North Sydney NSW 2060
 p +61 2 9922 2799
 f +61 2 9922 2755
 e architects@sarm.com.au
 ABN 26 000 663 623

nominated architects
 Stephen Arforn
 reg. no. 7645
 Robert McNamara
 reg. no. 7271

live learn
work care

Job Name	NGBH 147 BEAUMONT ST.	Date	MAR 19	Scale	1:150@A3
Client	OWARCO 2303 PTY. LPT.	Drawn	KO	Job No.	18003
Sheet Title	SITE PLAN	Checked	SA	Drawing No.	DA01 - p14
		Authorised	SA	Sheet No.	01

BEAUMONT STREET



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

1 GROUND FLOOR - PLAN
1:150

LEGEND
 A/C AIR CONDITIONING UNIT
 DP DOWNPIPE
 FW FLOOR WASTE
 RL FLOOR LEVEL



S A R M Architects

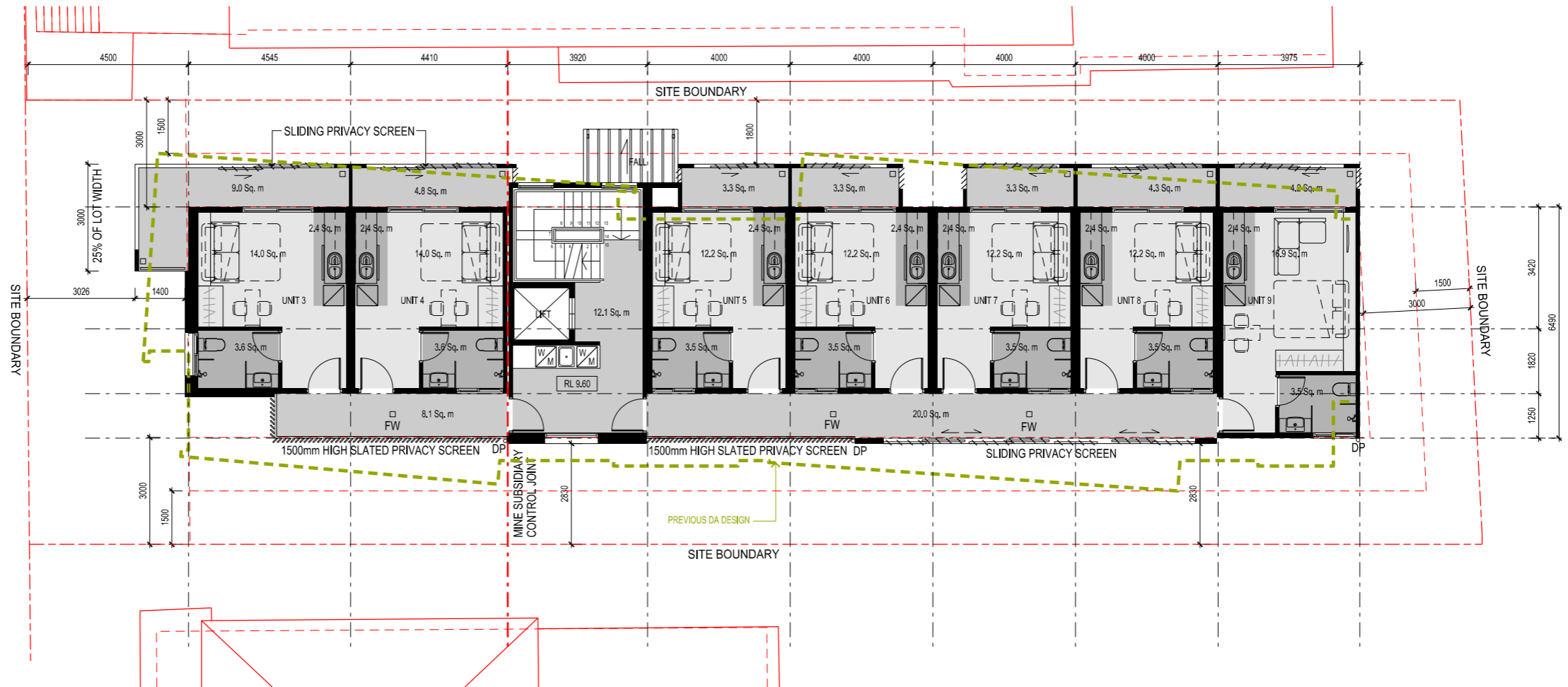
Suite 4, 7 Ridge Street
 North Sydney NSW 2060
 p +61 2 9922 2799
 f +61 2 9922 2755
 e architects@sarm.com.au
 ABN 26 000 663 623

live learn
 work care

Job Name
NGBH 147 BEAUMONT ST.
 Client
OWARCO 2303 PTY. LPT.
 Sheet Title
GROUND FLOOR PLAN

Date
 MAR 19
 Scale
1:150@A3
 Drawn
 KO
 Job No.
18003
 Checked
 SA
 Drawing No.
 DA02 - p14
 Authorised
 SA
 Sheet No.
02

BEAUMONT STREET



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

1 1st. FLOOR - PLAN
1:150

LEGEND

- A/C AIR CONDITIONING UNIT
- DP DOWNPIPE
- FW FLOOR WASTE
- RL FLOOR LEVEL



SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

nominated architects
Stephen Arforn
reg. no. 7645
Robert McNamara
reg. no. 7271

Job Name
NGBH 147 BEAUMONT ST.

Client
OWARCO 2303 PTY. LPT.

Sheet Title
1ST FLOOR PLAN

Date
MAR 19

Scale
1:150@A3

Drawn
KO

Job No.
18003

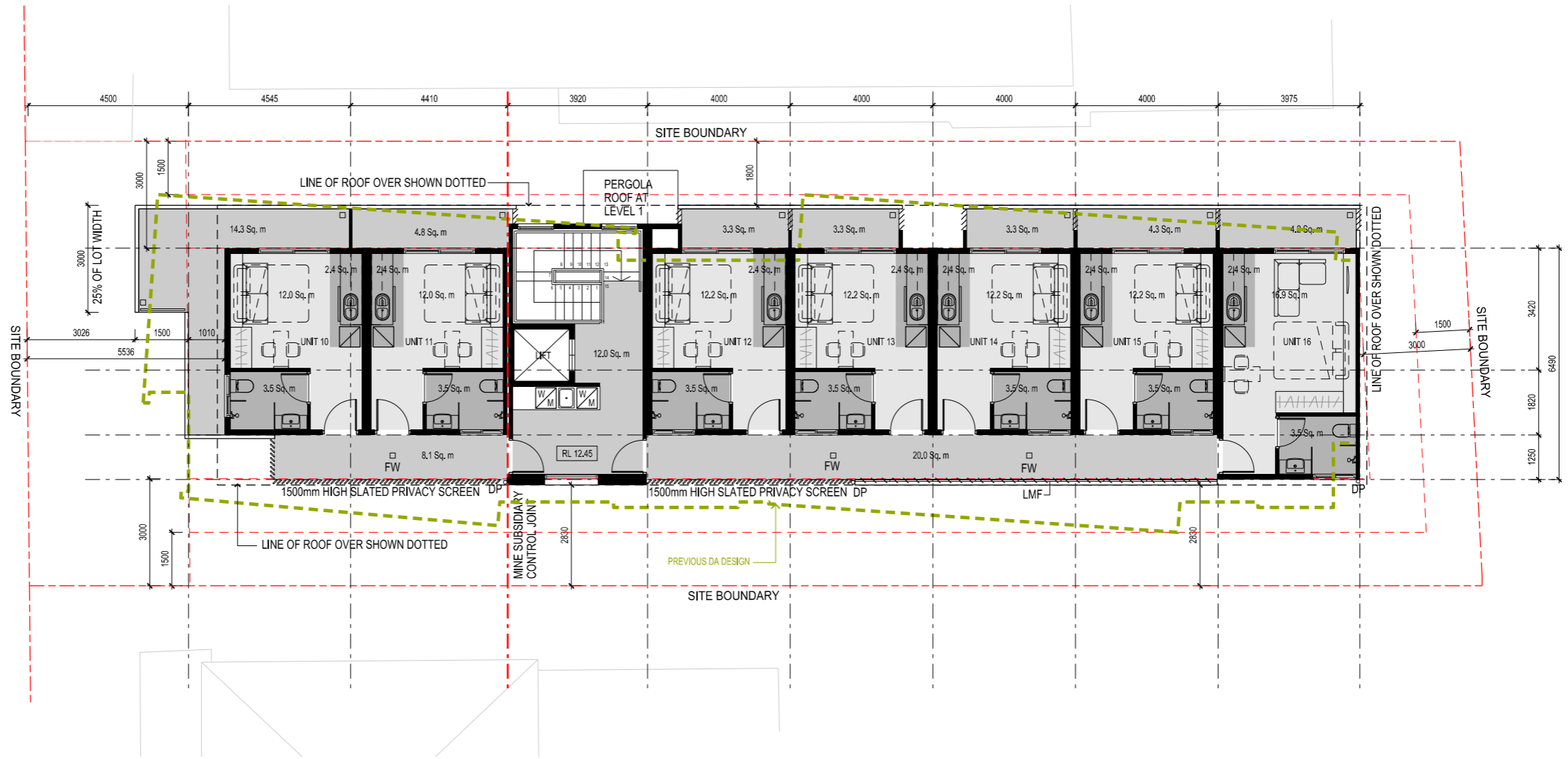
Checked
SA

Drawing No.
DA03 - p14

Authorised
SA

Sheet No.
03

BEAUMONT STREET



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

1 **PROPOSED FLOOR PLAN**
1:150

LEGEND
 A/C AIR CONDITIONING UNIT
 DP DOWNPIPE
 FW FLOOR WASTE
 RL FLOOR LEVEL



SARM Architects
 Suite 4, 7 Ridge Street
 North Sydney NSW 2060
 p +61 2 9922 2799
 f +61 2 9922 2755
 e architects@sarm.com.au
 ABN 26 000 663 623

Job Name
NGBH 147 BEAUMONT ST.
 Client
OWARCO 2303 PTY. LPT.
 Sheet Title
PROPOSED FLOOR PLAN

Date
 MAR 19
 Scale
1:150@A3

Drawn
KO
 Job No.
18003

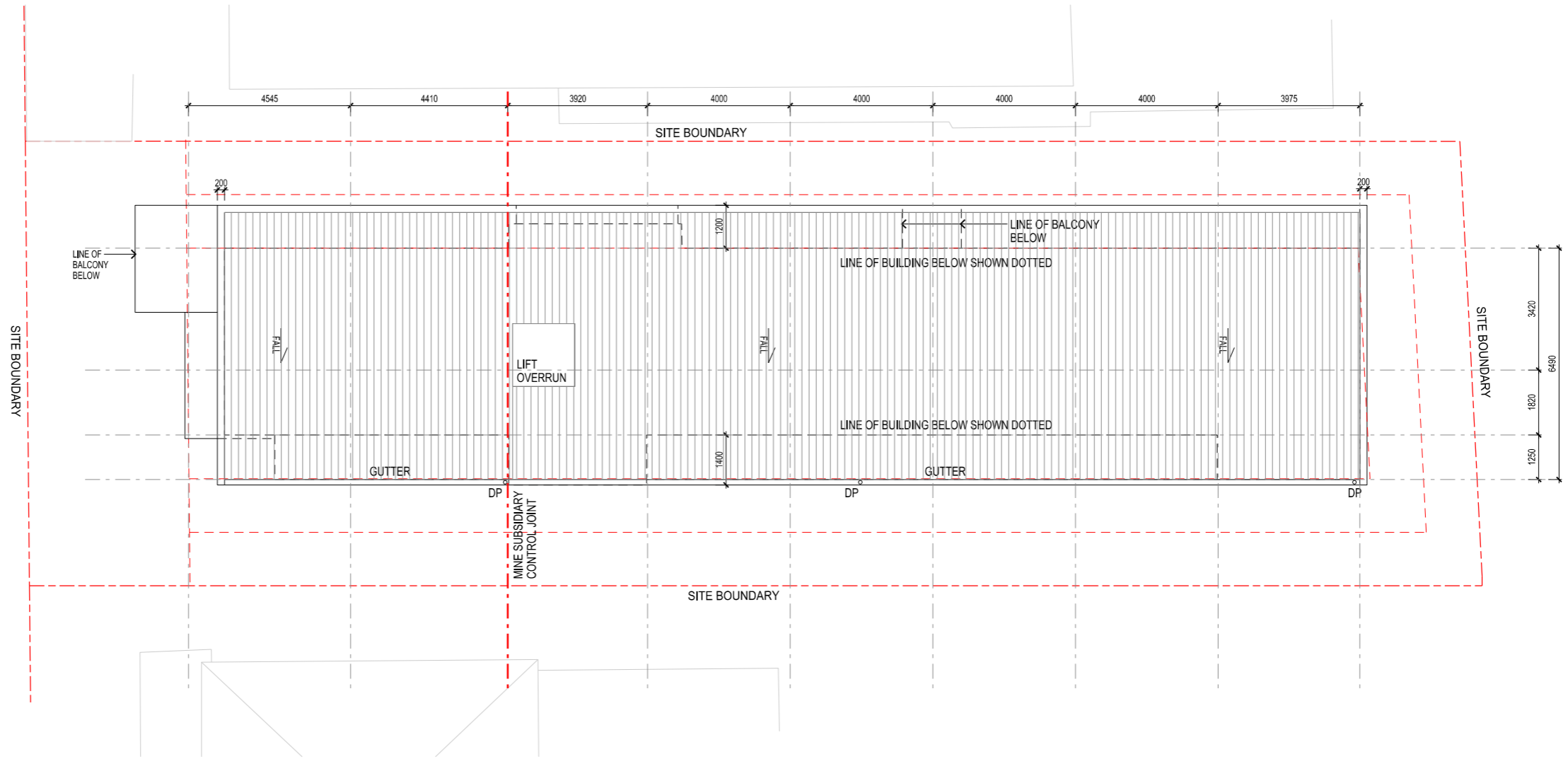
Checked
SA
 Drawing No.
DA02 - p14

Authorised
SA
 Sheet No.
08

nominated architects
 Stephen Arforn
 reg. no. 7645
 Robert McNamara
 reg. no. 7271

live learn
 work care

BEAUMONT STREET



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

1 ROOF PLAN
1:150



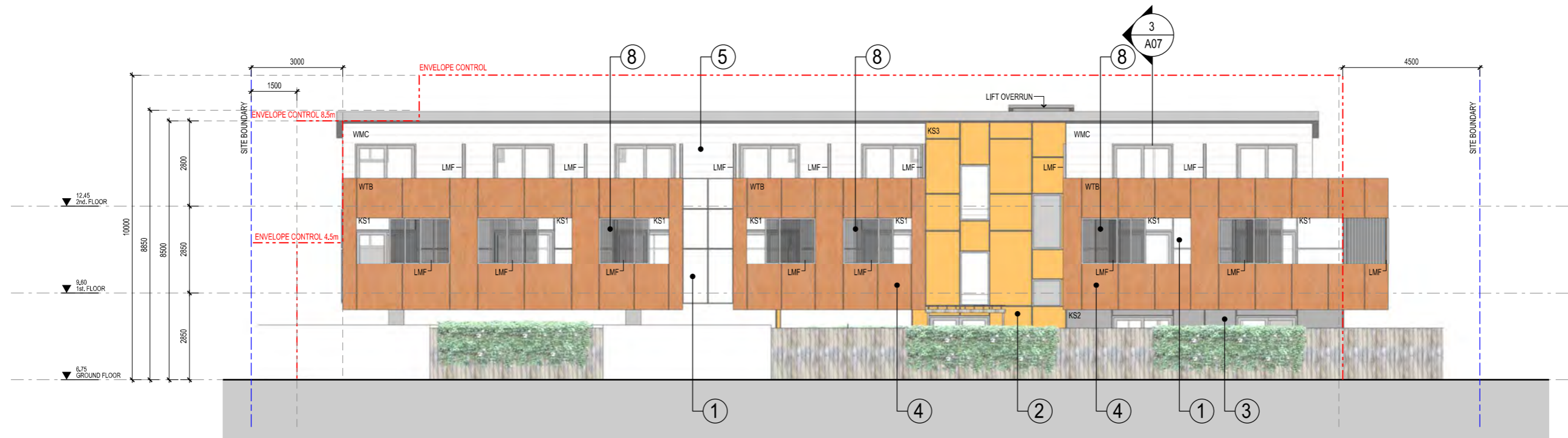
SARM Architects
 Suite 4, 7 Ridge Street
 North Sydney NSW 2060
 p +61 2 9922 2799
 f +61 2 9922 2755
 e architects@sarm.com.au
 ABN 26 000 663 623

Job Name
NGBH 147 BEAUMONT ST.
 Client
OWARCO 2303 PTY. LPT.
 Sheet Title
ROOF PLAN

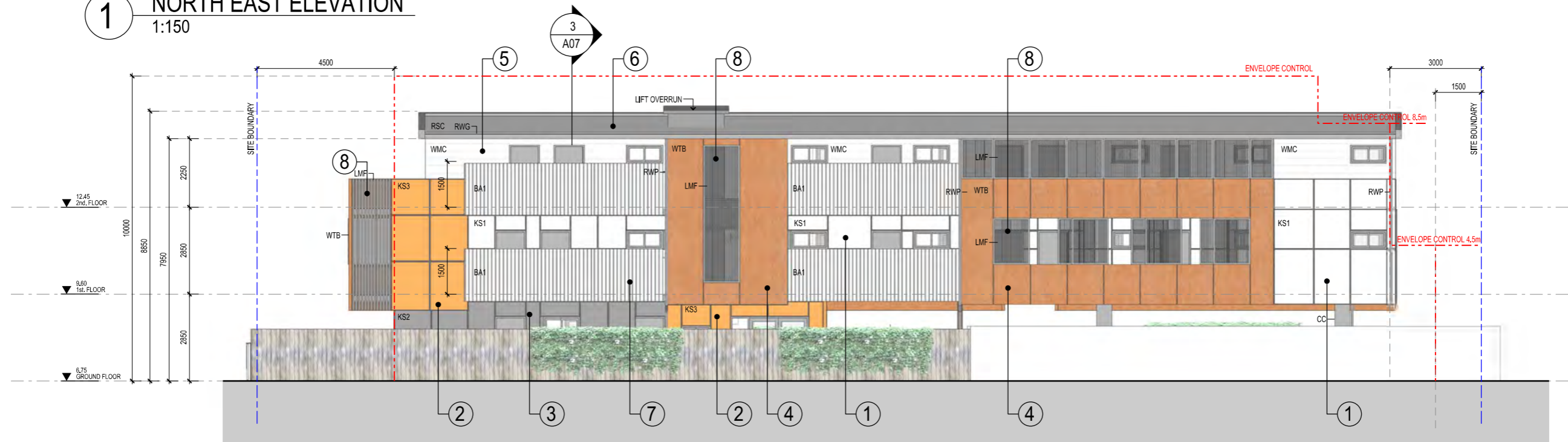
Date
MAR 19
 Drawn
KO
 Checked
SA
 Authorised
SA

Scale
1:150@A3
 Job No.
18003
 Drawing No.
DA05 - p14
 Sheet No.
05

live learn
work care







1 NORTH EAST ELEVATION
1:150



2 SOUTH WEST ELEVATION
1:150

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

MATERIALS LEGEND

							
1. KINGSPAN PANEL - WHITE	2. KINGSPAN PANEL - ORANGE	3. KINGSPAN PANEL - DARK GREY	4. TIMBER WALL PANEL	5. CORRUGATED METAL SHEET	6. CORRUGATED ROOF SHEETING	7. 1500MM HIGH SLATED PRIVACY SCREEN	8. ALUMINIUM PRIVACY LOUVRES

LEGEND

BA1	BALUTRADE TYPE 1 - 1500mm HIGH SLATED PRIVACY SCREEN
KS1	KINGSPAN PANEL - WHITE
KS2	KINGSPAN PANEL - DARK GREY
KS3	KINGSPAN PANEL - ORANGE
LMF	ALUMINIUM PRIVACY LOUVRES
RSC	CORRUGATED METAL ROOF SHEETING
RWG	RAINWATER GUTTER
RWP	RAINWATER DOWNPIPE
WMC	CORRUGATED METAL WALL SHEETING
WTB	TIMBER WALL PANELS

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 563 623

Job Name
NGBH 147 BEAUMONT ST.

Client
OWARCO 2303 PTY. LPT.

Sheet Title
ELEVATIONS

Date
MAR 19

Scale
1:150@A3

Drawn
KO

Job No.
18003

Checked
SA

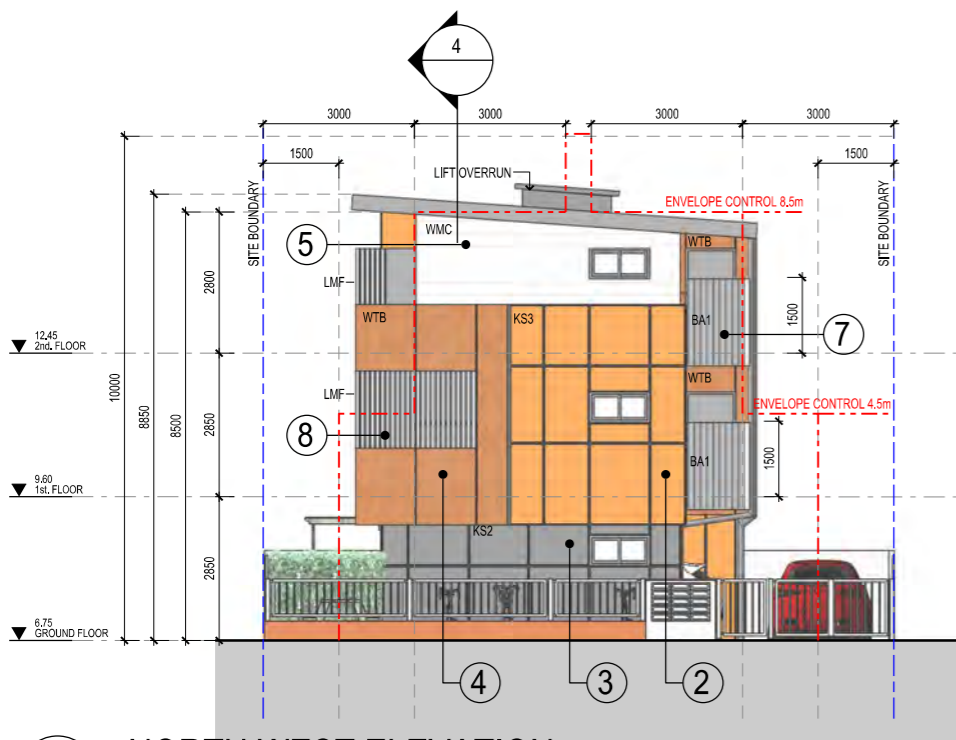
Drawing No.
DA06 - p14

Authorised
SA

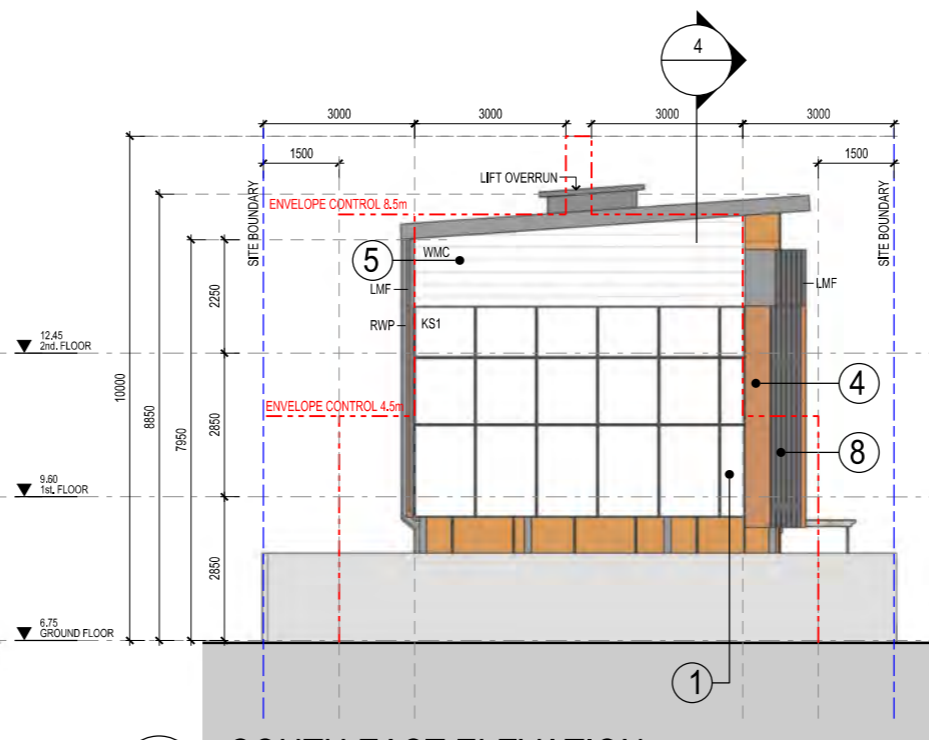
Sheet No.
06

live learn work care

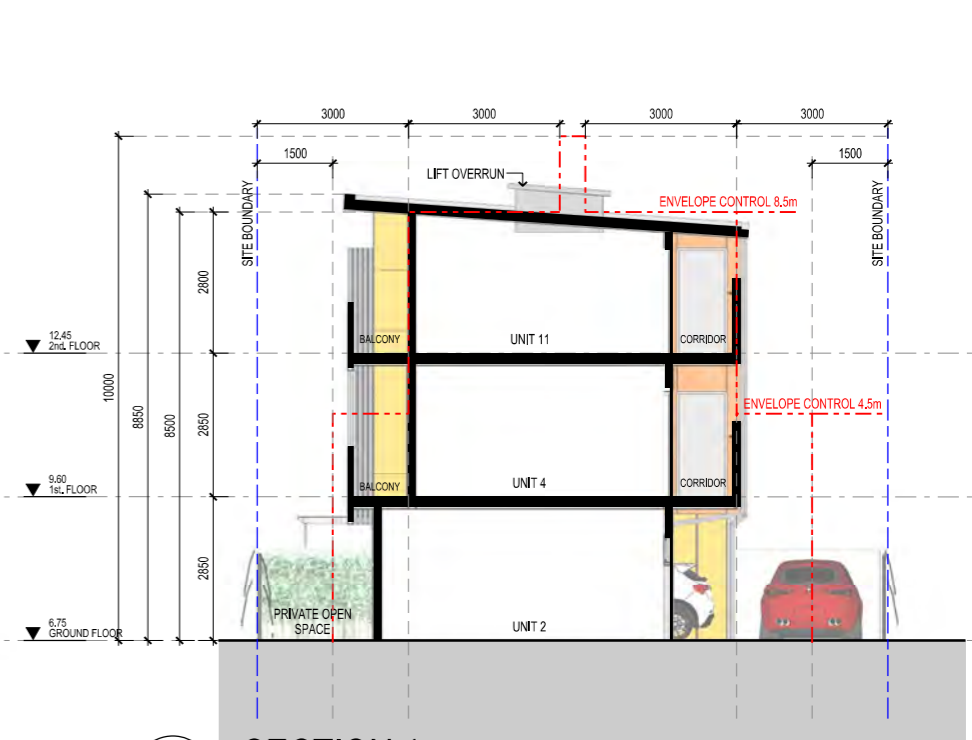
Plotted by SARM Architects on 04/05/19



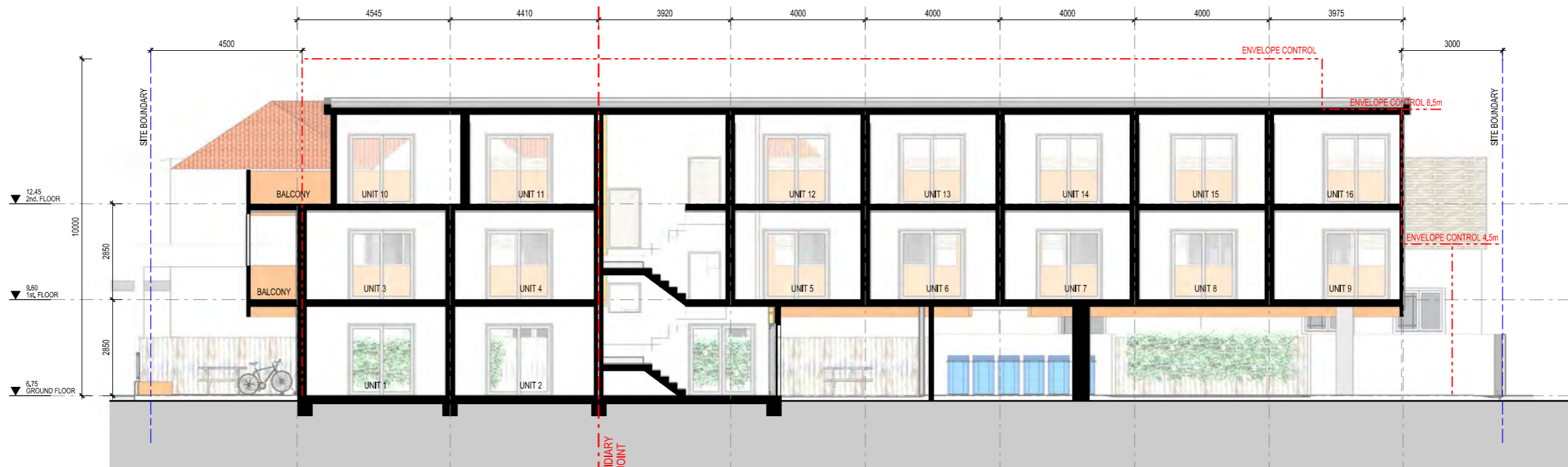
1 NORTH WEST ELEVATION
1:150



2 SOUTH EAST ELEVATION
1:150



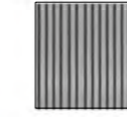




3 SECTION 1
1:150



4 SECTION 2
1:150

MATERIALS LEGEND

- 
 1. KINGSPAN PANEL - WHITE
- 
 2. KINGSPAN PANEL - ORANGE
- 
 3. KINGSPAN PANEL - DARK GREY
- 
 4. TIMBER WALL PANEL
- 
 5. CORRUGATED METAL SHEET
- 
 6. CORRUGATED ROOF SHEETING
- 
 7. 1500MM HIGH SLATED PRIVACY SCREEN
- 
 8. ALUMINIUM PRIVACY LOUVRES

LEGEND

- BA1 BALUTRADE TYPE 1 - 1500mm HIGH SLATED PRIVACY SCREEN
- KS1 KINGSPAN PANEL - WHITE
- KS2 KINGSPAN PANEL - DARK GREY
- KS3 KINGSPAN PANEL - ORANGE
- LMF ALUMINIUM PRIVACY LOUVRES
- RSC CORRUGATED METAL ROOF SHEETING
- RWG RAINWATER GUTTER
- RWP RAINWATER DOWNPIPE
- WMC CORRUGATED METAL WALL SHEETING
- WTB TIMBER WALL PANELS

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

live learn
work care

Job Name
NGBH 147 BEAUMONT ST.
Client
OWARCO 2303 PTY. LPT.
Sheet Title
ELEVATIONS

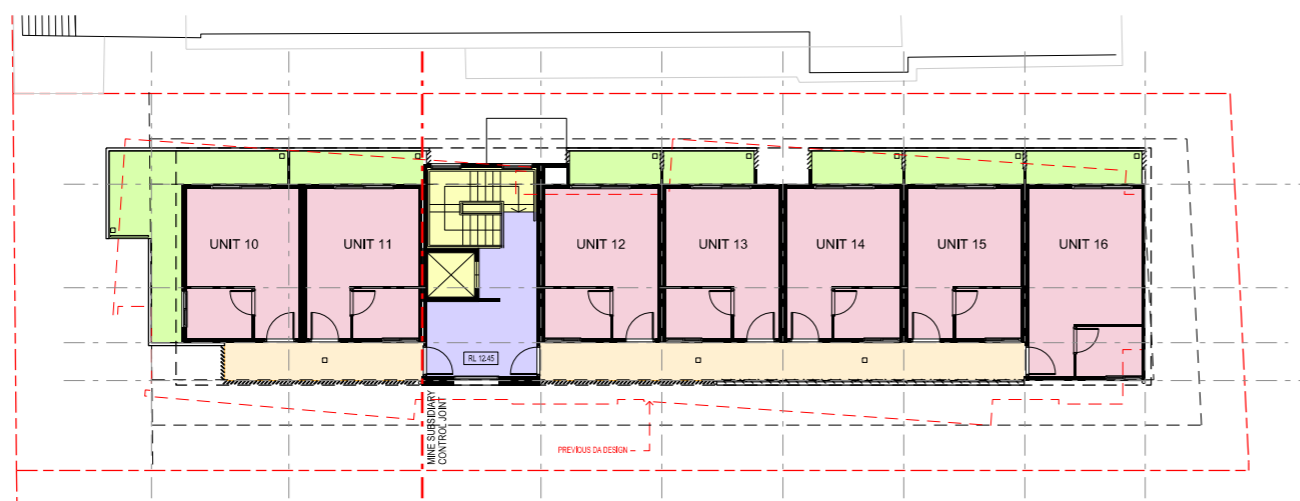
Date
MAR 19
Scale
1:150@A3

Drawn
KO
Job No.
18003

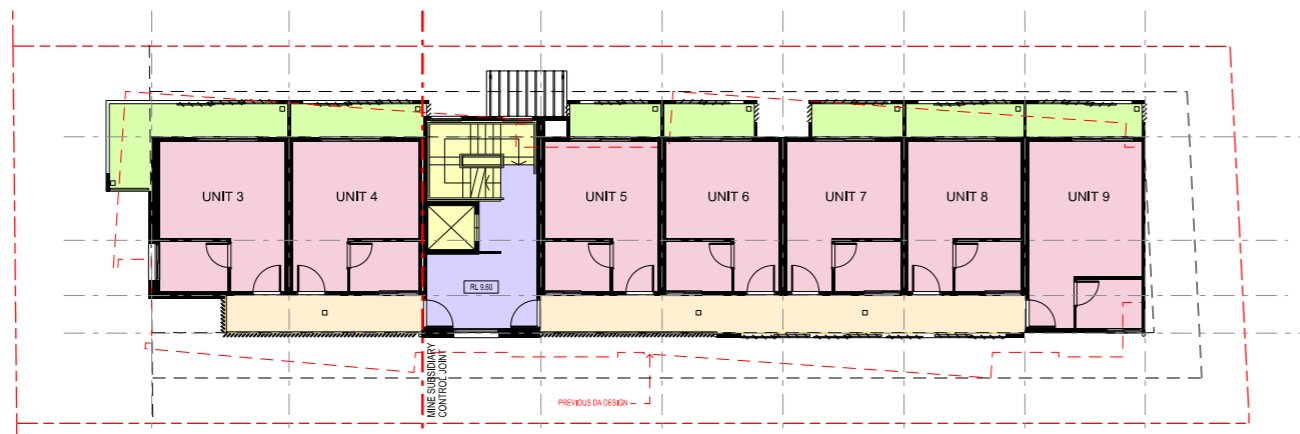
Checked
SA
Drawing No.
DA07 - p14

Authorised
SA
Sheet No.
07

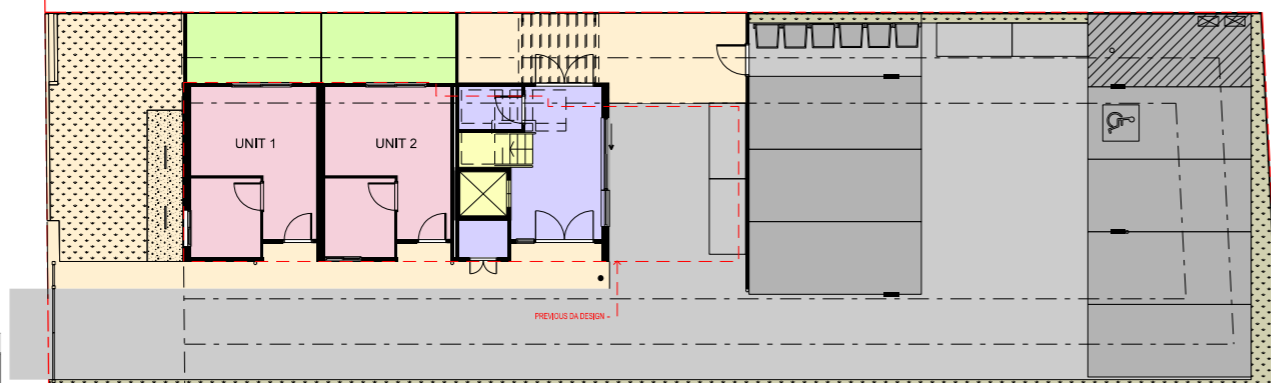
NGBH 147 BEAUMONT STREET HAMILTON



2nd FLOOR



1st FLOOR



GROUND FLOOR

SITE AREA	499.5 Sq.m
FSR	0.9 : 1 (449.6 Sq.m)
FLOOR AREA - UNIT	311.8 Sq.m
FLOOR AREA - COMMON AREA	42.7 Sq.m
TOTAL FLOOR AREA	354.5 Sq.m (0.71:1)

LEGEND:

- COMMON OPEN SPACE
- PRIVATE OPEN SPACE / BALCONY
- UNITS
- COMMON AREA
- VERTICAL CIRCULATION
- PARKING
- LANDSCAPING

TABLE OF AREAS

GROUND FLOOR		Sq.m	TOTAL Sq.m
UNIT 1 ADAPTABLE	ROOM	13.1	29.9
	KITCHEN	2.6	
	AMENITY	6.0	
	PRIVATE OPEN SPACE	8.2	
UNIT 2 ADAPTABLE	ROOM	13.1	29.9
	KITCHEN	2.6	
	AMENITY	6.0	
	PRIVATE OPEN SPACE	8.2	

TOTAL AREA	UNITS	43.4	59.8
	PRIVATE OPEN SPACE	16.4	

OTHER	LOBBY / COMMUNAL ROOM	13.5	345.4
	WALKWAY ENTRANCE / BICYCLE	26.4	
	PARKING ZONE	276.0	
	COMMUNAL OPEN SPACE	24.6	
	STORE	2.9	
	SERVICES	2.0	

1st. FLOOR

1st. FLOOR		Sq.m	TOTAL Sq.m
UNIT 3	ROOM	14.0	29.0
	KITCHEN	2.4	
	AMENITY	3.6	
	BALCONY	9.0	
UNIT 4	ROOM	14.0	24.8
	KITCHEN	2.4	
	AMENITY	3.6	
	BALCONY	4.8	
UNIT 5	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 6	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 7	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 8	ROOM	12.2	22.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.3	
UNIT 9	ROOM	16.9	27.0
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.2	

TOTAL AREA	UNITS	135.2	167.4
	BALCONY	32.2	

OTHER	COMMON AREA	12.0	40.1
	WALKWAY	28.1	

2nd. FLOOR

2nd. FLOOR		Sq.m	TOTAL Sq.m
UNIT 10	ROOM	12.0	32.2
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	14.3	
UNIT 11	ROOM	12.0	22.7
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.8	
UNIT 12	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 13	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 14	ROOM	12.2	21.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	3.3	
UNIT 15	ROOM	12.2	22.4
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.3	
UNIT 16	ROOM	16.9	27.0
	KITCHEN	2.4	
	AMENITY	3.5	
	BALCONY	4.2	

TOTAL AREA	UNITS	131.0	168.5
	BALCONY	37.5	

OTHER	COMMON AREA	12.0	40.1
	WALKWAY	28.1	

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

nominated architects
Stephen Arlton
reg. no. 7645
Robert McNameara
reg. no. 7271

Job Name
NGBH 147 BEAUMONT ST.

Client
OWARCO 2303 PTY. LPT.

Sheet Title
TABLE OF AREAS

Date
MAR 19

Drawn
KO

Checked
SA

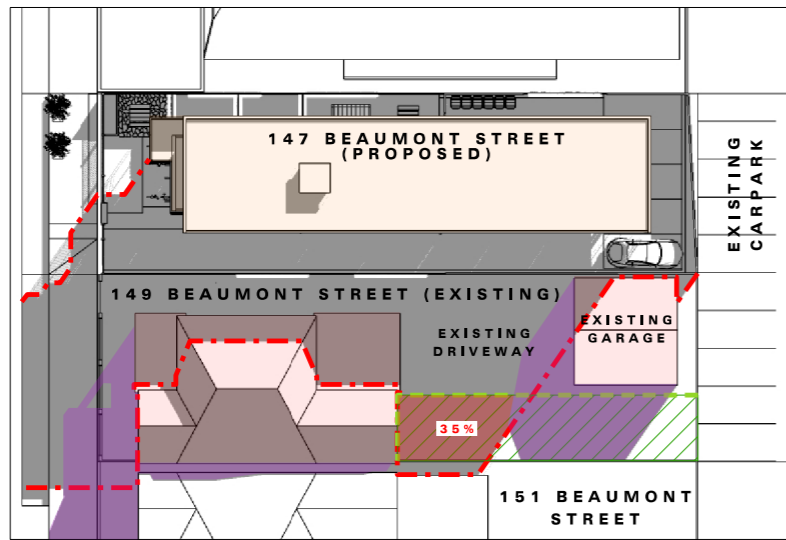
Authorised
SA

Scale
1:100

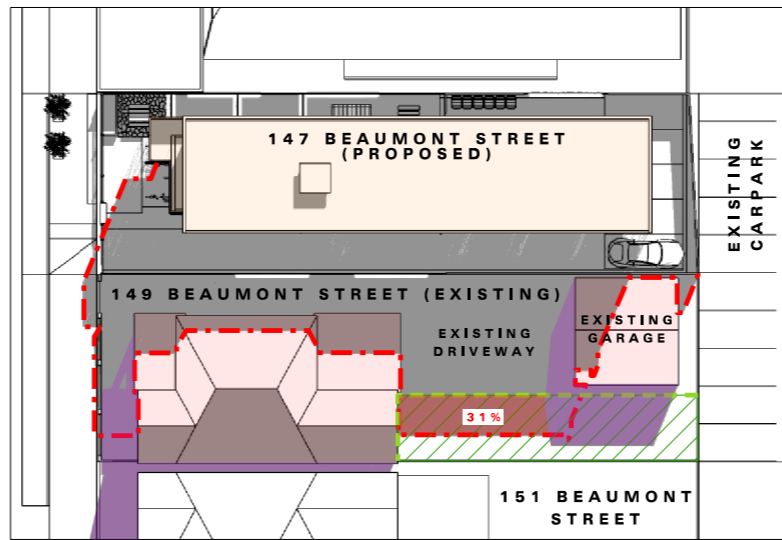
Job No.
18003

Drawing No.
DA08-p14

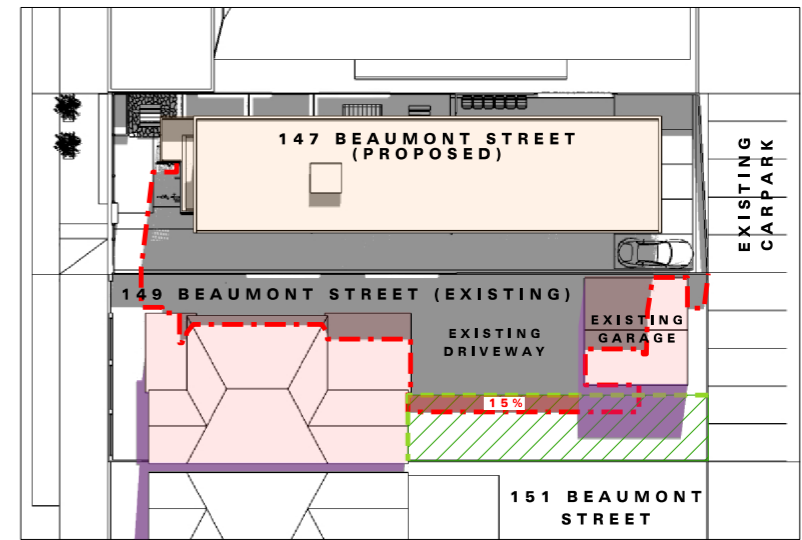
Sheet No.
08



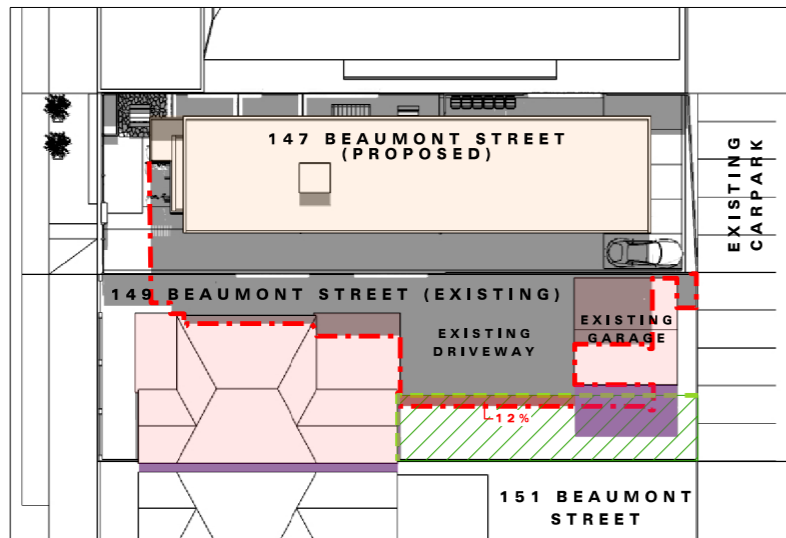
9 : 0 0 a m ●



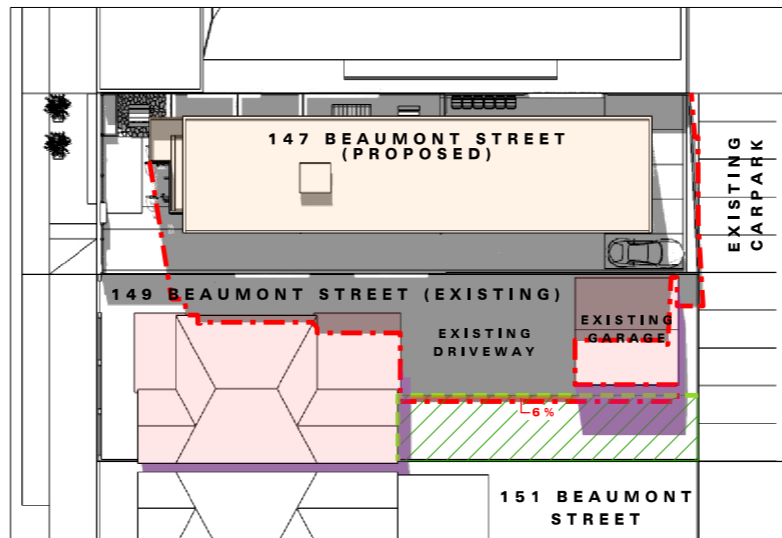
1 0 : 0 0 a m ●



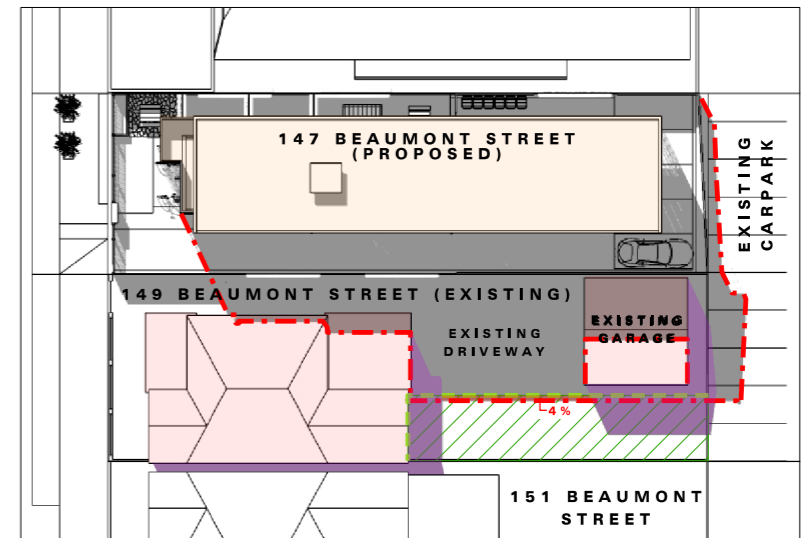
1 1 : 0 0 a m ●



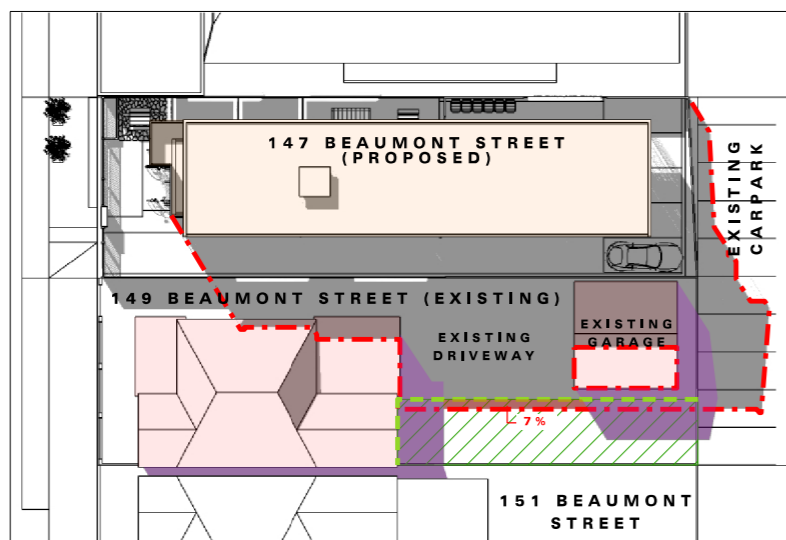
1 1 : 3 0 a m ●



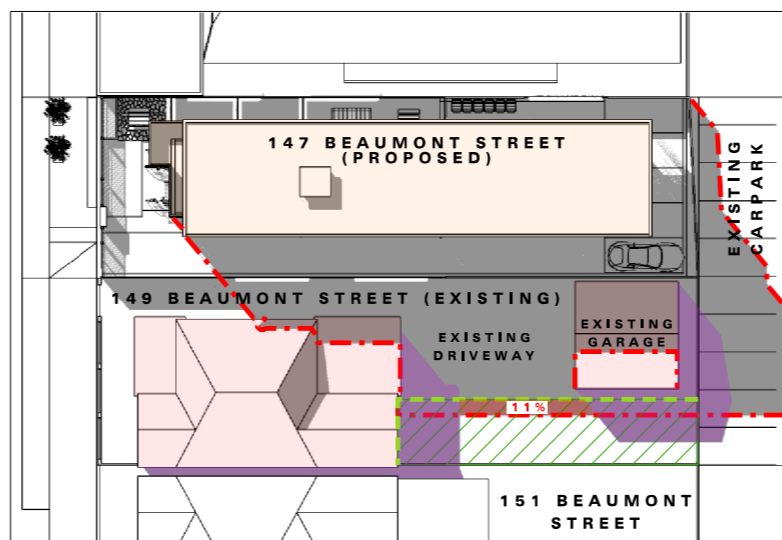
1 2 : 0 0 p m ●



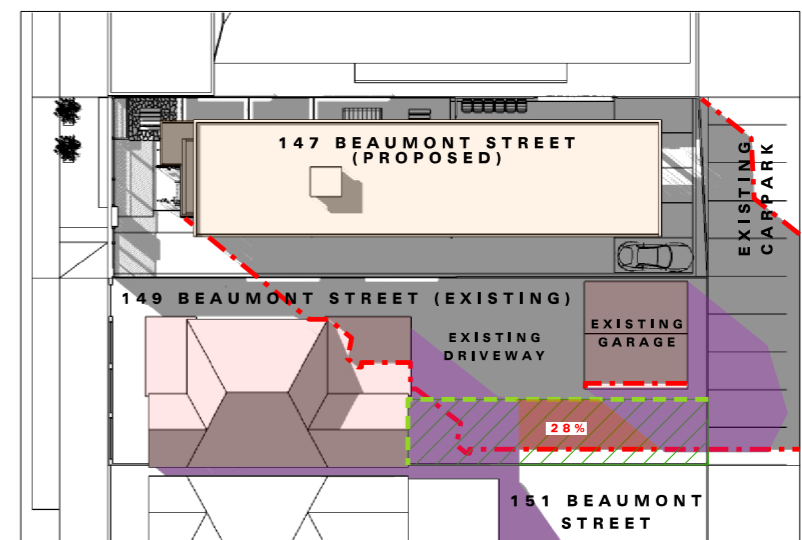
1 : 0 0 p m ●



1 : 3 0 p m ●



2 : 0 0 p m ●



3 : 0 0 p m ●

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

SHADOW DIAGRAM | WINTER SOLSTICE | JUNE 21st

LEGEND:

- 147 BEAUMONT STREET (PROPOSED NEW BUILDING)
- 149 BEAUMONT STREET (EXISTING BUILDING)
- EXISTING PRIVATE OPEN SPACE ON 149 BEAUMONT STREET
- EXTENT OF PROPOSED NEW BUILDING SHADOW (147 BEAUMONT STREET)
- EXTENT OF EXISTING BUILDING SHADOW (149 BEAUMONT STREET)
- PERCENTAGE OF ADDITIONAL SHADOW CAST BY PROPOSED BUILDING (147 BEAUMONT STREET)
- MORE THAN 20% OF AREA IS AFFECTED
- LESS THAN 20% OF AREA IS AFFECTED

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 563 623

nominated architects
Stephen Arlton reg. no. 7645
Robert McNameara reg. no. 7271

Job Name
NGBH 147 BEAUMONT ST.

Client
OWARCO 2303 PTY. LPT.

Sheet Title
SHADOW DIAGRAM WINTER

Date
MAR 19

Scale
NTS@A3

Drawn
KO

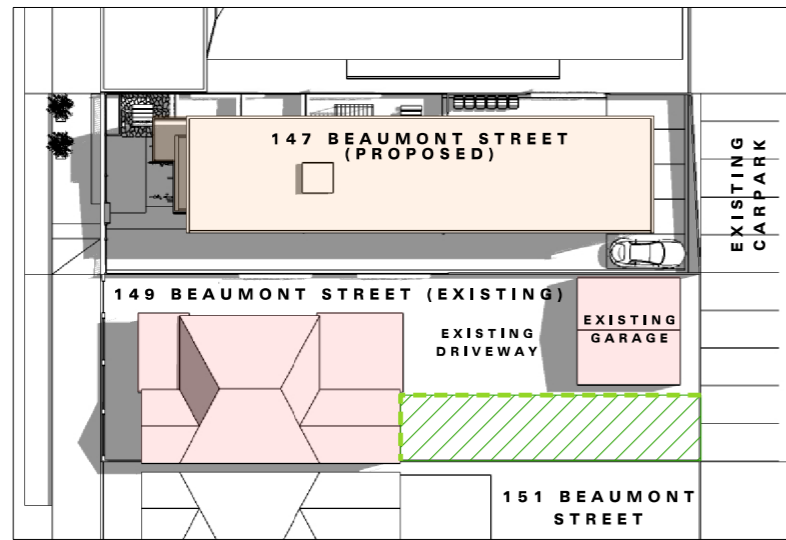
Job No.
18003

Checked
SA

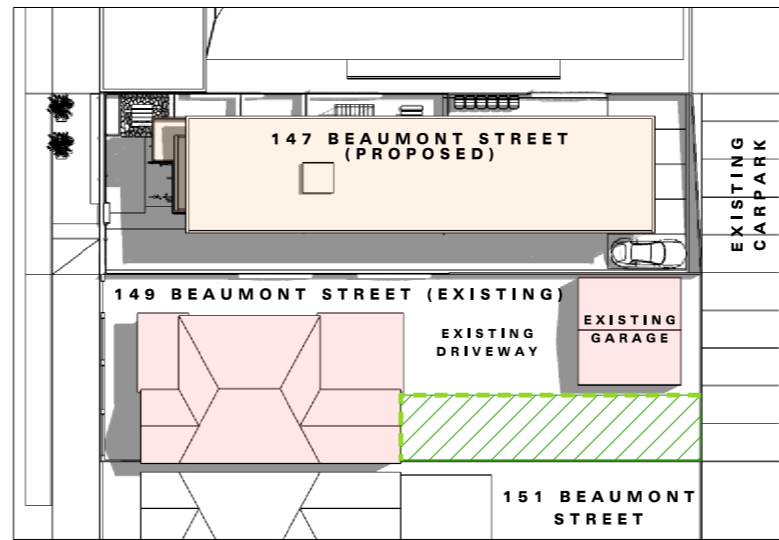
Drawing No.
DA09-p14

Authorised
SA

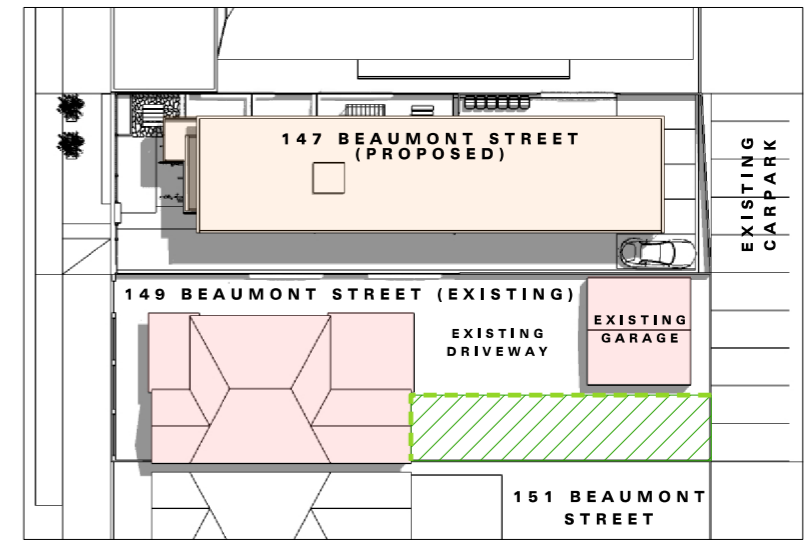
Sheet No.
09



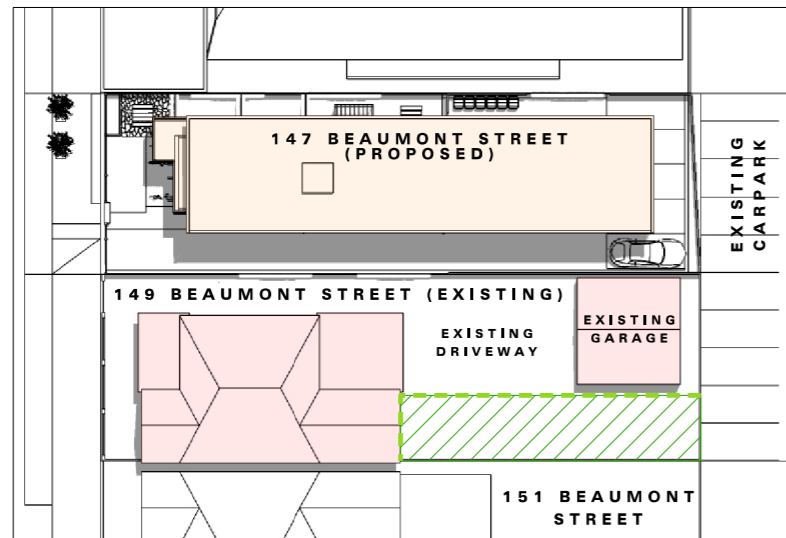
9 : 0 0 a m



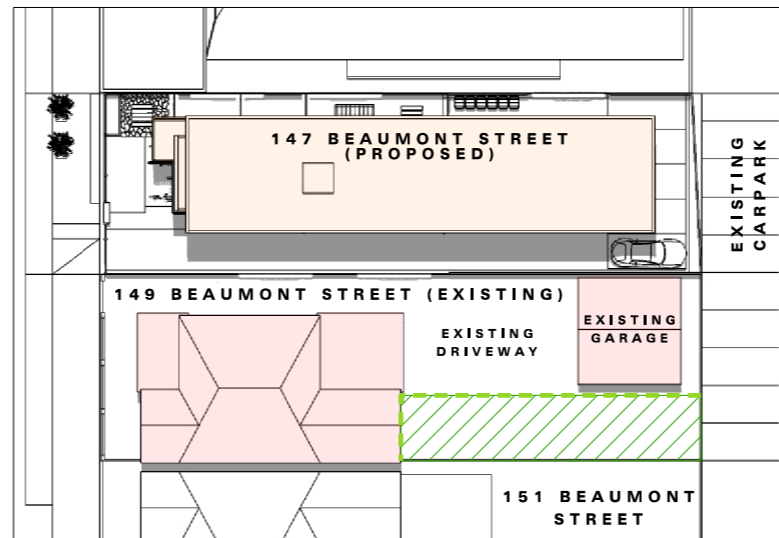
1 0 : 0 0 a m



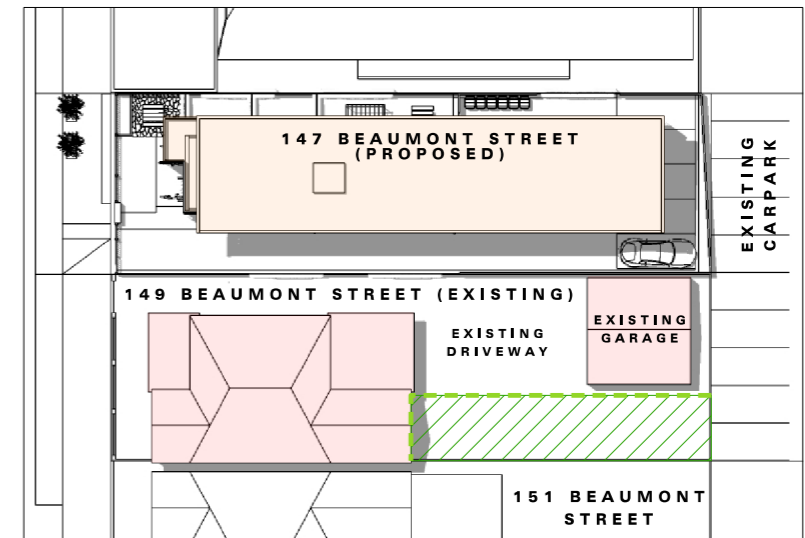
1 1 : 0 0 a m



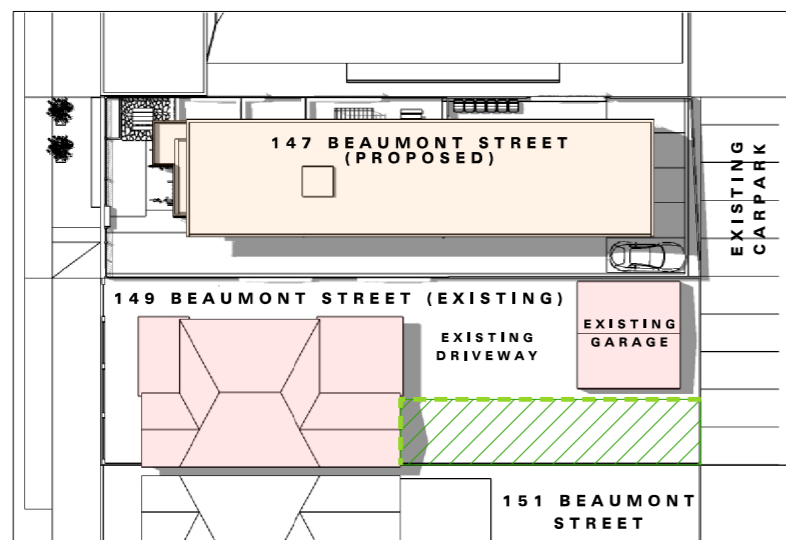
1 1 : 3 0 a m



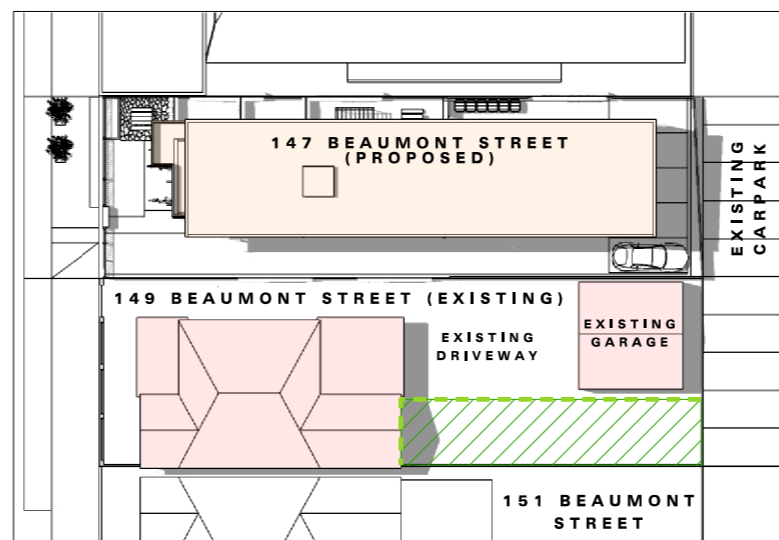
1 2 : 0 0 p m



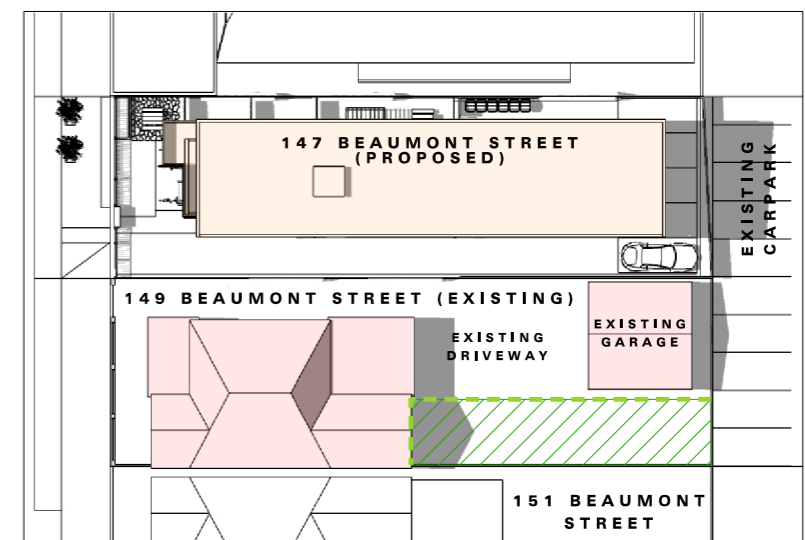
1 : 0 0 p m



1 : 3 0 p m



2 : 0 0 p m


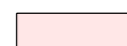



3 : 0 0 p m

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

SHADOW DIAGRAM | SUMMER SOLSTICE | JANUARY 21st

LEGEND:

-  147 BEAUMONT STREET (PROPOSED NEW BUILDING)
-  149 BEAUMONT STREET (EXISTING BUILDING)
-  EXISTING PRIVATE OPEN SPACE ON 149 BEAUMONT STREET



SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

nominated architects
Stephen Arforn
reg. no. 7645
Robert McNameara
reg. no. 7271

Job Name
NGBH 147 BEAUMONT ST.

Client
OWARCO 2303 PTY. LPT.

Sheet Title
**SHADOW DIAGRAM
SUMMER**

Date
MAR 19

Drawn
KO

Checked
SA

Authorised
SA

Scale
NTS@A3

Job No.
18003

Drawing No.
DA10-p14

Sheet No.
10



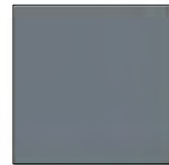
MATERIALS / COLOUR PALLETE



1. KINGSPAN PANEL - WHITE



2. KINGSPAN PANEL - ORANGE



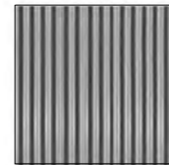
3. KINGSPAN PANEL - DARK GREY



4. TIMBER WALL PANEL



5. CORRUGATED METAL SHEET



6. CORRUGATED ROOF SHEETING



7. 1500MM HIGH SLATED PRIVACY SCREEN



8. ALUMINIUM PRIVACY LOUVRES

PRECEDENT STUDIES



Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 563 623

nominated architects
Stephen Arforn
reg. no. 7645
Robert McNamara
reg. no. 7271

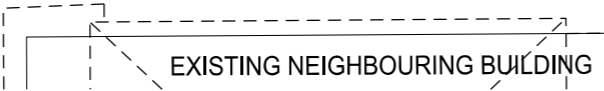
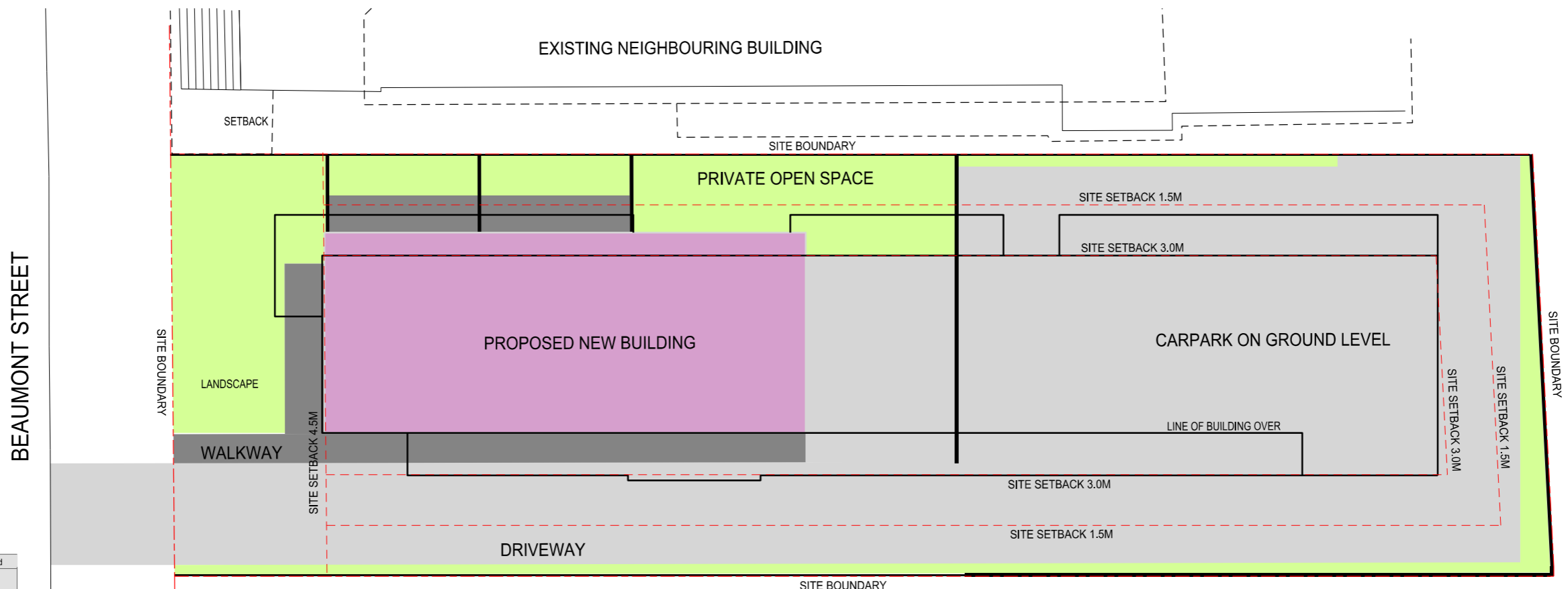
live learn
work care

Job Name
NGBH 147 BEAUMONT ST.
Client
OWARCO 2303 PTY. LPT.
Sheet Title
MATERIAL SHEET

Date
MAR 19
Scale
A3
Drawn
JF
Job No.
18003
Checked
SA
Drawing No.
DA11-p14
Authorised
SA
Sheet No.
11



ELEVATIONS



SITE PLAN

Rev	Date	Amendment	Ckd
p1	28/03/18	Preliminary Issue	SA
p2	13/04/18	Preliminary Issue	SA
p3	02/05/18	Preliminary Issue	SA
p4	12/05/18	Preliminary Issue	SA
p4	25/05/18	Preliminary DA Issue	SA
p5	31/05/18	DA Issue	SA
p6	01/06/18	DA Issue v2	SA
p7	11/01/19	Preliminary Revised DA	SA
p8	16/01/19	Preliminary Revised DA	SA
p9	14/02/19	DA Issue	SA
p10	14/02/19	DA Issue - Revised	SA
p11	18/02/19	DA Issue - Revised	SA
p12	25/03/19	DA Issue - Revised	SA
p13	27/03/19	DA Issue - Revised Elevation	SA
p14	07/05/19	Revised DA Issue	SA

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

nominated architects
Stephen Arlson
reg. no. 7645
Robert McNamara
reg. no. 7271

Job Name
NGBH 147 BEAUMONT ST.

Client
OWARCO 2303 PTY. LPT.

Sheet Title
NOTIFICATION PLAN

Date
MAR 19

Scale
NTS

Drawn
KO

Job No.
18003

Checked
SA

Drawing No.
DA12 - p14

Authorised
SA

Sheet No.
12

Placed by SARM Architects on 04/05/19

PUBLIC VOICE COMMITTEE MEETING

16 July 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

REPORTS BY COUNCIL OFFICERS

Attachment A - Plans DA2017/01376 - 495-501 Hunter Street & 364 King Street Newcastle

Demolition of buildings, erection of 15 storey mixed use development with three retail/commercial tenancies, 87 residential units, associated carparking and site works

DISTRIBUTED UNDER SEPARATE COVER

REVISED DEVELOPMENT APPLICATION

MARCH 2019

APPLICANT:

DARREN HOLLOWAY
 C/ MONTEATH & POWYS
 PO BOX 2270
 DANGAR NSW 2309
 TEL:
 02 4926 1388
 EMAIL:
 dholloway@monteathpowys.com.au

SITE ADDRESS:

DP 1 87872 &
 1 - 67823 | 495 HUNTER STREET
 DP 851 578844 | 501 KING STREET
 DP 1 1010094 | 364 KING STREET
 NEWCASTLE

DRAWINGS LIST:

		ARCHITECTURALS
DA 00		TITLE PAGE
DA01 G		GROUND FLOOR PLAN
DA02 F		LEVEL 1
DA03 C		LEVEL 2
DA04 K		LEVEL 3
DA05 F		LEVEL 4
DA05A D		LEVEL 5 (TYP L5-L8)
DA06 D		LEVEL 9 (TOWNHOUSE KING)
DA07 E		LEVEL 10 (TOWNHOUSE KING)
DA08 E		LEVEL 11
DA09 C		LEVEL 12
DA10		LEVEL 13 (TOWNHOUSE HUNTER)
DA11 A		LEVEL 14 (TOWNHOUSE HUNTER)
DA12 A		NORTH ELEVATION
DA13 E		EAST ELEVATION
DA14 B		WEST ELEVATION
DA15 B		SOUTH ELEVATION
DA16 D		LONGITUDINAL SECTION
DA17 B		SECTION A-A
DA18 C		SECTION B-B
DA19 B		SECTION C-C
DA20 G		ROOF / SITE PLAN
		COMPLIANCE DIAGRAM
C01 A		COMMON SPACE /L SCAPE CALCULATIONS
GFA01 A		GFA DIAGRAM 01
GFA02 A		GFA DIAGRAM 02
GFA03 A		GFA DIAGRAM 03
GFA04 A		GFA DIAGRAM 04
		ADJ SITE STUDY
S01 A		ADJ SITE STUDY 01
S02 B		ADJ SITE STUDY 02
S03 B		ADJ SITE STUDY 03
S04 B		VIEW FROM KING STREET (3D)
S05 B		PODIUM CROSS SECTION

POST DESIGN EXCELLENCE MEETING
 AMENDMENTS -JUNE 2018

ARCHITECT:

WOLSKI . COPPIN

ARCHITECTURE

LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088

T: 9953 8477

E: info@wolskicoppin.com.au

DAVID WOLSKI

NSW ARB No. 5297

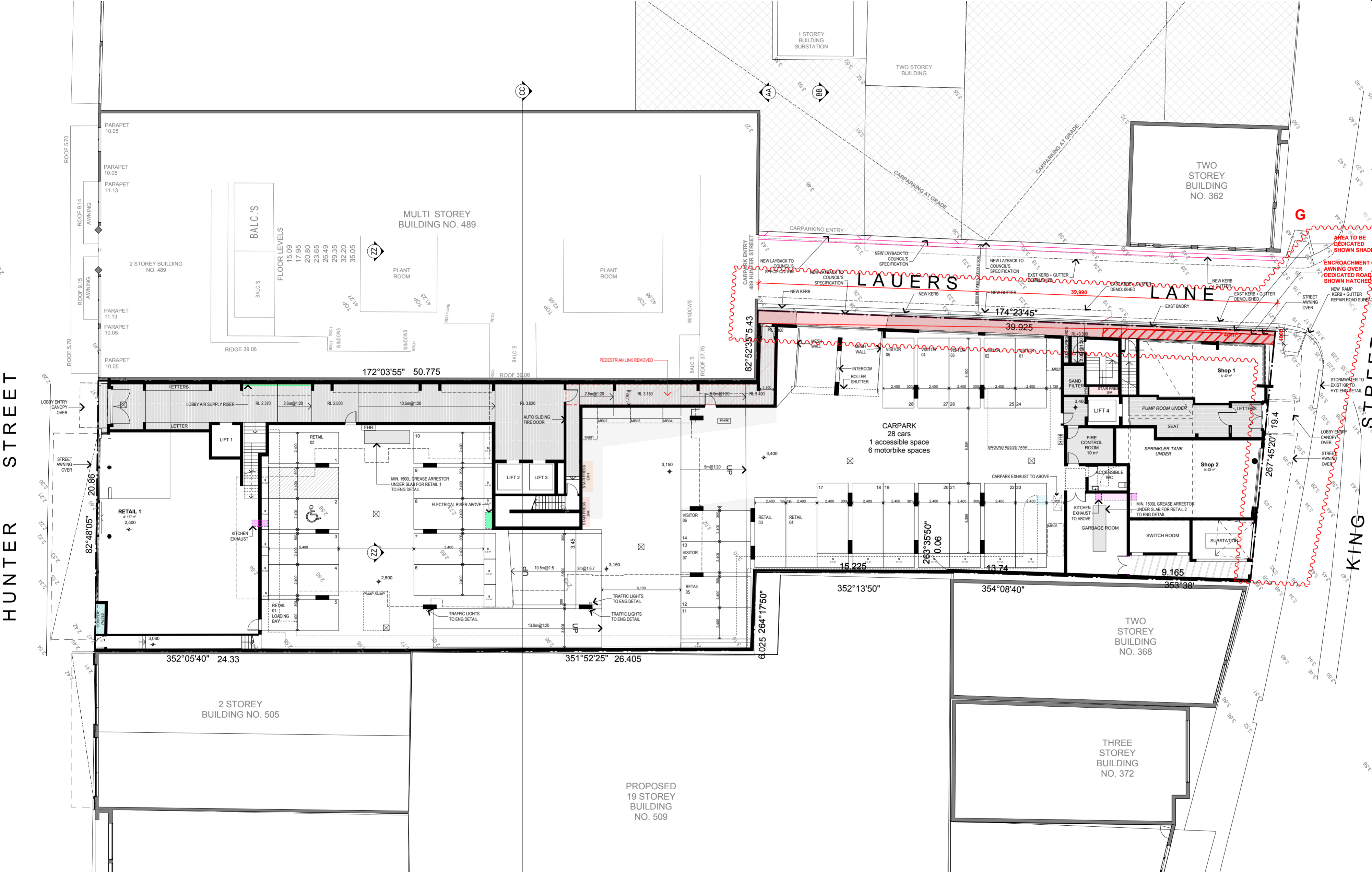


NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	GREASE ARRESTORS LOCATED.
25.05.18	B	PEDESTRIAN LINK REMOVED.
27.06.18	C	Refer to attached Addendum Urban Design Statement
17.07.18	D	Lane Widening Amendments
29.11.18	E	Modified Entry
8.03.19	F	Awning at Ground Lvl on King St Extended
20.03.19	G	Highlighted Dedicated Road at Lauers Lane

1B
2B
3B



HUNTER STREET

KING STREET

1
Ground
1:200

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
E: info@wolskicoppin.com.au
DAVID WOLSKI NSW ARB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
GROUND FLOOR

PROJECT No: 21706
DRAWING No: DA01

REVISION: G
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

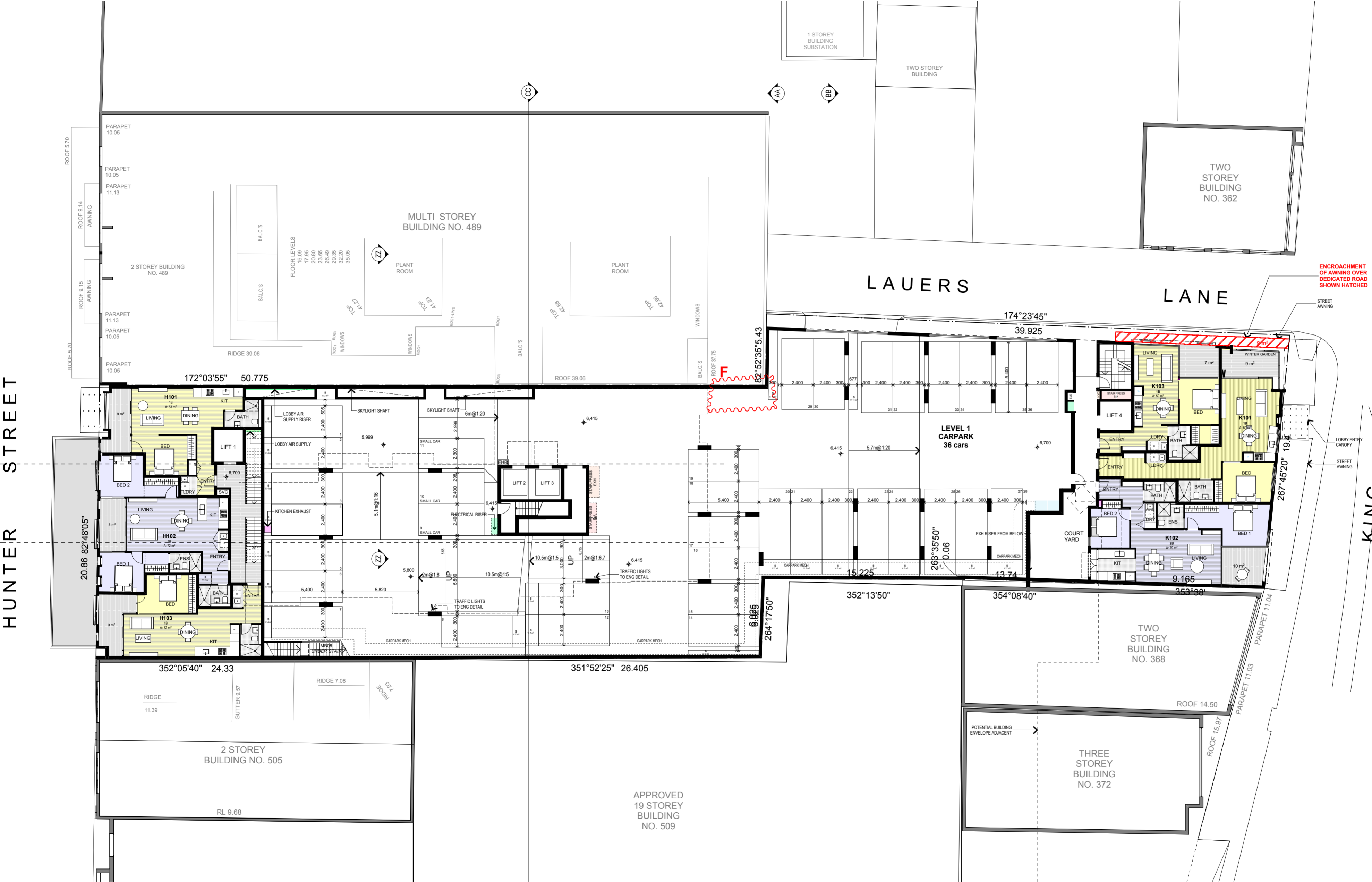
FILE PATH:
BIM Server: BIMSRV01 - BIM Server 20/21706_495 Hunter St Newcastle DA 50517

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
28.05.18	A	WINTER GARDEN ADDED TO K101
27.06.18	B	Refer to attached Addendum Urban Design Statement
29.11.18	C	Modified layout - Modified winter gardens - Added courtyard to Unit K102
21.02.19	D	Car park removed, wall relocated, air-vent moved in accordance with new wall location
8.03.19	E	-Awning at Ground Lvl on King St Extended - Relocated Services cupboards on Carpark L1 & L2
20.03.19	F	Skylight removed - Highlighted Dedicated Road at Lauers Lane

1B
2B
3B



HUNTER STREET

KING STREET

LAUERS LANE

1
Level 1
1:200

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
LEVEL 1

PROJECT No:	DRAWING No:
21706	DA02
REVISION:	NORTH POINT:
F	
SCALE:	PLOT DATE:
1:200 @ A2	27/03/2019
FILE PATH:	
BIM Server: BIMSRV01 - BIM Server 20/21706_495 Hunter St Newcastle DA 50517	

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
28.05.18	A	WINTER GARDEN ADDED TO K201
27.06.18	B	Refer to attached Addendum Urban Design Statement
29.11.18	C	Modified layout, Modified Winter Gardens, Added balcony to Unit K202
21.02.19	D	Car park removed, wall relocated, air vent moved in accordance with new wall location
8.03.19	E	-Awning at Ground Lvl on King St Extended - Relocated Services cupboards on Carpark L1 & L2
20.03.19	F	Skylight removed

- 1B
- 2B
- 3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477 E: info@wolski-coppin.com.au
DAVID WOLSKI NSW A88 No. 5277

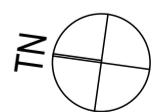
PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

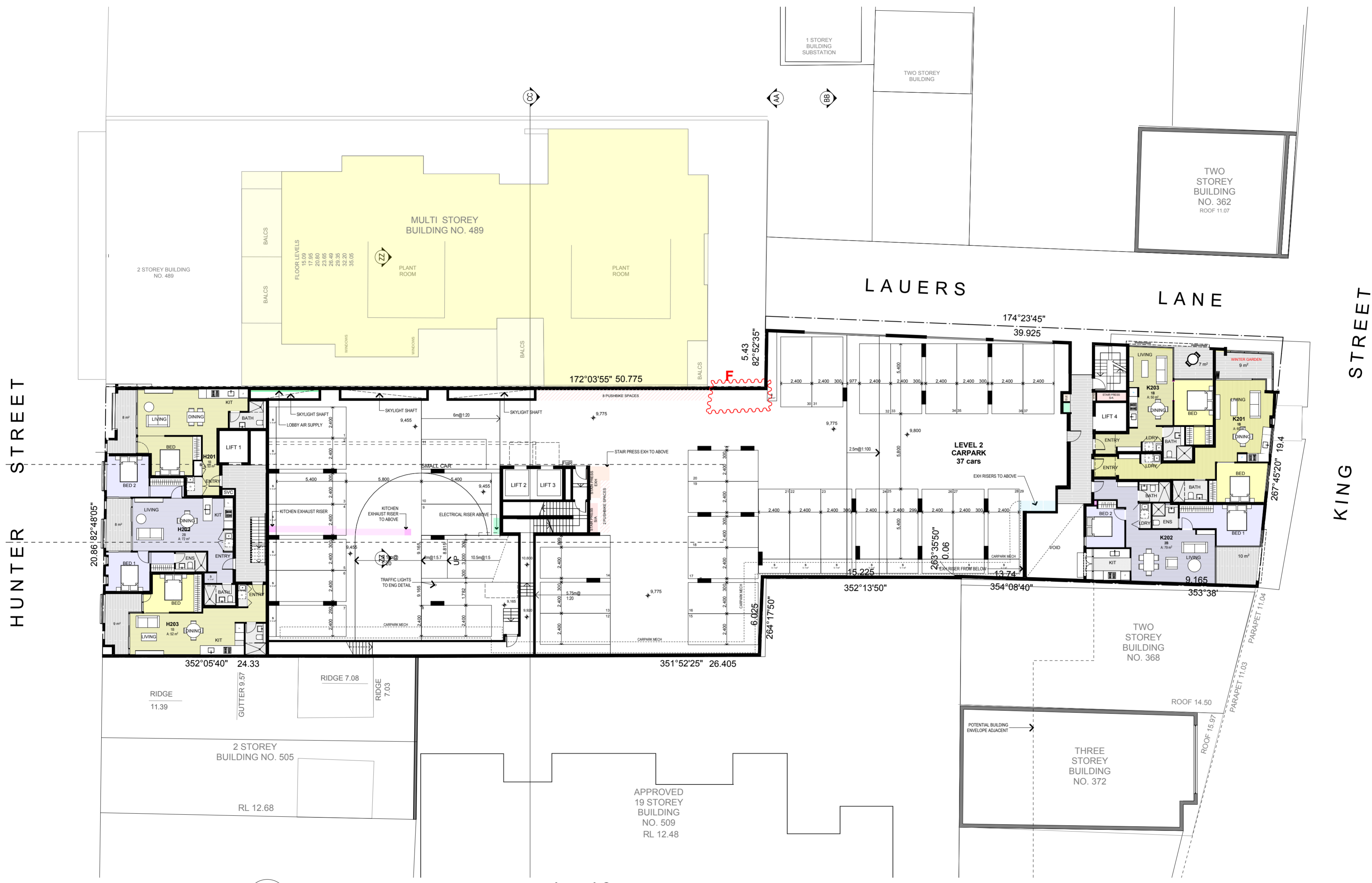
DRAWING TITLE:
LEVEL 2

PROJECT No: **21706** DRAWING No: **DA03**

REVISION: **F** NORTH POINT:


SCALE: **1:200 @ A2** PLOT DATE: **27/03/2019**

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517



1

Level 2
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	PLANTER BOX HEIGHTS AMENDED.
28.05.18	C	WINTER GARDEN ADDED TO K301
27.06.18	D	Refer to attached Addendum Urban Design Statement
08.11.18	E	Wall height amended
29.11.18	F	-Modified layout,-Modified Winter Gardens,-Added balcony to Unit K302
15.01.19	G	Wall relocated & height amended
21.02.19	H	Wall relocated, slab altered, landscaping modified.
21.02.19	I	Landscaping Modified, wall relocated, fence altered and relocated.
8.03.19	J	Bedroom layout changed
20.03.19	K	- Added pergolas - Changed layout of planters and removed skylight shafts on common open space of K building

1B
2B
3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477
DAVID WOLSKI
E: info@wolskicoppin.com.au
NSW A88 No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

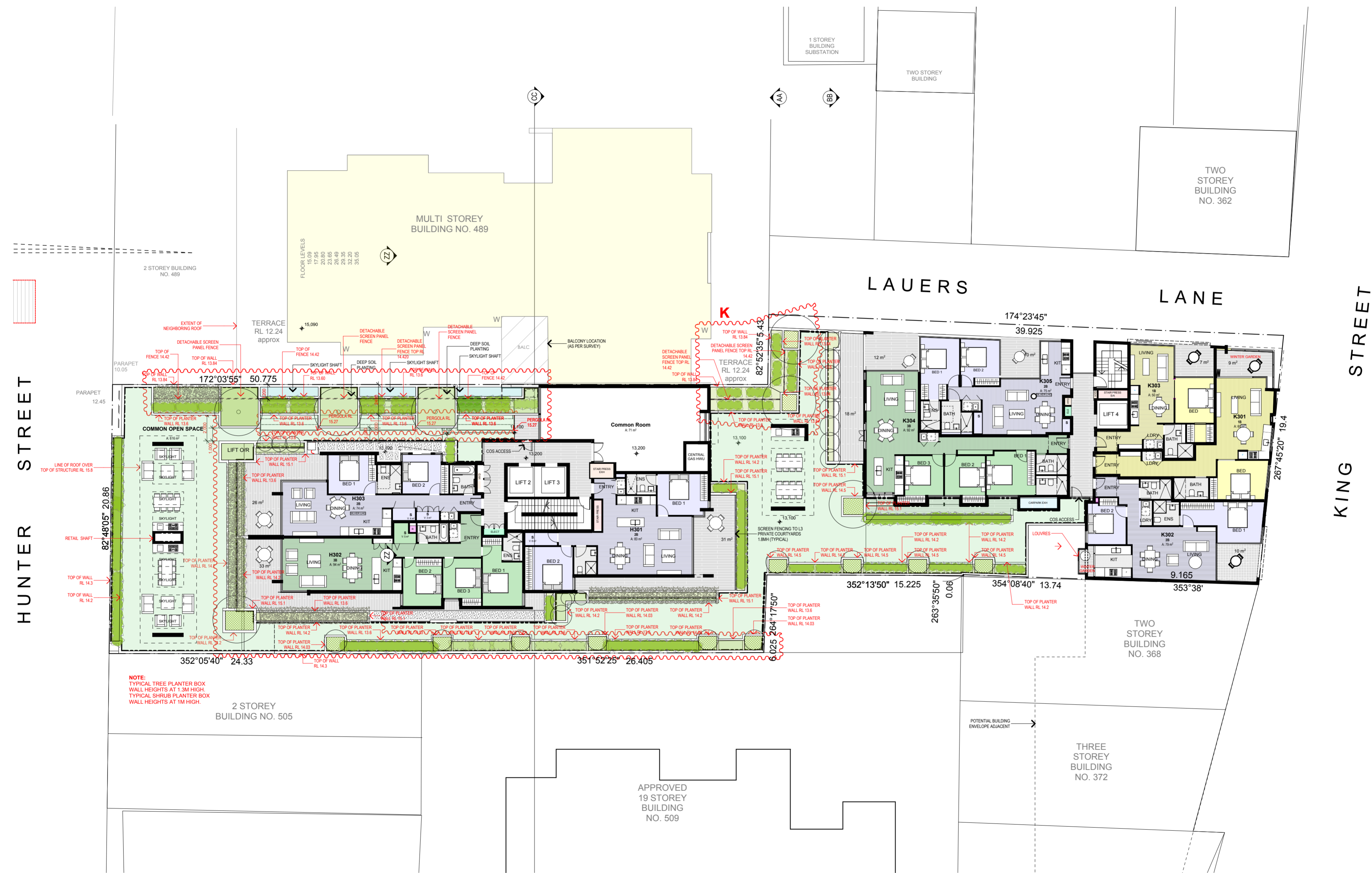
DRAWING TITLE:
LEVEL 3

PROJECT No: 21706
DRAWING No: DA04

REVISION: K
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517



1
Level 3
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	AC UNITS RELOCATED.
27.06.18	C	Refer to attached Addendum Urban Design Statement
29.11.18	D	-New Building Setback to King Street -Modified layout K401 from one bedder to 3 bedder.(One Unit Removed) -Added balcony to Unit K402,K403, (Similar to L3-L4)
21.02.19	E	Bedroom layout changed, window extended
8.03.19	F	Relocated Services cupboards on lift foyer on levels L3 to L5

1B
2B
3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
LEVEL 4

PROJECT No: 21706
DRAWING No: DA05

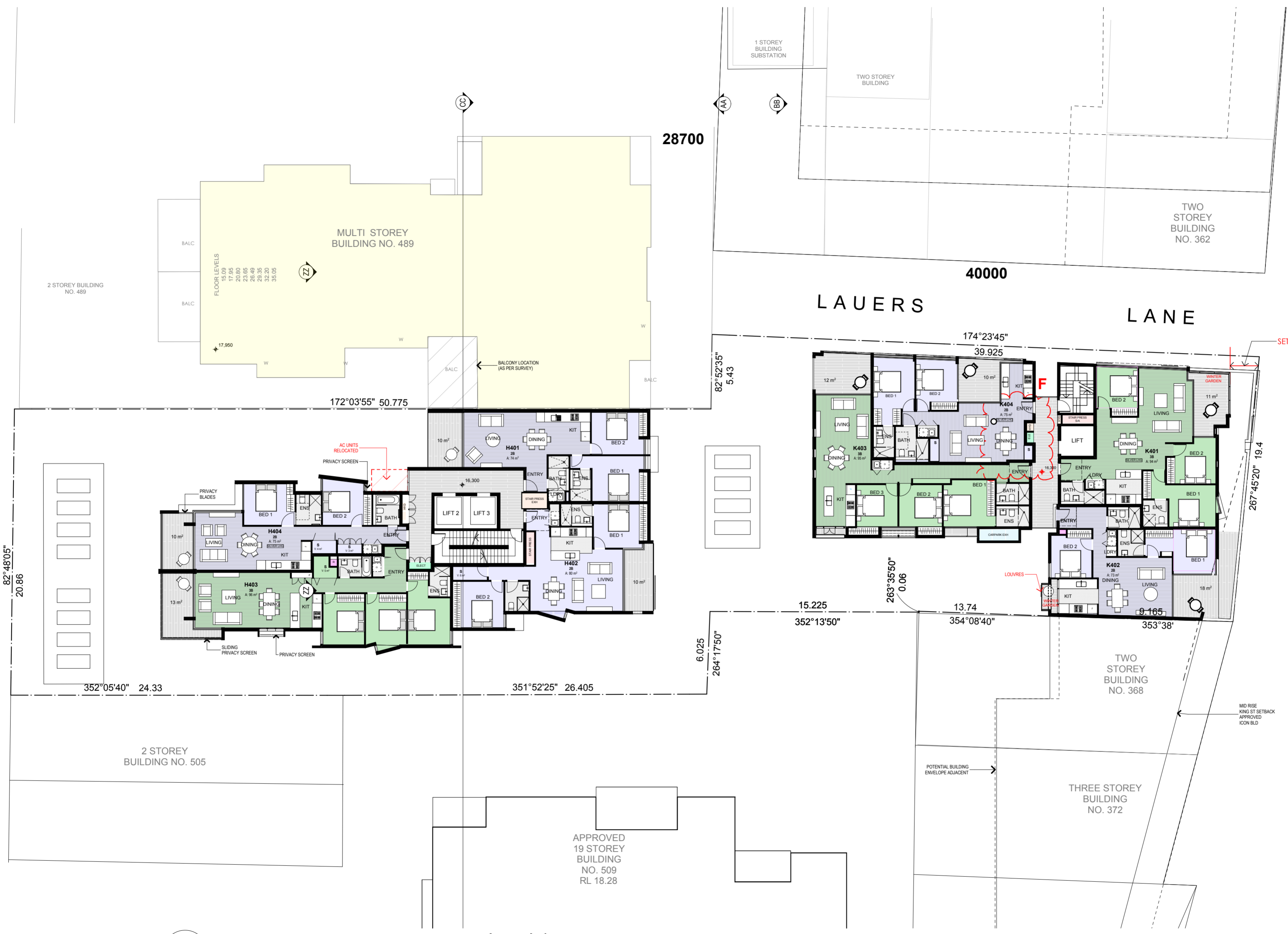
REVISION: F
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

HUNTER STREET

KING STREET



1
Level 4
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
29/11/18	A	-New Building Setback to King Street -Modified layout K501 from one bedder to 3 bedder, (One Unit Removed) -Added balcony to Unit K504, K502
21/02/19	B	Bedroom layout changed, window extended
8.03.19	C	Relocated Services cupboards on lift foyer on levels L3 to L8

1B
2B
3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
**LEVEL 5 (TYPICAL L5-
L8)**

PROJECT No: 21706
DRAWING No: DA05A

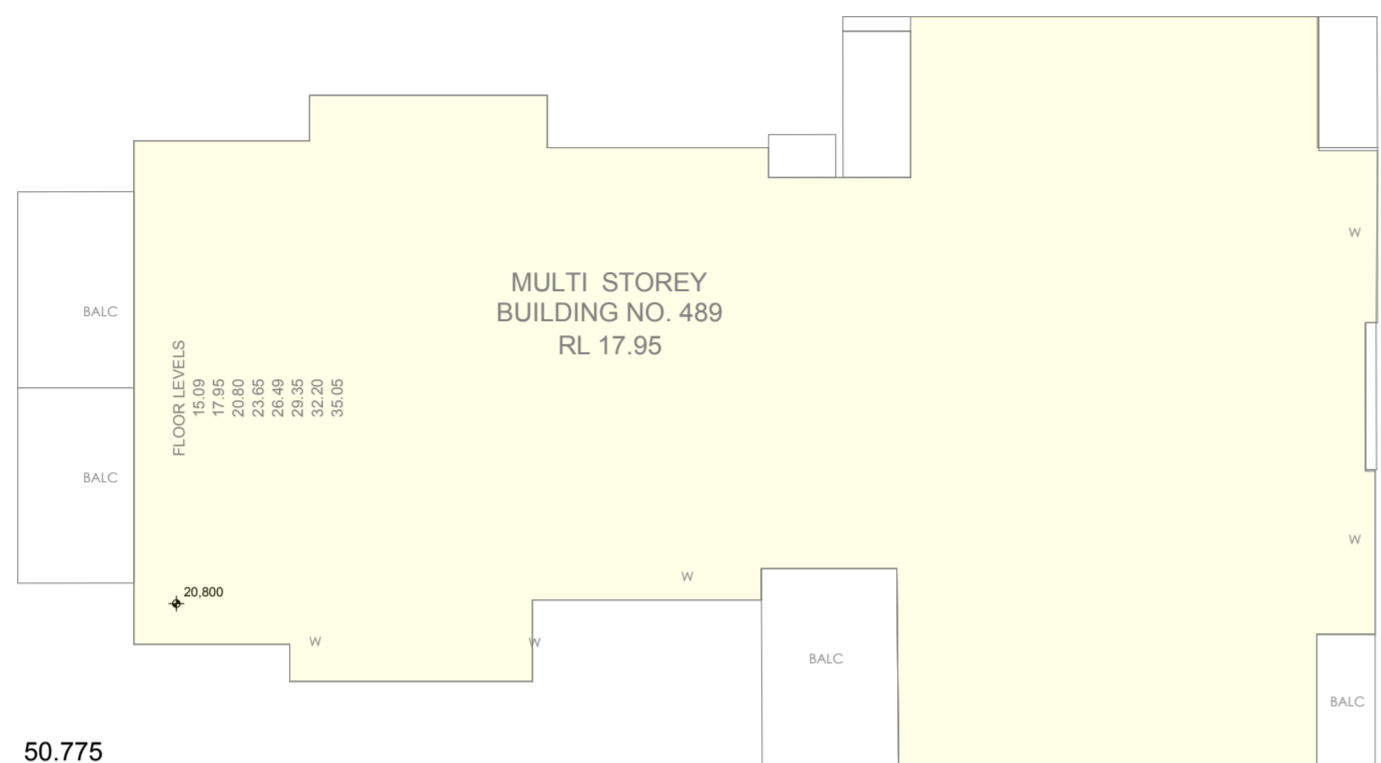
REVISION: C
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

HUNTER STREET

LAUERS LANE
KING STREET



172°03'55" 50.775

352°05'40" 24.33

351°52'25" 26.405

6.025

264°17'50"

15.225
352°13'50"

13.74
354°08'40"

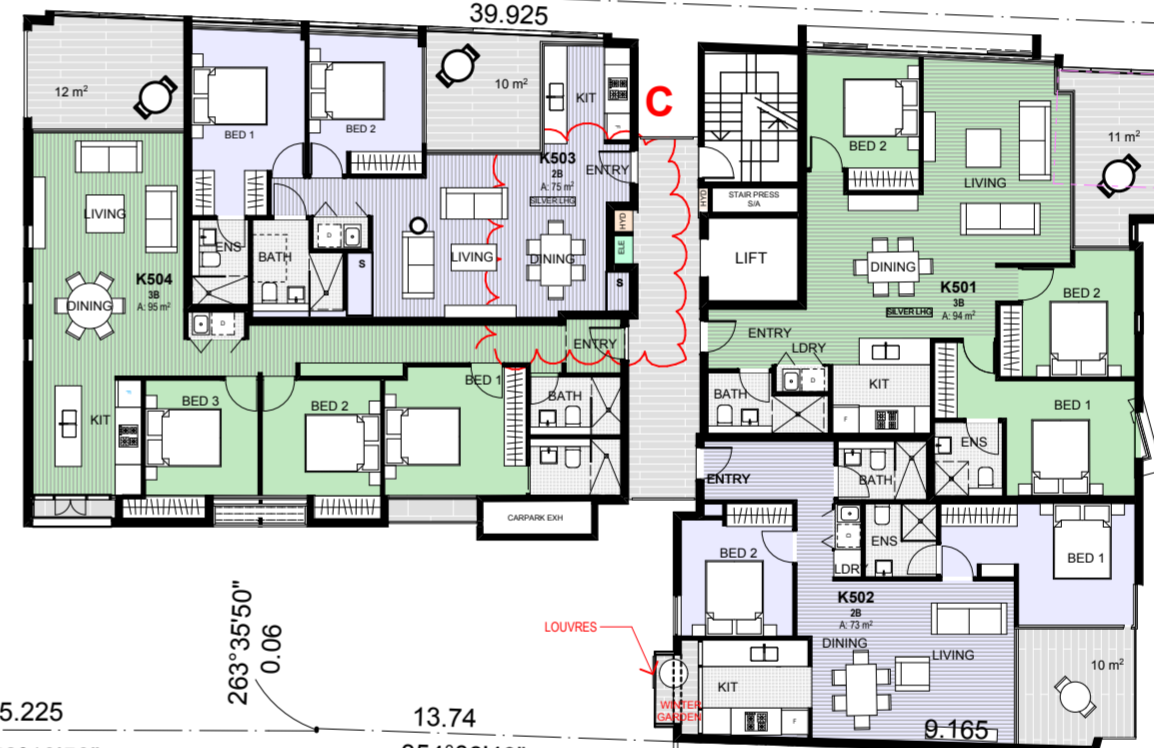
9.165
353°38"

174°23'45"

39.925

SETBACK

267°45'20" 19.4



APPROVED
19 STOREY
BUILDING
NO. 509
RL 21.18

Level 5
1:200

REVISIED DEVELOPMENT
APPLICATION
MARCH 2019

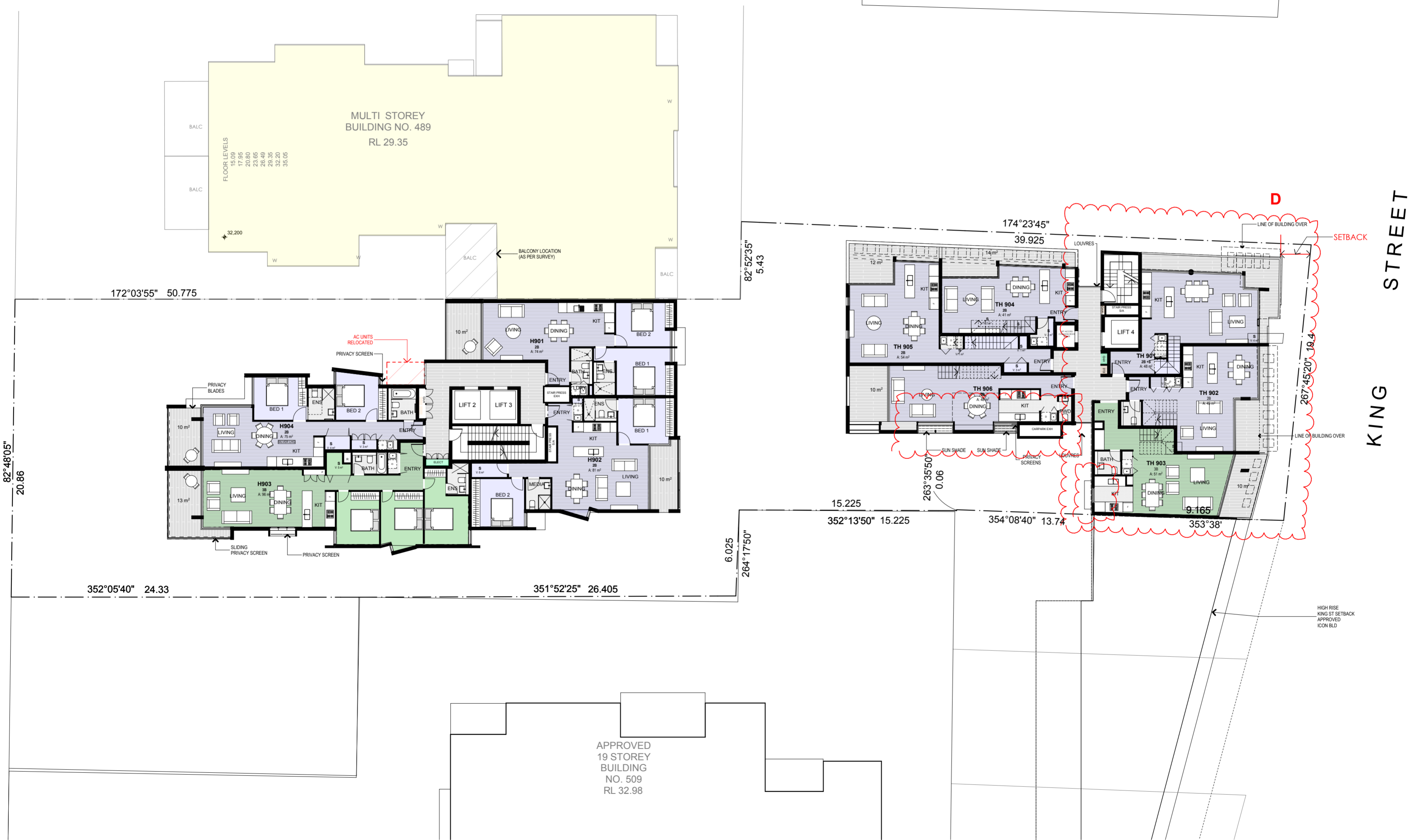
1

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	AC UNITS RELOCATED.
27.06.18	C	Refer to attached Addendum Urban Design Statement
29.11.18	D	-Revised Front Setback to King Street -Modified layout Th 901 from 3b to 2b + Study -Modified layout.Added balcony to TH903,TH905.

1B
2B
3B



KING STREET

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
LEVEL 9 (TH)

PROJECT No: 21706
DRAWING No: DA06

REVISION: D
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	AC UNITS RELOCATED.
28.05.18	C	SKYLIGHT ADDED TO ROOF OVER TH902
27.06.18	D	Refer to attached Addendum Urban Design Statement
29.11.18	E	-Revised Front Setback to King Street -Modified layout Th 901 from 3b to 2b + Study -Modified layout, Added balcony to Th906.

1B
2B
3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
MIXED USE RESIDENTIAL FLAT BUILDING

PROJECT ADDRESS:
495-501 HUNTER STREET
NEWCASTLE

CLIENT:
INTERRELATE & DOWLING COMMERCIAL

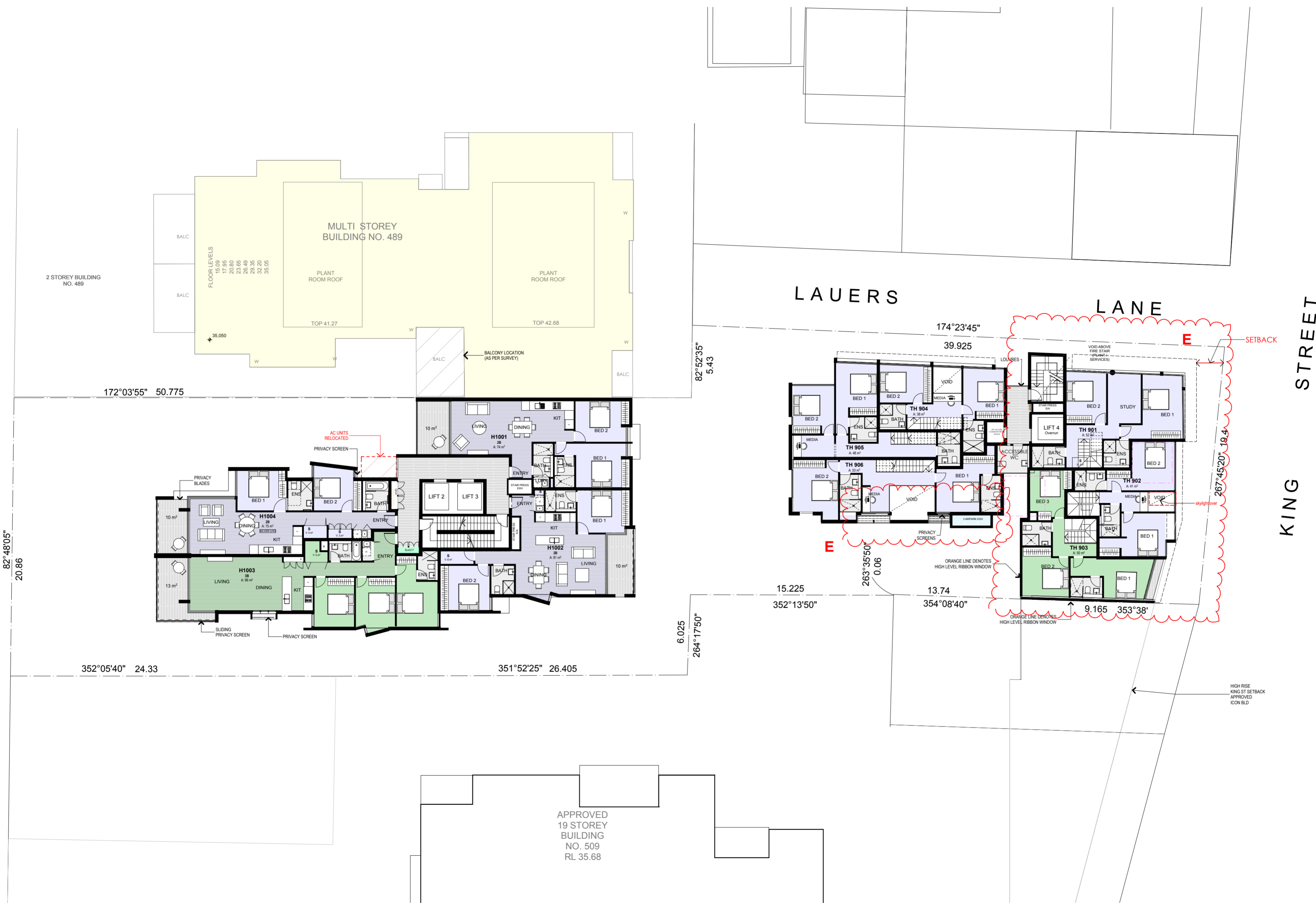
DRAWING TITLE:
LEVEL 10

PROJECT No: 21706
DRAWING No: DA07

REVISION: E
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517



1
Level 10
1:200

REVISED DEVELOPMENT APPLICATION MARCH 2019

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	AC UNITS RELOCATED.
28.05.18	C	SKYLIGHT ADDED TO ROOF OVER TH902
27.06.18	D	Refer to attached Addendum Urban Design Statement
29.11.18	E	- Revised Front Setback to King Street. - Revised Roof. - Revised Common Space on Street Edge

1B
2B
3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD
1: 9953 8477
DAVID WOLSKI

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

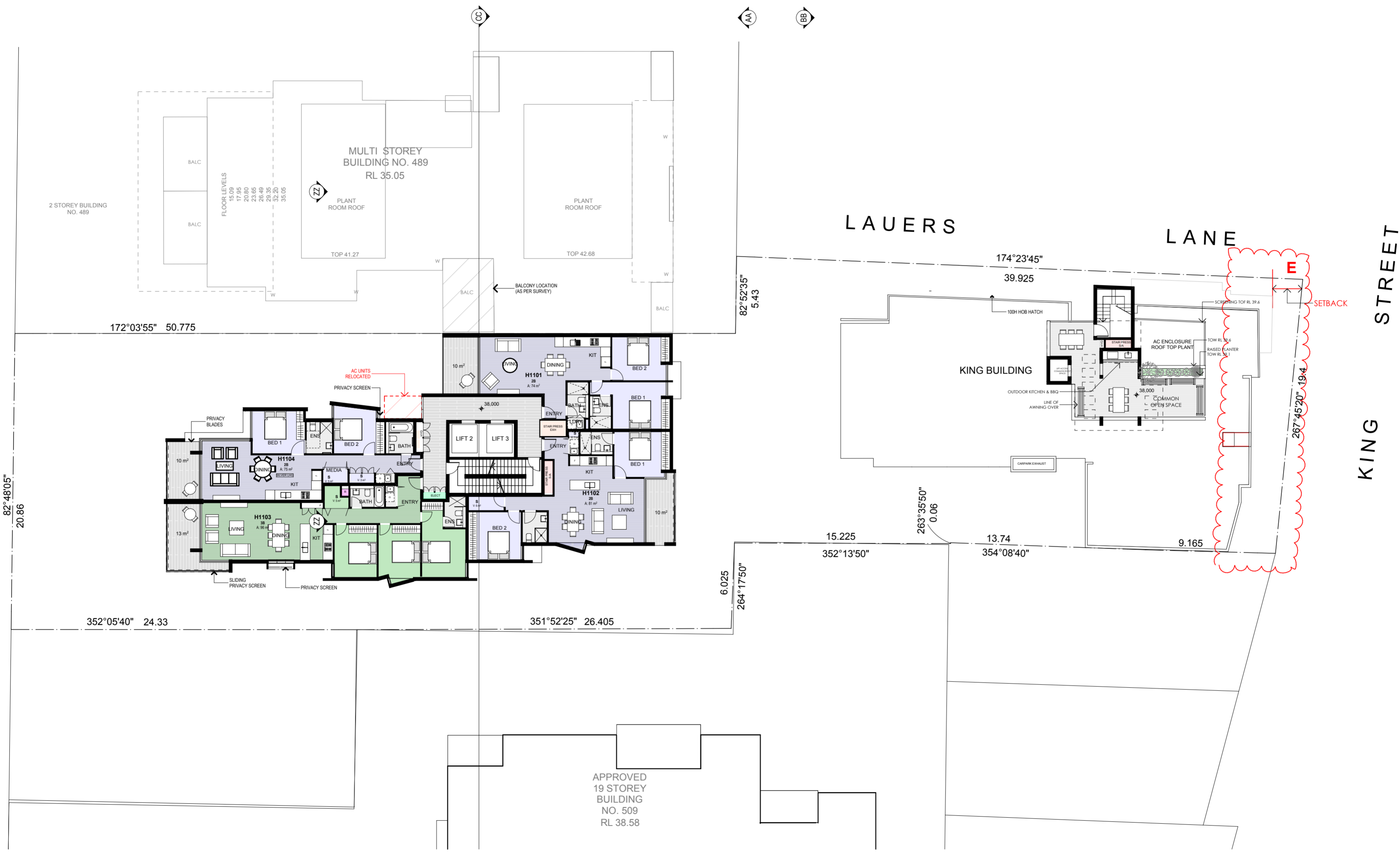
DRAWING TITLE:
LEVEL 11

PROJECT No: **21706**
DRAWING No: **DA08**

REVISION: **E**
NORTH POINT:

SCALE: **1:200 @ A2**
PLOT DATE: **27/03/2019**

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517



1 Level 11 | Roof
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	AC UNITS RELOCATED.
27.06.18	C	Refer to attached Addendum Urban Design Statement

1B
2B
3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
LEVEL 12

PROJECT No: 21706
DRAWING No: DA09

REVISION: C
NORTH POINT: TN

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517



1
Level 12
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION

- 1B
- 2B
- 3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9933 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER STREET
NEWCASTLE

CLIENT:
INTERRELATE &
DOWLING
COMMERCIAL

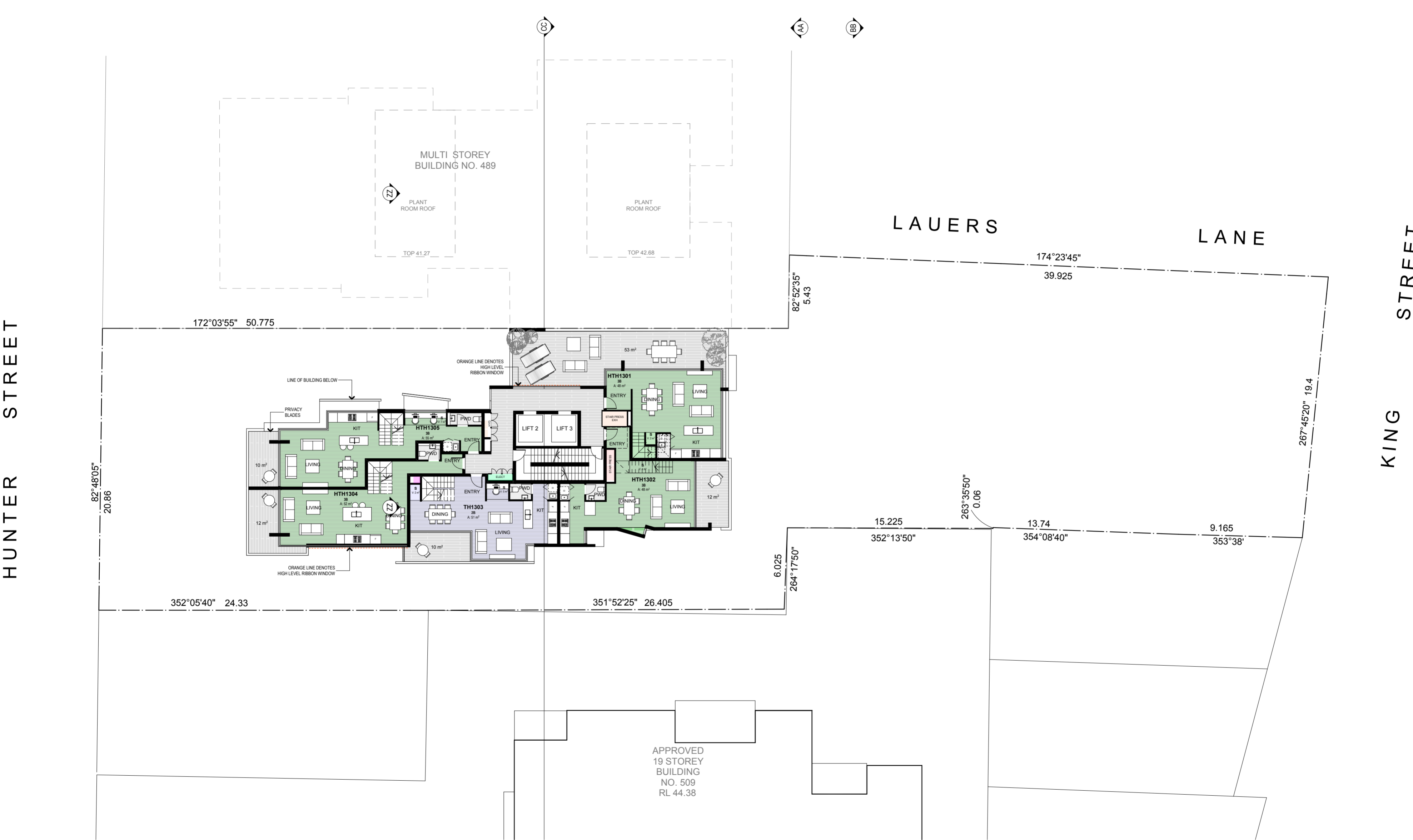
DRAWING TITLE:
LEVEL 13 (TH LOWER LEVEL)

PROJECT No: **21706** DRAWING No: **DA10**

REVISION: NORTH POINT:

SCALE: **1:200 @ A2** PLOT DATE: **27/03/2019**

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517



1 Level 13 (TOWNHOUSE HUNTER ST)
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
041218	A	RLs added + Separation Distance at 45 M RL limit - line

- 1B
- 2B
- 3B

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD
1: 9953 8477
DAVID WOLSKI
MOSMAN NSW 2088
E: info@wolskicoppin.com.au
NSW AIB No. 5277

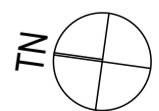
PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
**LEVEL 14 (TH UPPER
LEVEL)**

PROJECT No: 21706	DRAWING No: DA11
-----------------------------	----------------------------

REVISION: A	NORTH POINT: 
-----------------------	---

SCALE: 1:200 @ A2	PLOT DATE: 27/03/2019
----------------------	--------------------------

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter
St Newcastle DA 50517

HUNTER STREET

LAUERS LANE

KING STREET



APPROVED
19 STOREY
BUILDING
NO. 509
RL 47.28

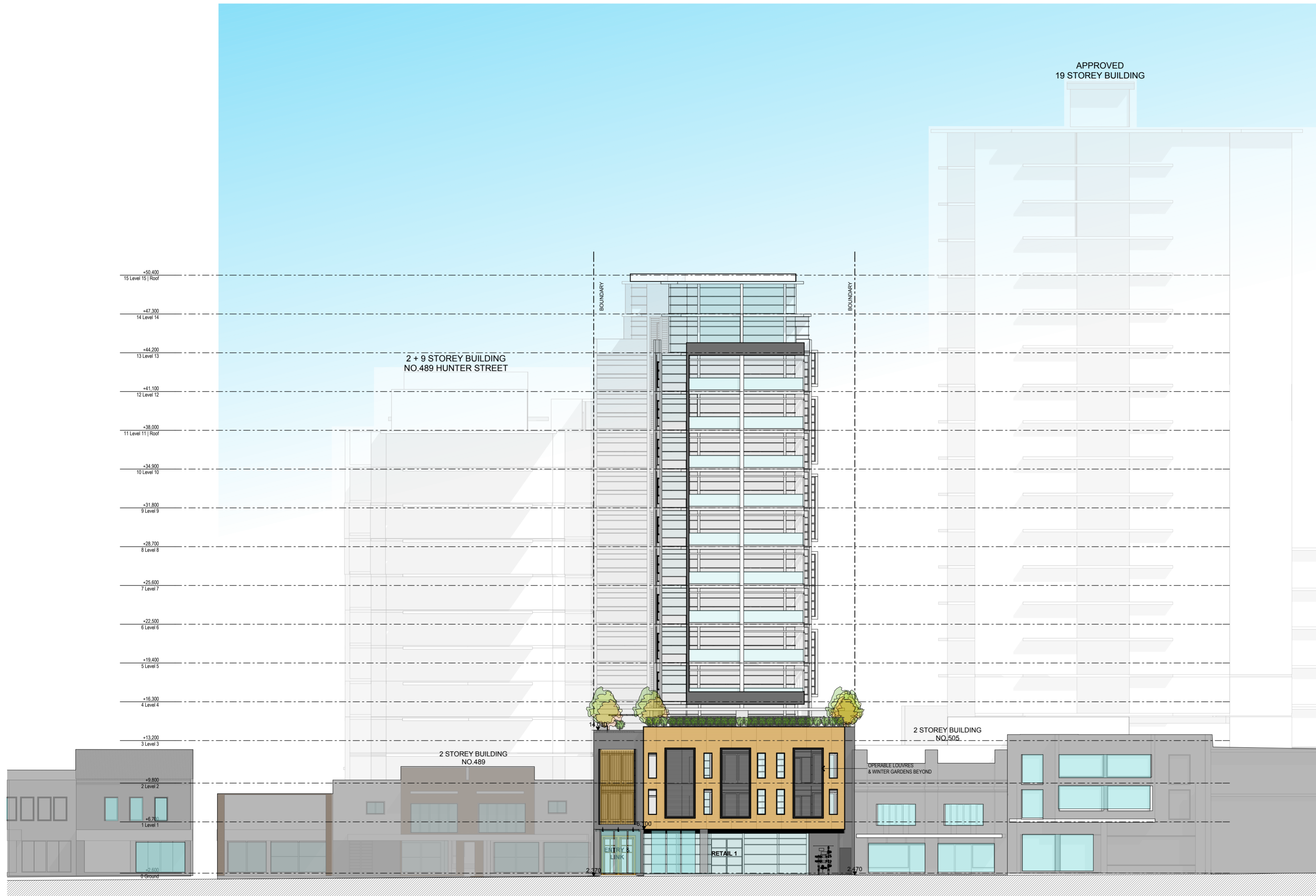
1 Level 14
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
27/06/18	A	Refer to attached Addendum Urban Design Statement



ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
**NORTH ELEVATION
(HUNTER ST.
ELEVATION)**

PROJECT No: **21706** DRAWING No: **DA12**

REVISION: **A** NORTH POINT:

SCALE: **1:200 @ A2** PLOT DATE: **27/03/2019**

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

1 NORTH ELEVATION
(HUNTER STREET ELEV.)

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
28.05.18	A	WINTER GARDEN ADDED TO UNITS K101, K201 & K301. SKYLIGHT ADDED TO ROOF OVER T1402
27.06.18	B	Refer to attached Addendum Urban Design Statement
08.11.18	C	Wall height amended
29.11.18	D	-Building K Revised Setback to King Street -Building K Front Facade Remodelled
20.03.19	E	Added pergola and changed wall height of planters on building K common open space -Highlighted Dedicated road at Lauers Lane

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
EAST ELEVATION

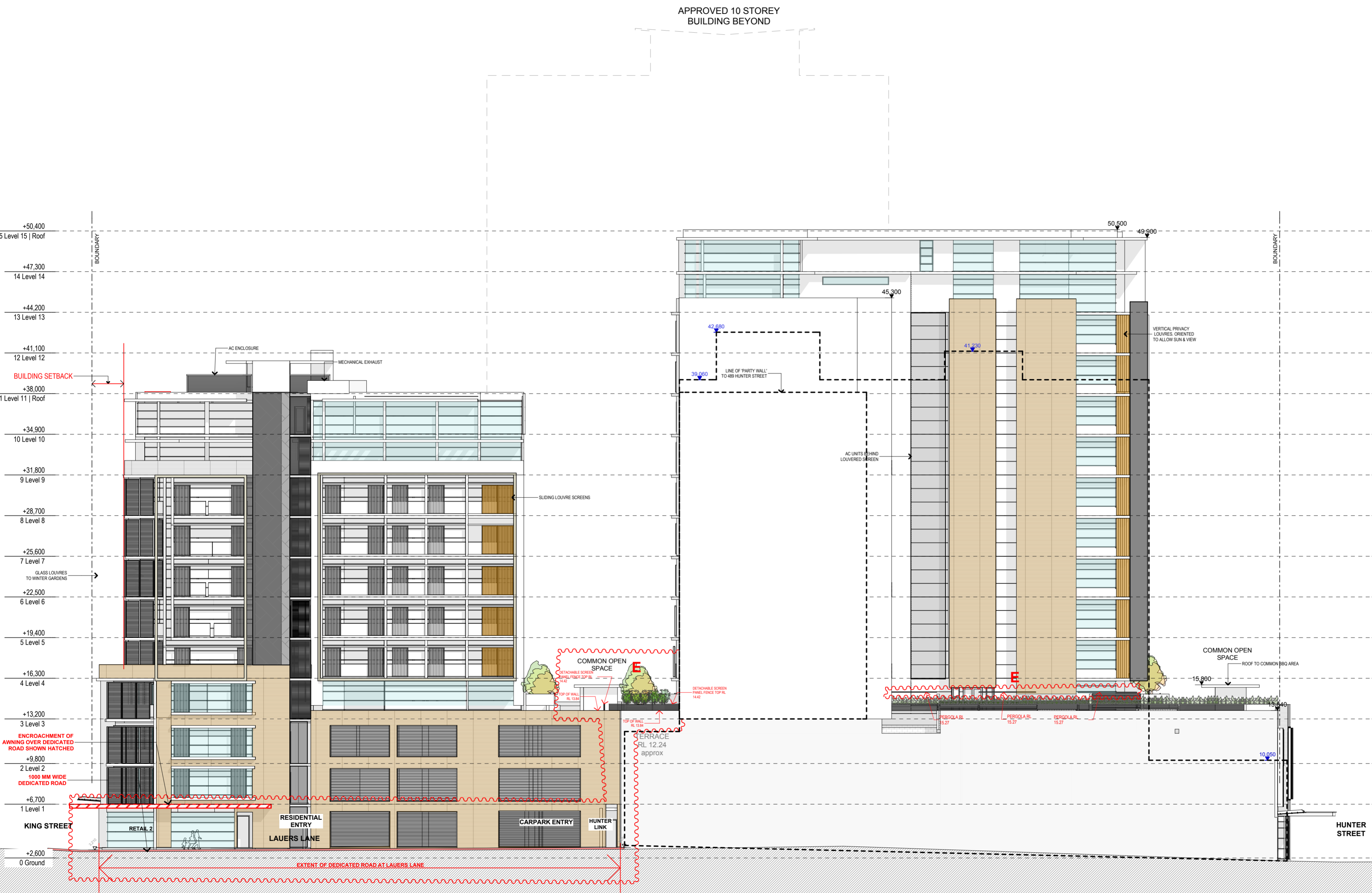
PROJECT No: 21706 DRAWING No: DA13

REVISION: E NORTH POINT:

SCALE: 1:200 @ A2 PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

APPROVED 10 STOREY
BUILDING BEYOND



EAST ELEVATION
1:200

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

1

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
270618	A	Refer to attached Addendum Urban Design Statement
291118	B	Building K Revised Setback to King Street



1

WEST ELEVATION
1:200

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD
1: 9953 8477
DAVID WOLSKI
MOSMAN NSW 2088
E: info@wolskicoppin.com.au
NSW AIB No. 5277

PROJECT TITLE:
MIXED USE
RESIDENTIAL FLAT
BUILDING

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
INTERRELATE &
DOWLING
COMMERCIAL

DRAWING TITLE:

WEST ELEVATION

PROJECT No: 21706
DRAWING No: DA14

REVISION: B
NORTH POINT:

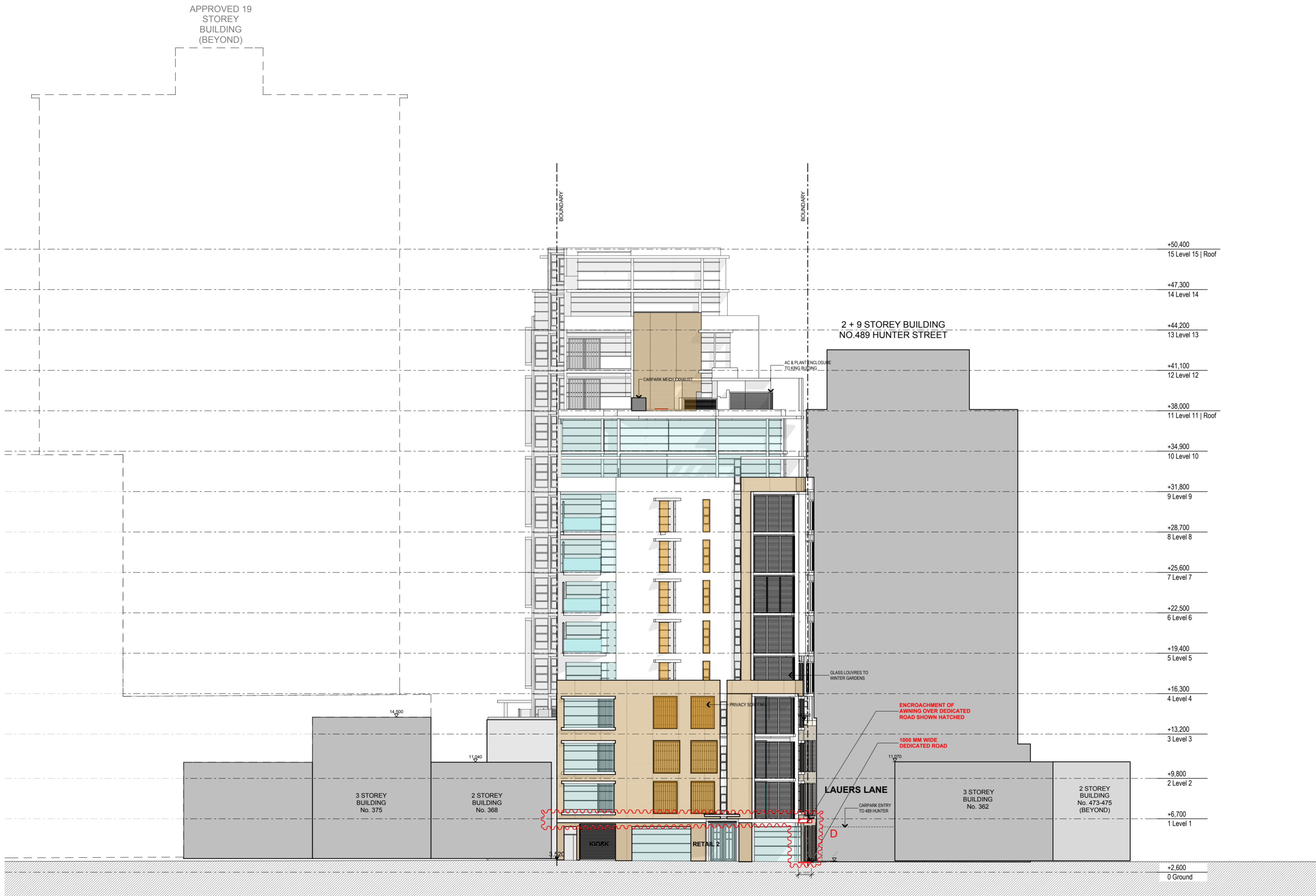
SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
28.05.18	A	WINTER GARDEN ADDED TO UNITS K101, K201 & K301
27.06.18	B	Refer to attached Addendum Urban Design Statement
29.11.18	C	Building K Front Facade Remodel
20.03.19	D	-Awning Extended -Highlighted Dedicated Road at Lauers Lane



ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:

MIXED USE
RESIDENTIAL FLAT
BUILDING

PROJECT ADDRESS:

495-501 HUNTER
STREET
NEWCASTLE

CLIENT:

INTERRELATE &
DOWLING
COMMERCIAL

DRAWING TITLE:

**SOUTH ELEVATION
(KING ST. ELEVATION)**

PROJECT No: DRAWING No:

21706 DA15

REVISION: NORTH POINT:

D

SCALE: PLOT DATE:

1:200 @ A2 27/03/2019

FILE PATH:

BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

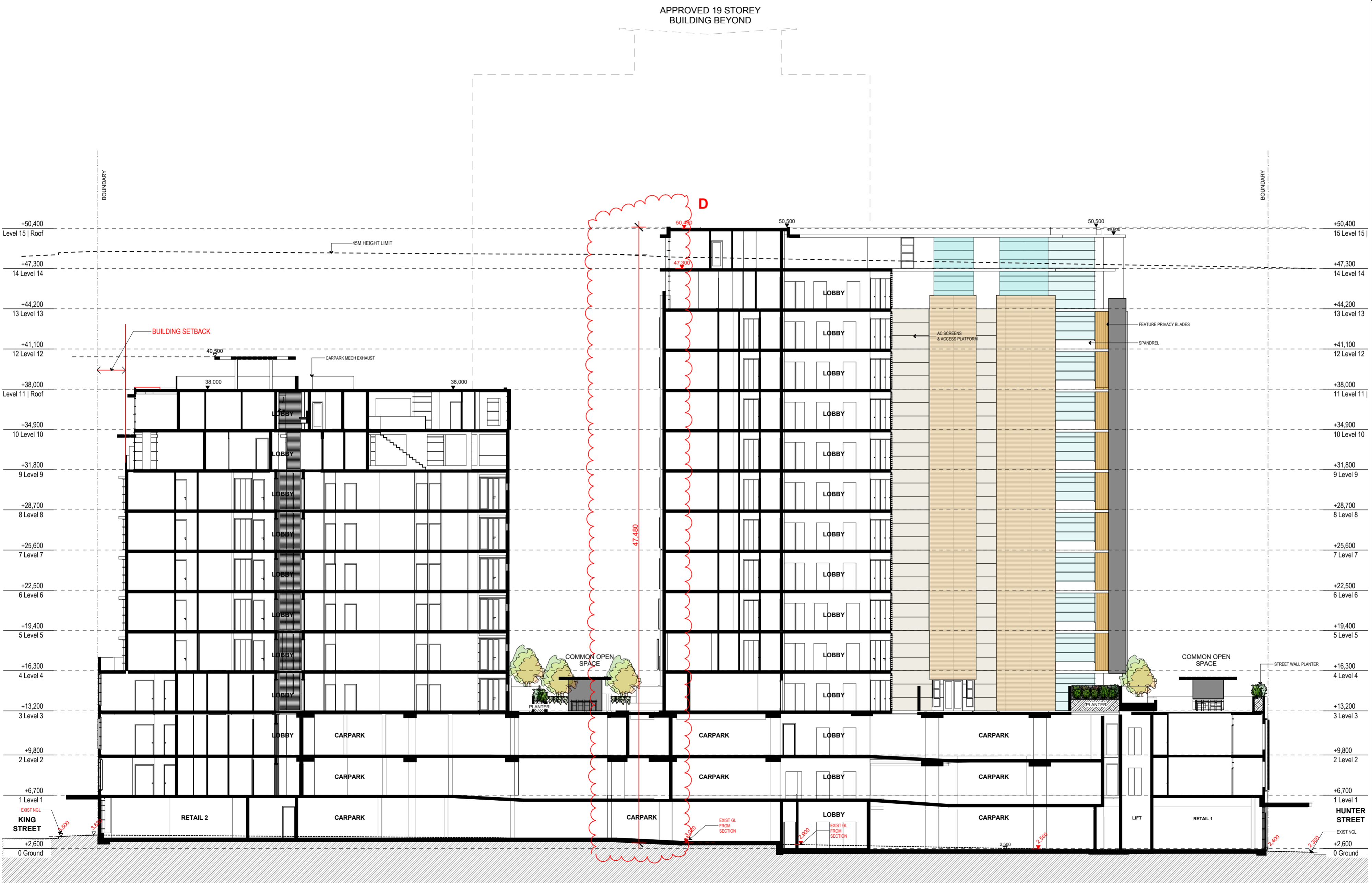
1 SOUTH ELEVATION
(KING STREET ELEV.)

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
28.05.18	A	SKYLIGHT ADDED TO ROOF OVER TH902
270618	B	Refer to attached Addendum Urban Design Statement
291118	C	Building K Revised Setback to King Street
041218	D	Vertical Dimensions & NGL Added



ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
**LONGITUDINAL
SECTION**

PROJECT No: **21706** DRAWING No: **DA16**

REVISION: **D** NORTH POINT:

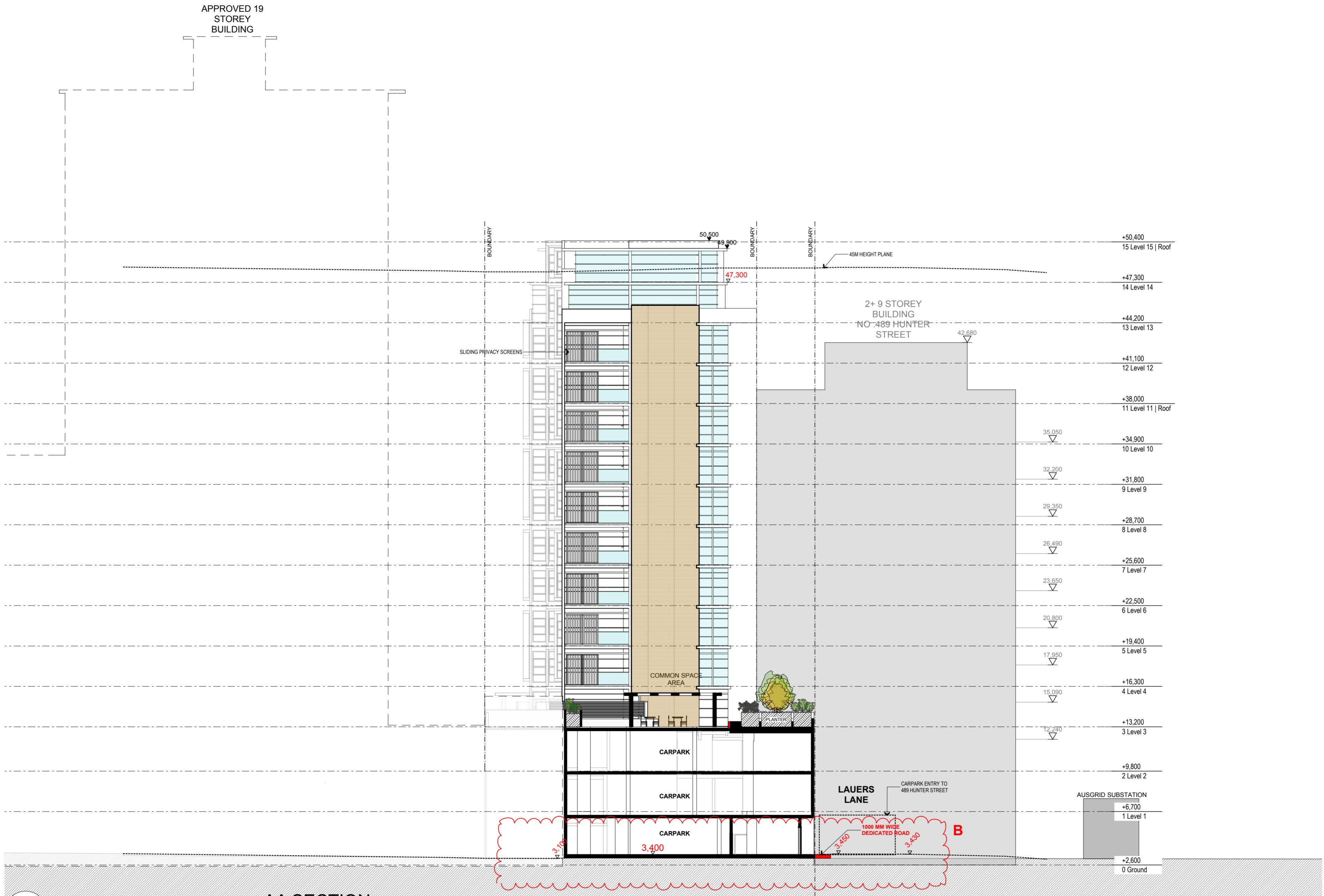
SCALE: **1:200 @ A2** PLOT DATE: **27/03/2019**

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
04/2018	A	New RLs & NGL Added
20/03/19	B	Dedicated Road Added at Lauers Lane



1

AA SECTION
1:200

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
INTERRELATE &
DOWLING
COMMERCIAL

DRAWING TITLE:
**SECTION AA (CROSS
SECTION)**

PROJECT No: 21706
DRAWING No: DA17

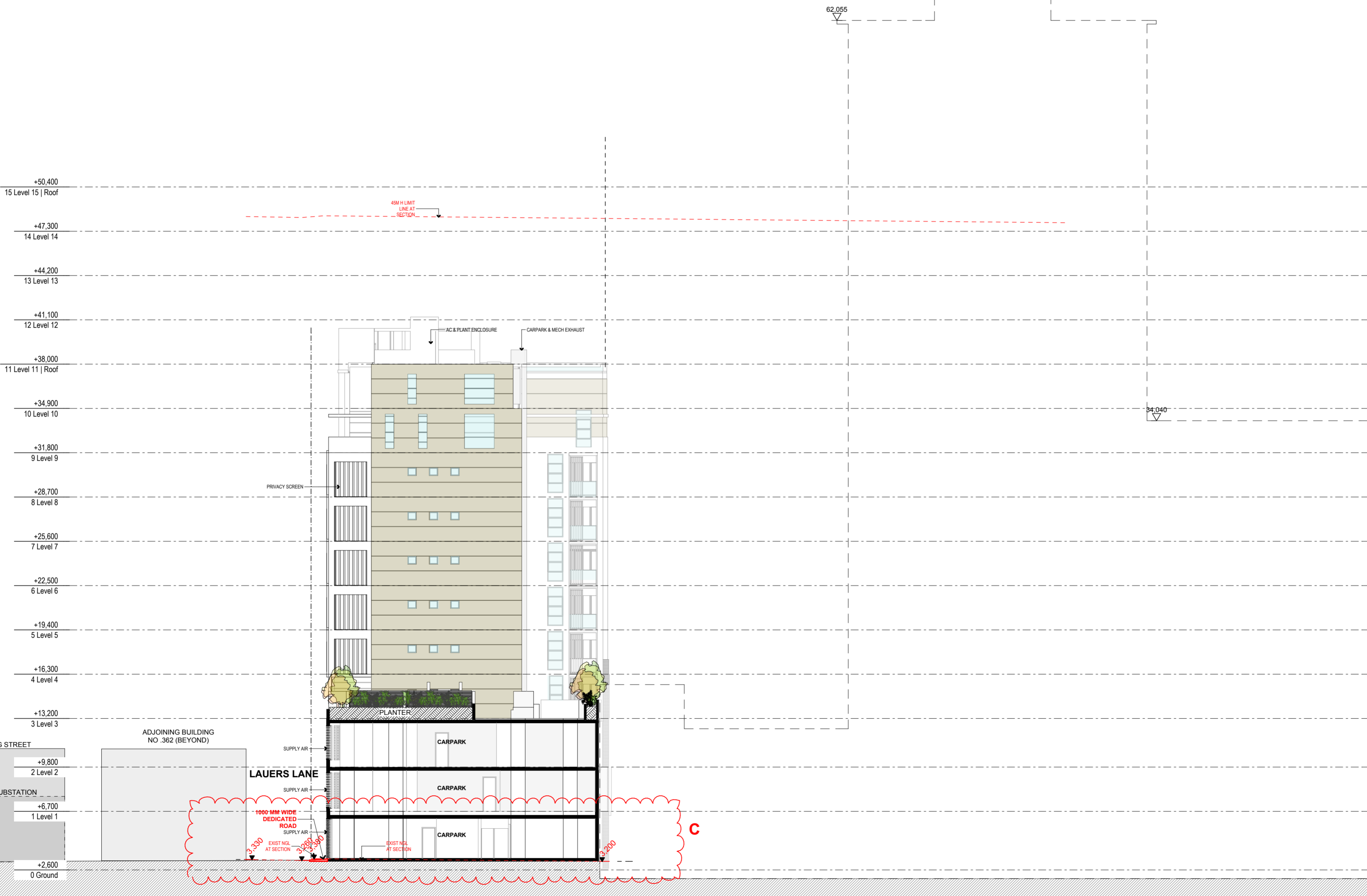
REVISION: B
NORTH POINT:

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

APPROVED 19
STOREY
BUILDING
NO .509



REVISIONS:

DATE	REV	DESCRIPTION
270618	A	Refer to attached Addendum Urban Design Statement
041218	B	NGL Added & 45 m ht line
20 03 19	C	Highlighted Dedicated Road at Lauers Lane

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
**SECTION BB (CROSS
SECTION)**

PROJECT No: 21706
DRAWING No: DA18

REVISION: C
NORTH POINT:

SCALE: 1:200 @ A2
PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

1

**BB SECTION
1:200**

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

APPROVED 19
STOREY
BUILDING
NO .509

REVISIONS:

DATE	REV	DESCRIPTION
08 11 18	A	Wall height amended
04 12 18	B	NGL Added & 45 m ht line

ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD
1: 9953 8477
DAVID WOLSKI

MOSMAN NSW 2088
E: info@wolskicoppin.com.au
NSW AIB No. 5277

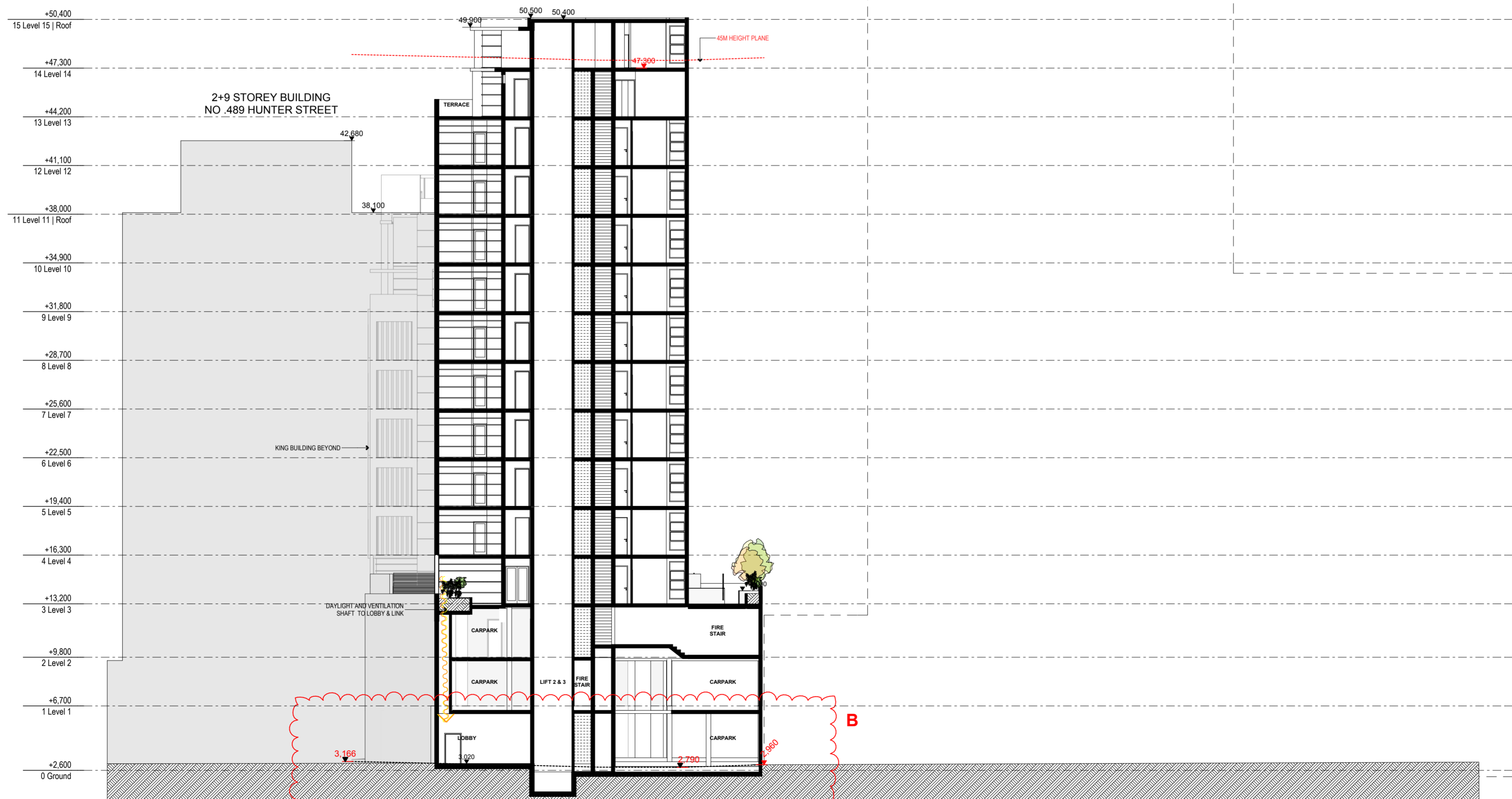
PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

**SECTION CC (CROSS
SECTION)**

PROJECT No:	DRAWING No:
21706	DA19
REVISION:	NORTH POINT:
B	
SCALE:	PLOT DATE:
1:200 @ A2	27/03/2019
FILE PATH:	
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517	



CC SECTION
1:200

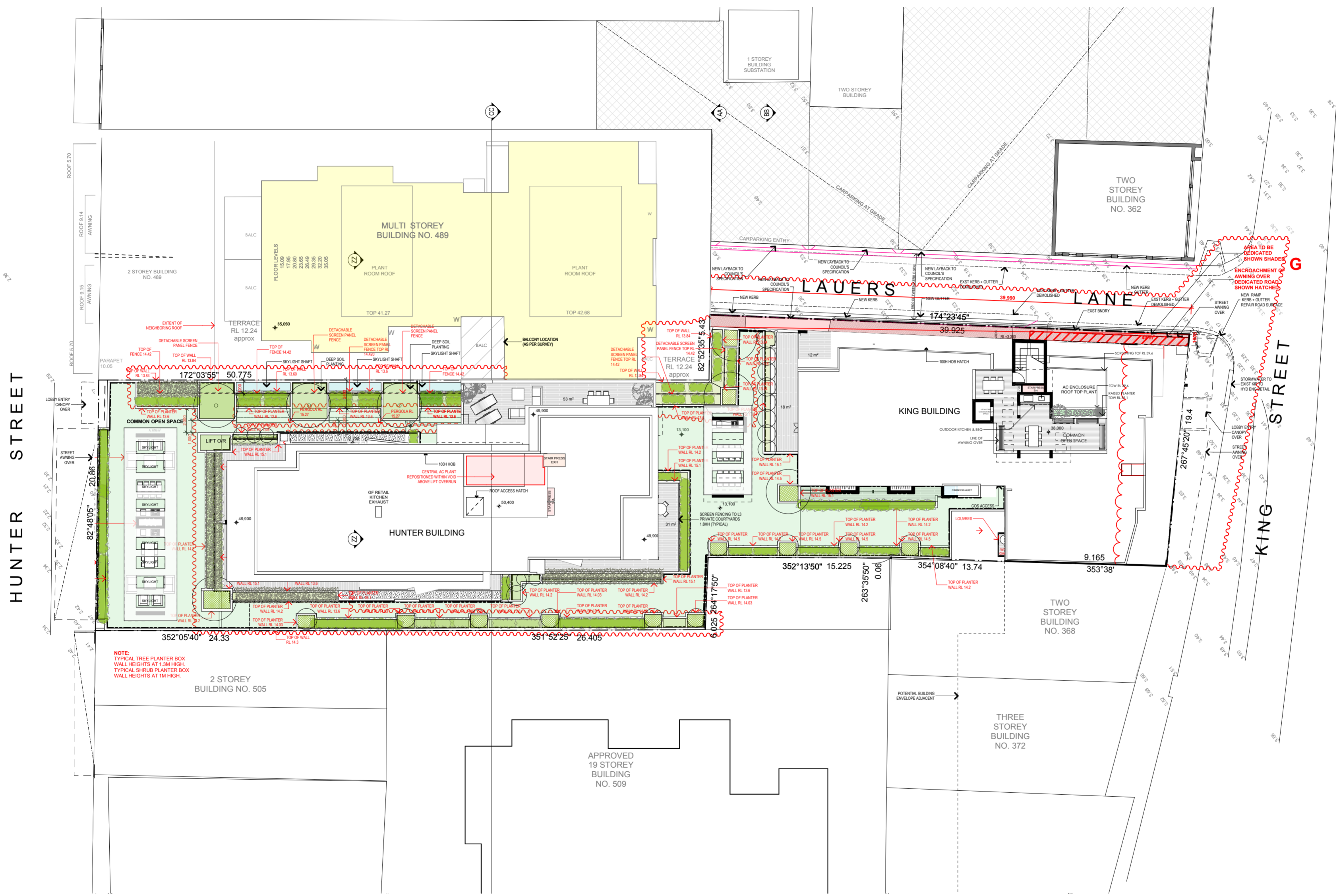
1

REVISED DEVELOPMENT
APPLICATION
MARCH 2019

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
16.02.18	A	ADJOINING BALCONY POSITION NOTED (AS PER SURVEY).
25.05.18	B	AC UNITS RELOCATED WITH PLANTER BOX HEIGHTS AMENDED & ADDITIONAL SCREENING.
28.05.18	C	SKYLIGHT ADDED TO ROOF OVER TH902
27.06.18	D	Refer to attached Addendum Urban Design Statement
08.11.18	E	Wall height amended
29.11.18	F	-Building K Revised Setback to King Street -Revised Roof -Revised Common Space on Street Edge
20.03.19	G	Added Pergola & top of wall RLs on Common Area (L3) -Highlighted extent of Dedicated Road at Lauers Lane



ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW A88 No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
**495-501 HUNTER
STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
ROOF/SITE PLAN

PROJECT No: **21706** DRAWING No: **DA20**

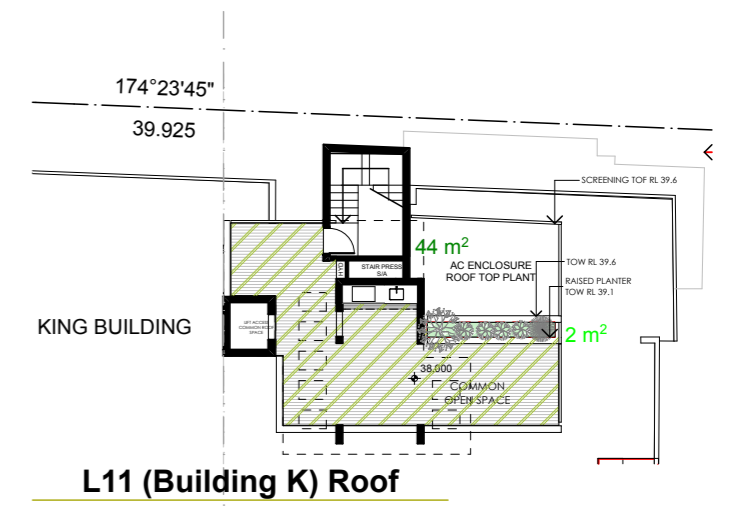
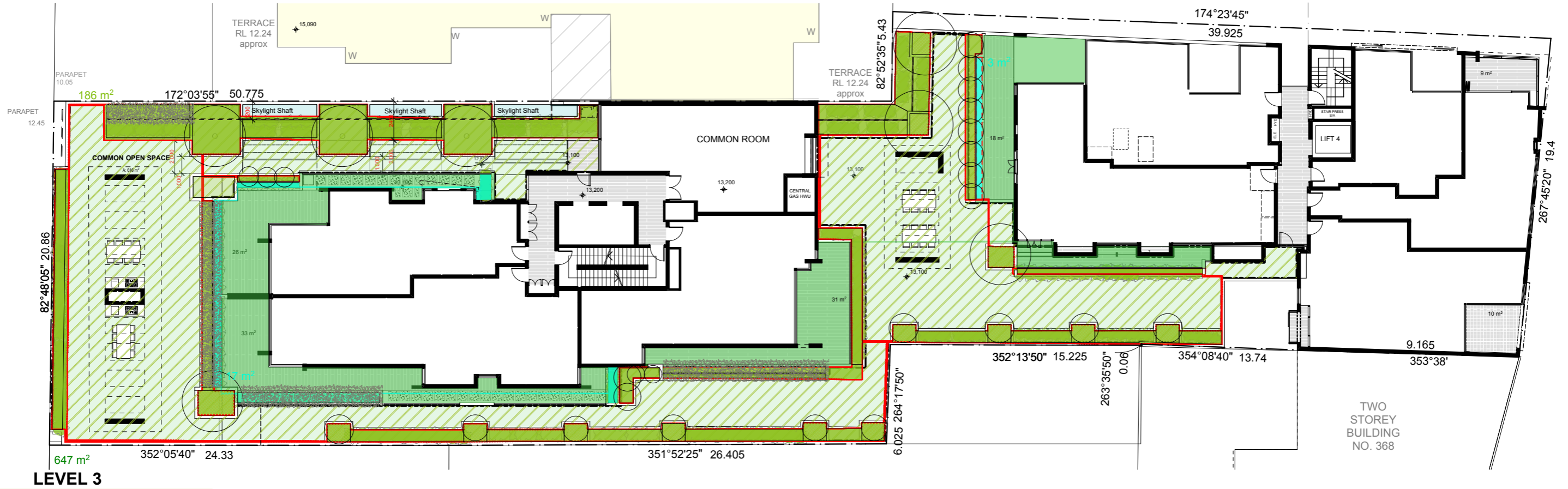
REVISION: **G** NORTH POINT:

SCALE: **250, 1:400 @ A2** PLOT DATE: **27/03/2019**

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 20/21706_495 Hunter St Newcastle DA 50517

**REVISED DEVELOPMENT
APPLICATION
MARCH 2019**

HUNTER STREET



COMMON SPACE CALCULATIONS

SITE AREA		1827 M ²	
COMMUNAL OPEN SPACE	L3	=647 M ²	=691 M ² (0.378 : 1)
	L11 (ROOF BUILDING K)	=44	
PRIVATE COURTYARD			

LANDSCAPE CALCULATIONS

SITE AREA		1827 M ²	
LANDSCAPE AREA TO COMMUNAL SPACE	L3	=186 M ²	=2 M ²
	L11 (ROOF BLDG K)	=2 M ²	
LANDSCAPE AREA TO PRIVATE COURTYARD	L3	=20 M ²	
TOTAL LANDSCAPE AREA		=208 M²	

REVISED DEVELOPMENT APPLICATION MARCH 2019

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
 THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
 THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION
20/03/19	A	COMMON SPACE / LANDSCAPE CALCULATIONS REVISED						

ARCHITECT:

WOLSKI . COPPIN
 ARCHITECTURE
 LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
 T: 9953 8477 E: info@wolskicoppin.com.au
 DAVID WOLSKI NSW ARB No. 5297

PROJECT TITLE:
MIXED USE DEVELOPMENT
 PROJECT ADDRESS:
**495 - 501 HUNTER STREET
 NEWCASTLE**

CLIENT:
**INTERRELATE &
 DOWLING
 COMMERCIAL**
 DRAWING TITLE:
**COMMON SPACE/ LANDSCAPE
 CALCULATIONS**

PROJECT No:
21706
 SCALE:
 1:250@A3

DRAWING No:
C01

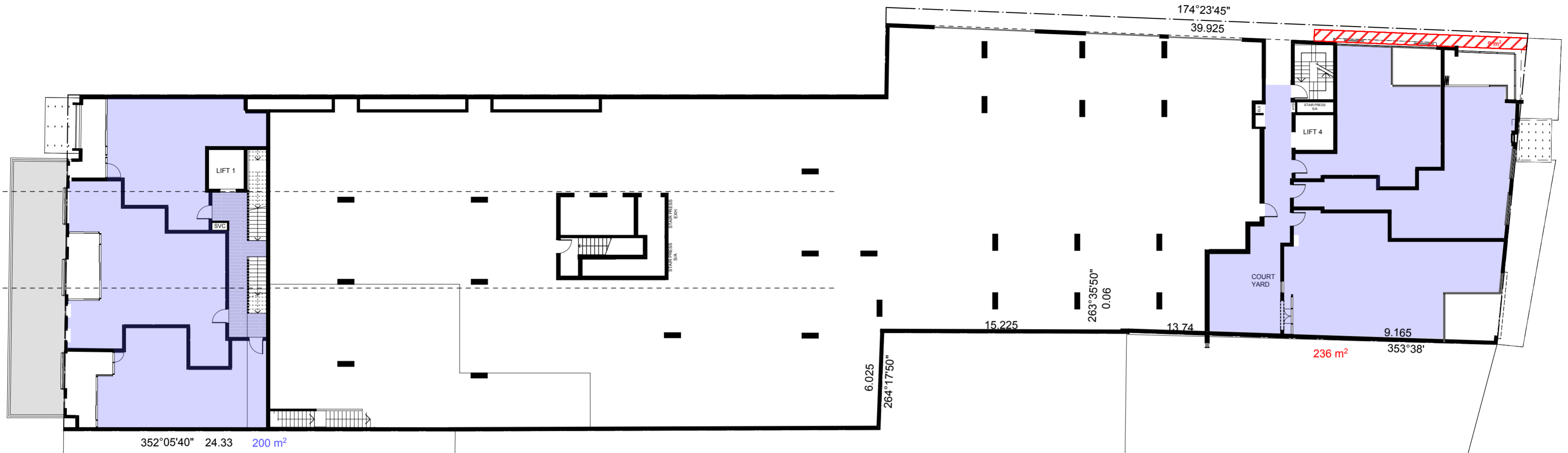
REVISION:
A
 PLOT DATE:
 27/03/2019



NOTES:
 FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
 THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
 THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

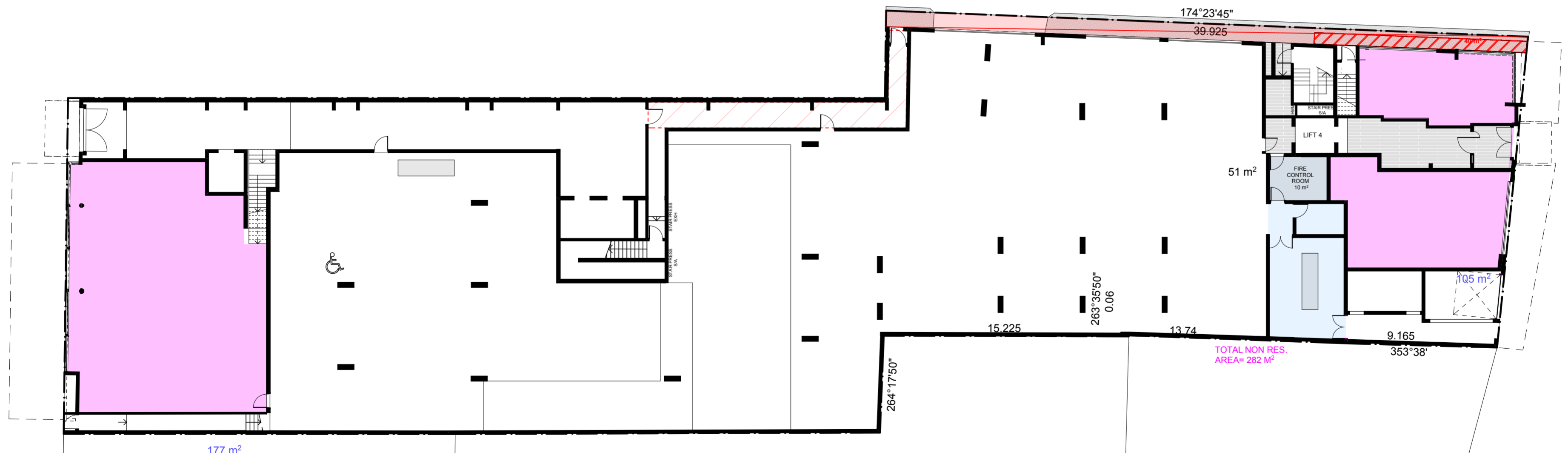
REVISIONS:

DATE	REV	DESCRIPTION
26/03/19	A	Residential / Commercial GFA Revised



Level 1
1:200

1



Ground
1:200

2

ARCHITECT:
WOLSKI . COPPIN
 ARCHITECTURE
 LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
 T: 9953 8477 E: info@wolskicoppin.com.au
 DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
MIXED USE RESIDENTIAL FLAT BUILDING

PROJECT ADDRESS:
 495-501 HUNTER STREET
 NEWCASTLE

CLIENT:
 INTERRELATE & DOWLING COMMERCIAL

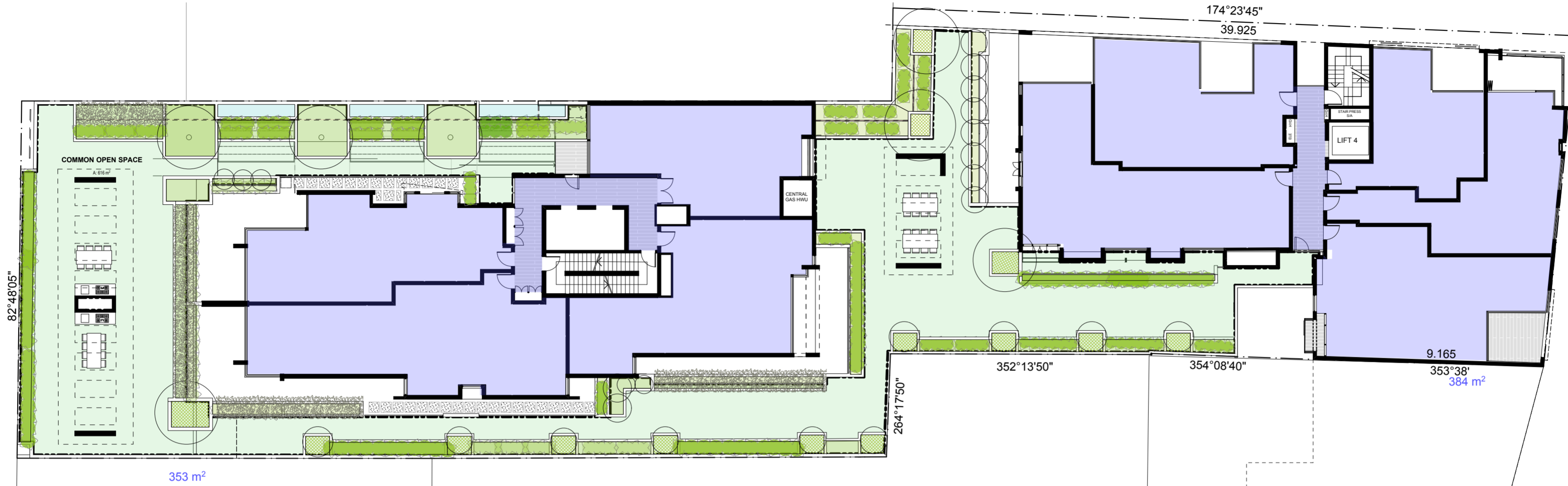
DRAWING TITLE:
GFA CALCULATIONS 01

PROJECT No: 21706
 DRAWING No: GFA01

REVISION: A
 NORTH POINT:

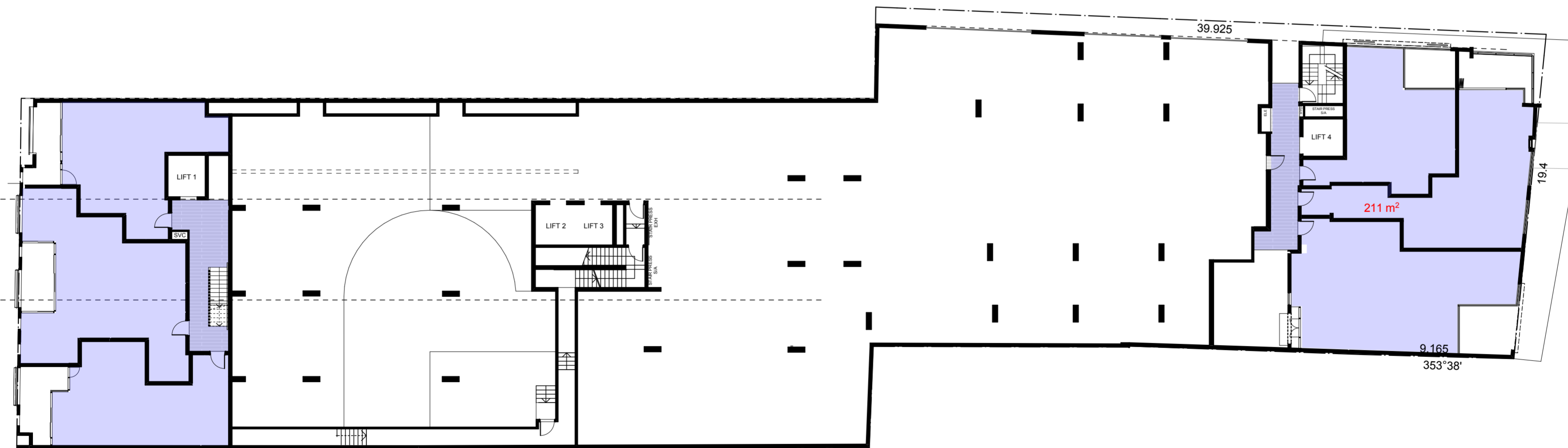
SCALE: 1:200 @ A2
 PLOT DATE: 27/03/2019

FILE PATH:
 BIM Server: BIMSRV01 - BIM Server 20/21706_495 Hunter St Newcastle DA 50517



353 m²
Level 3
1:200

1



203 m²
Level 2
1:200

1

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
26 03 19	A	Residential GFA Revised

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
**MIXED USE
RESIDENTIAL FLAT
BUILDING**

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
INTERRELATE &
DOWLING
COMMERCIAL

DRAWING TITLE:
**GFA CALCULATIONS
02**

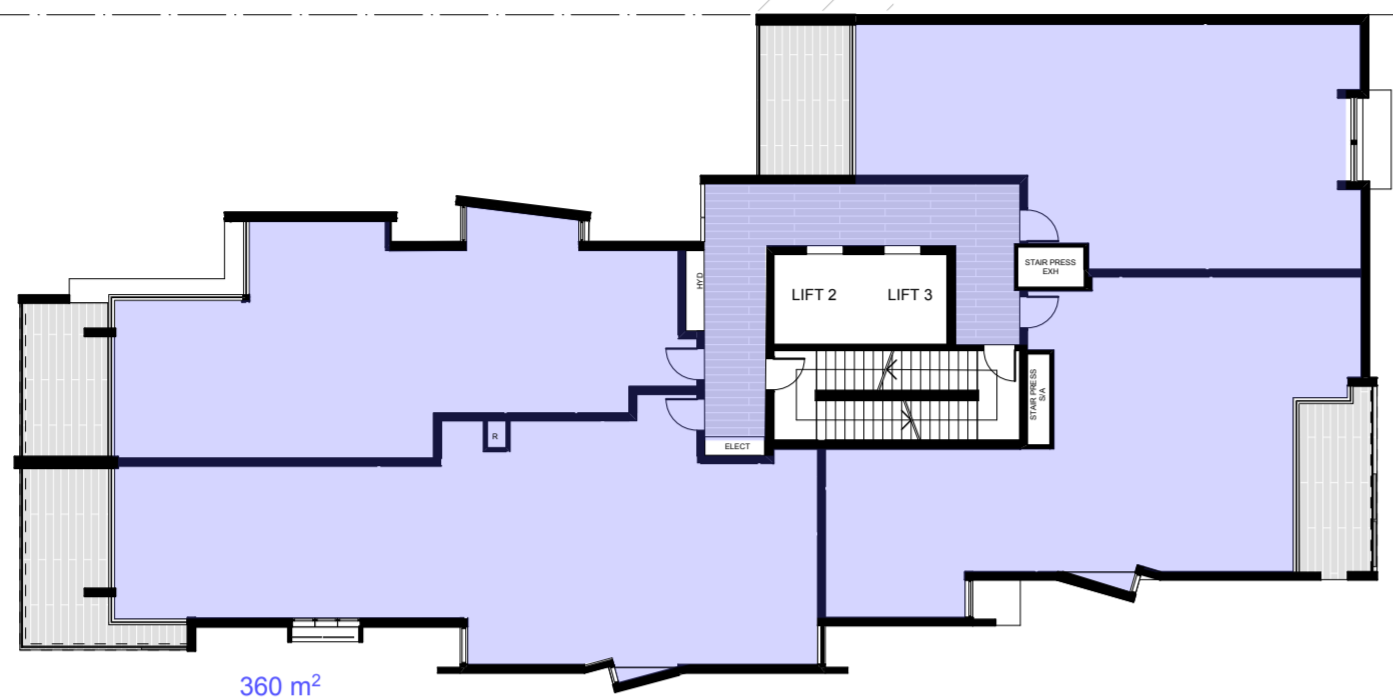
PROJECT No: 21706 DRAWING No: GFA02

REVISION: A NORTH POINT:

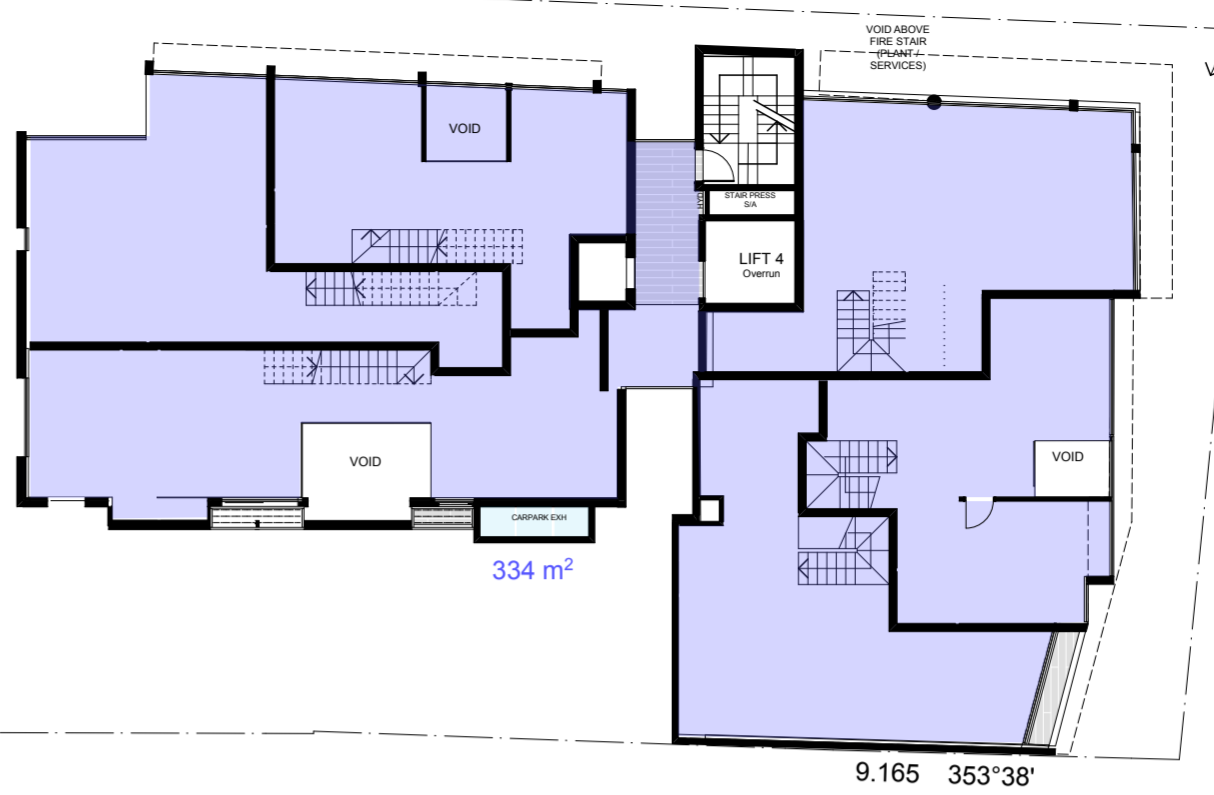
SCALE: 1:200 @ A2 PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 2021706_495 Hunter St Newcastle DA 50517

REVISED DEVELOPMENT APPLICATION
MARCH 2019

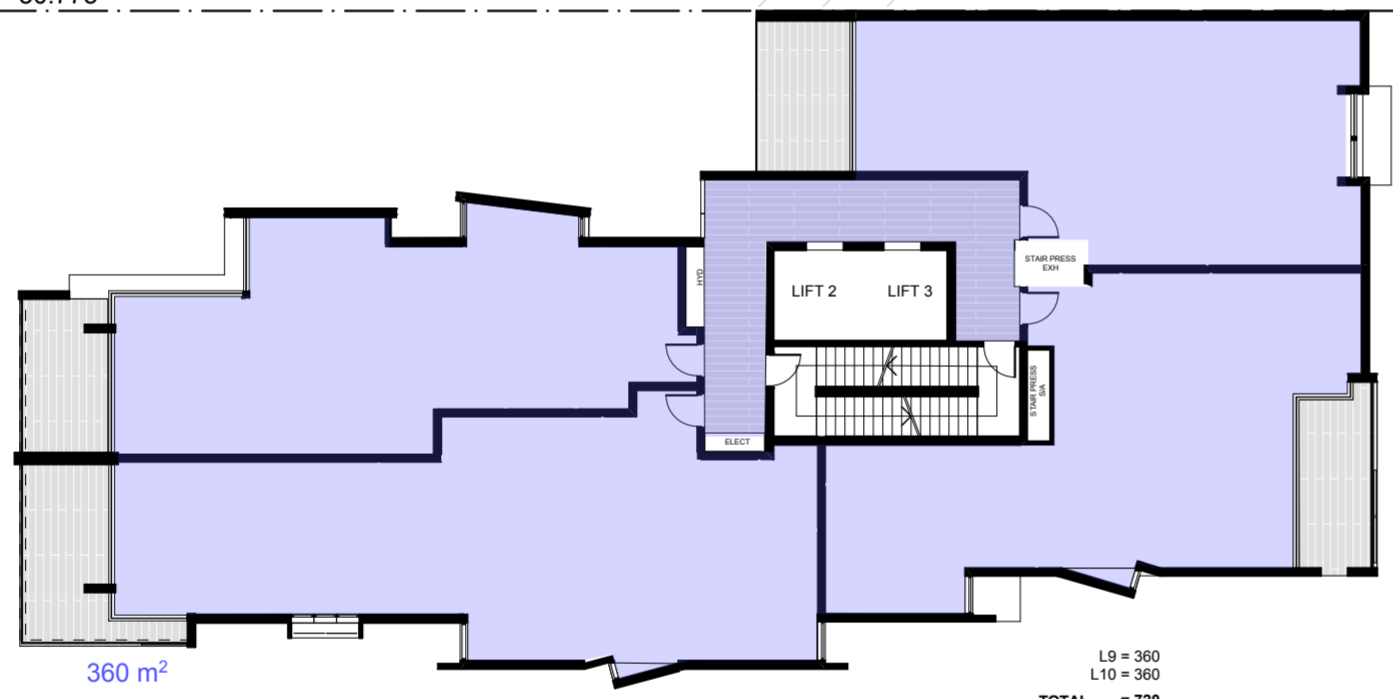


Level 10
1:200

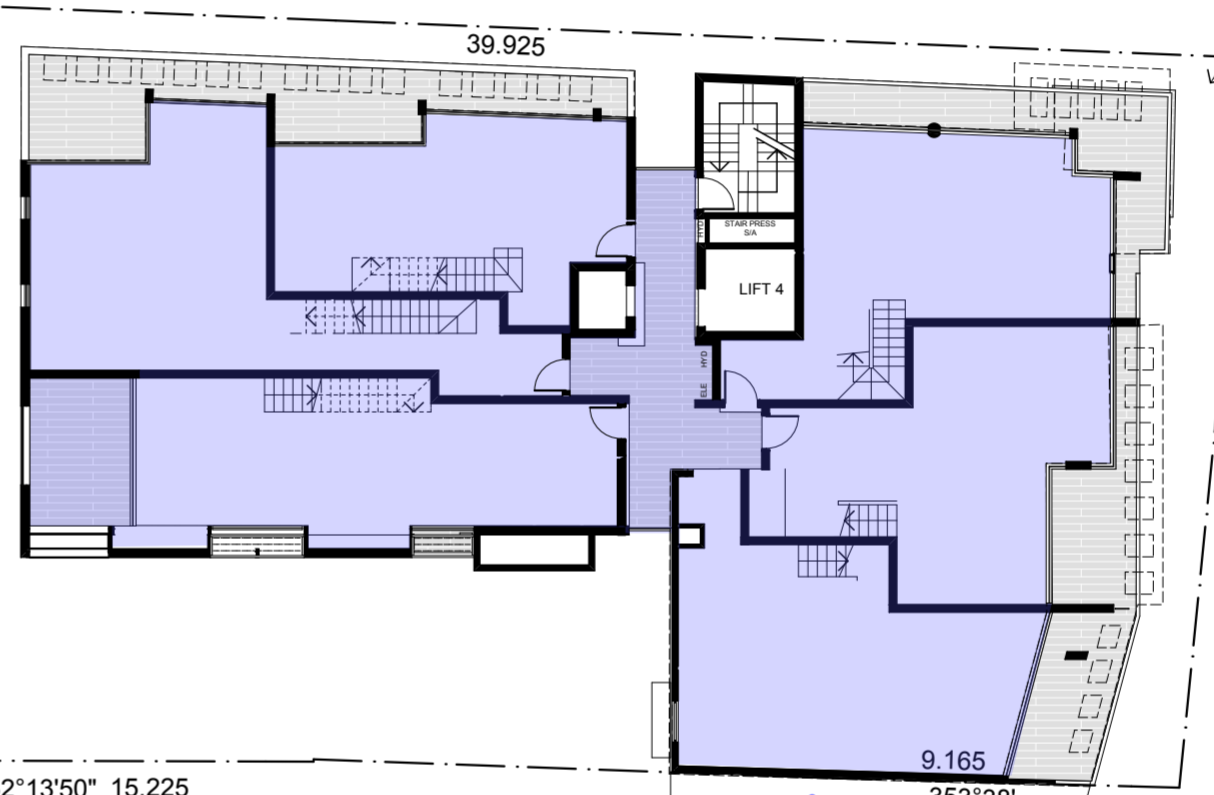


1

172°03'55" 50.775



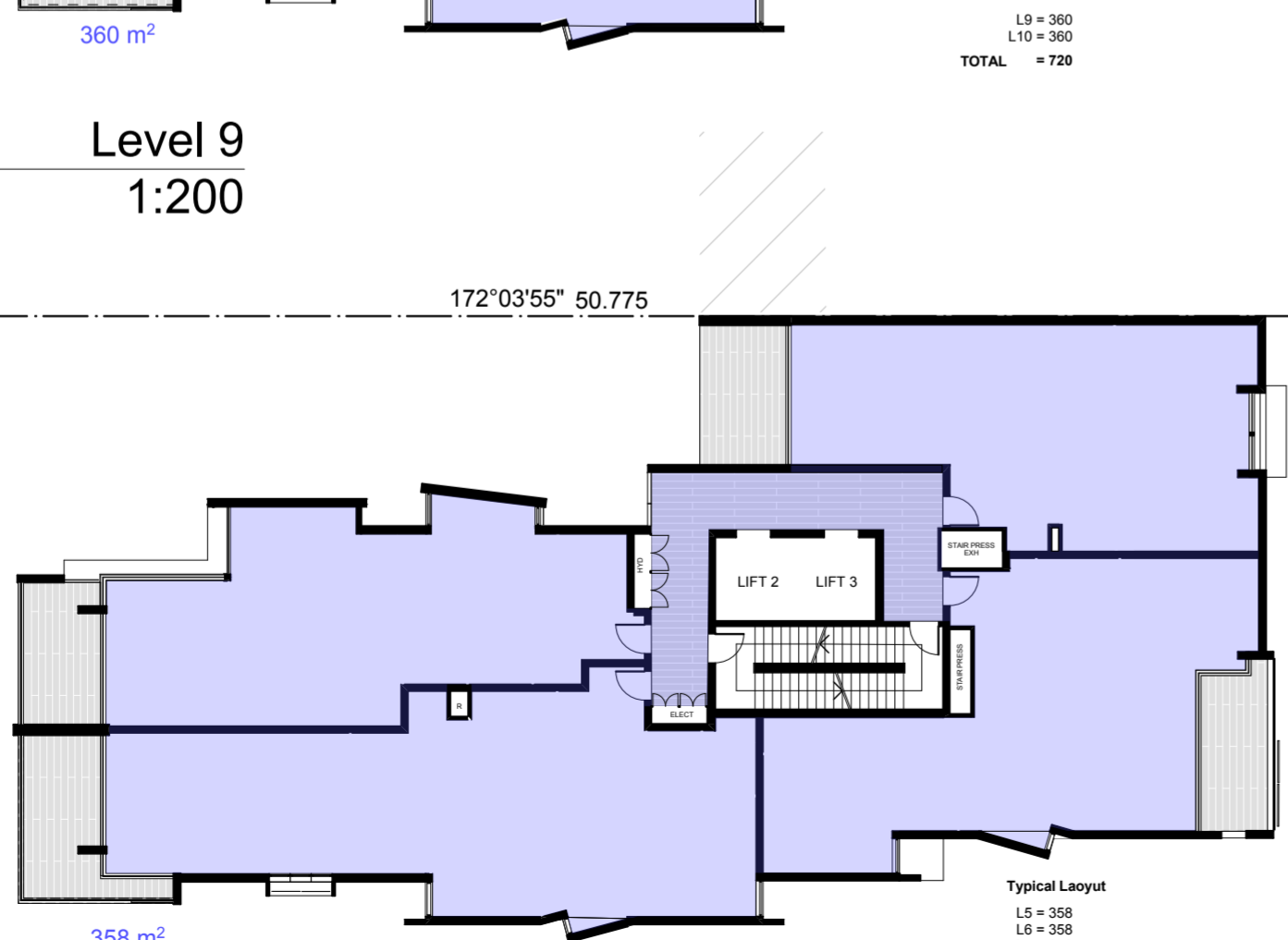
Level 9
1:200



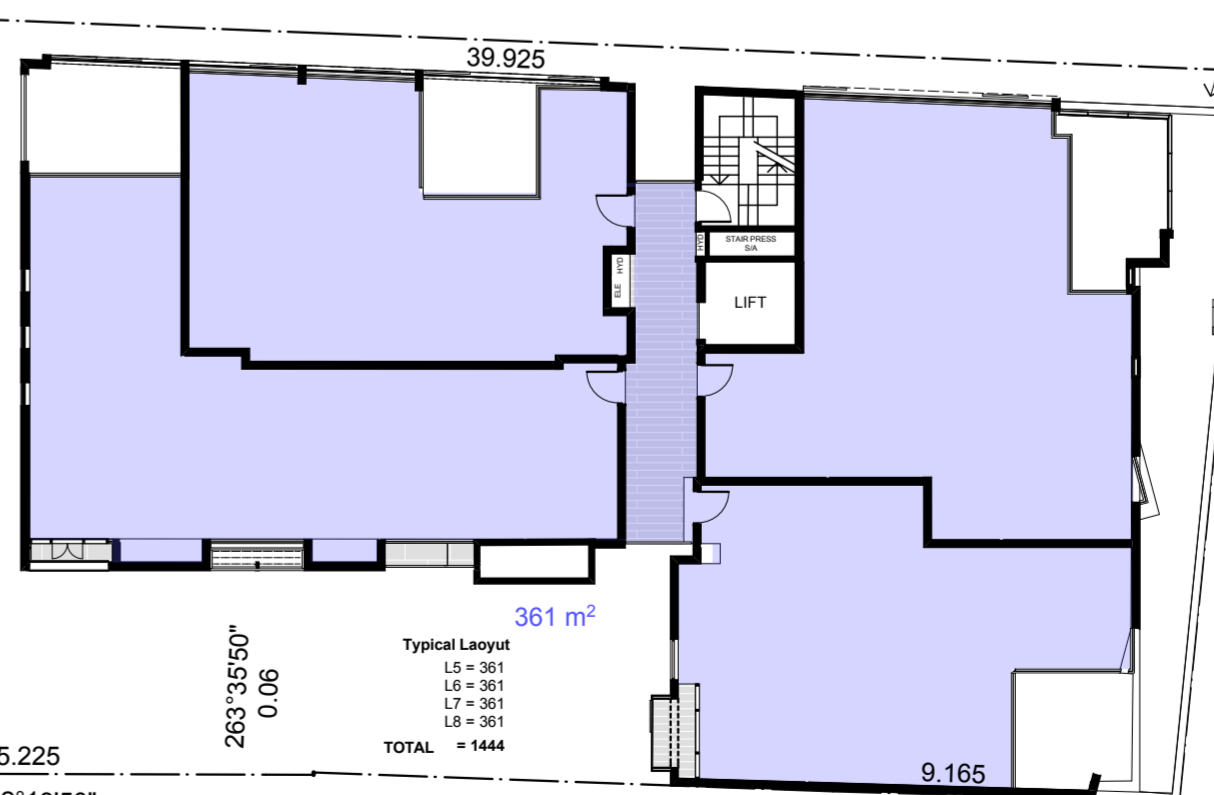
1

82°48'05" 20.86

352°13'50" 15.225



Level 4
1:200



1

172°03'55" 50.775

263°35'50" 0.06

L9 = 360
L10 = 360
TOTAL = 720

Typical Layout
L5 = 361
L6 = 361
L7 = 361
L8 = 361
TOTAL = 1444

Typical Layout
L5 = 358
L6 = 358
L7 = 358
L8 = 358
TOTAL = 1432

"BUILDING K" GFA

15.225
352°13'50"

9.165 353°38'

SETBACK

SETBACK

SETBACK

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
26 03 19	A	Residential GFA Revised

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
MIXED USE RESIDENTIAL FLAT BUILDING

PROJECT ADDRESS:
495-501 HUNTER STREET
NEWCASTLE

CLIENT:
INTERRELATE &
DOWLING COMMERCIAL

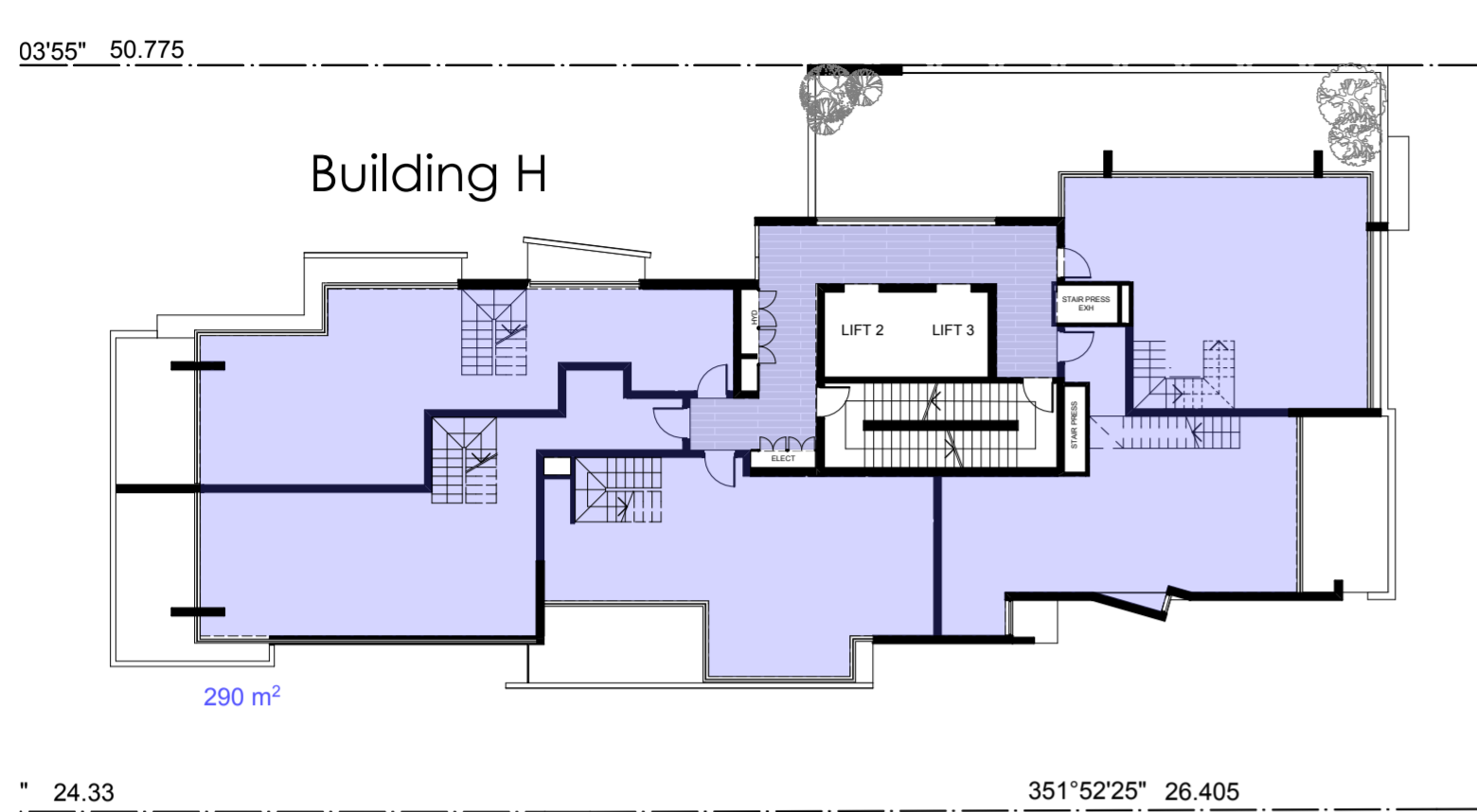
DRAWING TITLE:
GFA CALCULATIONS 03

PROJECT No:	DRAWING No:
21706	GFA03

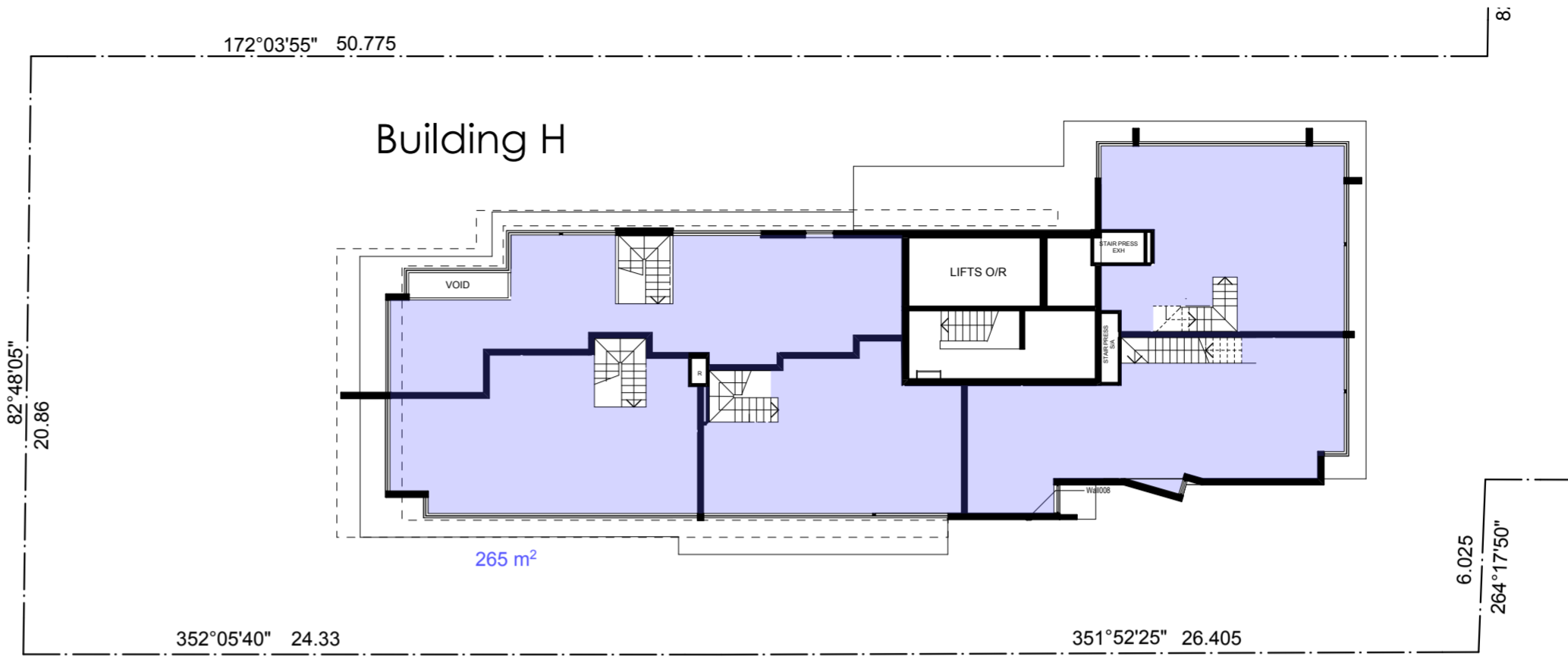
REVISION: A NORTH POINT:

SCALE:	PLOT DATE:
1:200 @ A2	27/03/2019

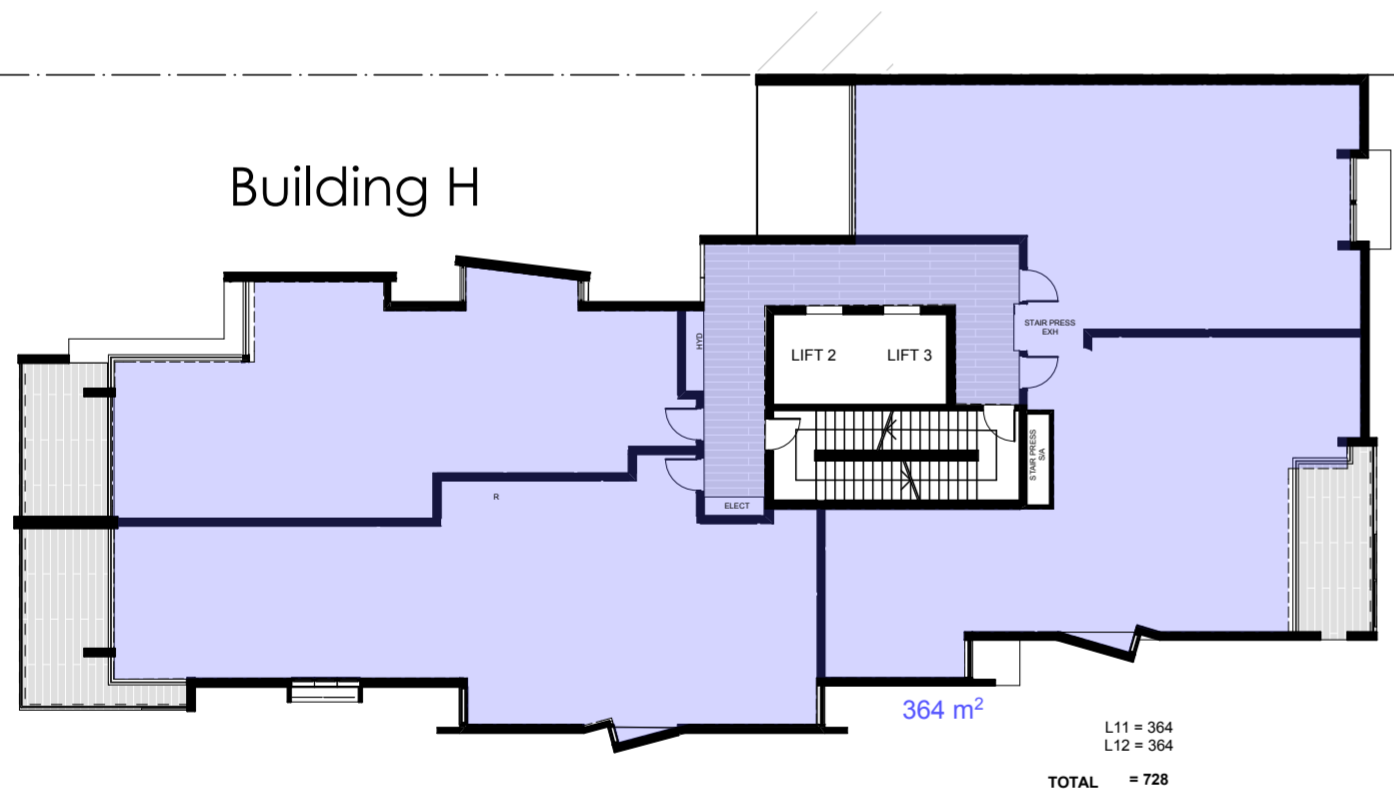
FILE PATH:
BIM Server: BIMSRV01 - BIM Server 20/21706_495 Hunter St Newcastle DA 50517



2 Level 13
1:200



1 Level 14
1:200



2 Level 11 GFA
1:200

GFA CALCULATIONS RETAIL				
BUILDING "H"		BUILDING "K"		O/A TOTAL
Ground	177	Ground	105	282 M ²
SITEA AREA				= 1827 SQ. M
O/A GFA				282 M²

GFA CALCULATIONS RESIDENTIAL					
GROSS FLOOR AREA	BUILDING "H"		BUILDING "K"		O/A TOTAL
	L1	200	L1	236	436M ²
	L2	203	L2	211	414M ²
	L3	353	L3	384	737M ²
	L4	358	L4	361	719M ²
	L5 - L8 (Typ.)	358(4) =1432	L5 - L8 (Typ.)	361(4)=1444	2876M ²
	L9 - L10 (Typ.)	360(2) =720	L9-Lower Townhouse	337	1057M ²
	L11-L12 (Typ)	364(2) =728	L10-Upper Townhouse	334	1062M ²
	L13-Lower Th	290	-	-	290
	L14-Upper Th	265	-	-	265
SUB-TOTAL	=4549		=3307	=7856	
+ RETAIL	177		105	282 M²	
O/A GFA	=4726		=3412	= 8,138M²	
SITEA AREA				= 1827 M²	
FSR				= 4.45: 1	

REVISED
DEVELOPMENT
APPLICATION
MARCH 2019

NOTES:
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION
26 03 19	A	Residential GFA Revised

ARCHITECT:
WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
1: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW AIB No. 5277

PROJECT TITLE:
MIXED USE
RESIDENTIAL FLAT
BUILDING

PROJECT ADDRESS:
495-501 HUNTER
STREET
NEWCASTLE

CLIENT:
INTERRELATE &
DOWLING
COMMERCIAL

DRAWING TITLE:
**GFA CALCULATIONS
04**

PROJECT No: 21706 DRAWING No: GFA04

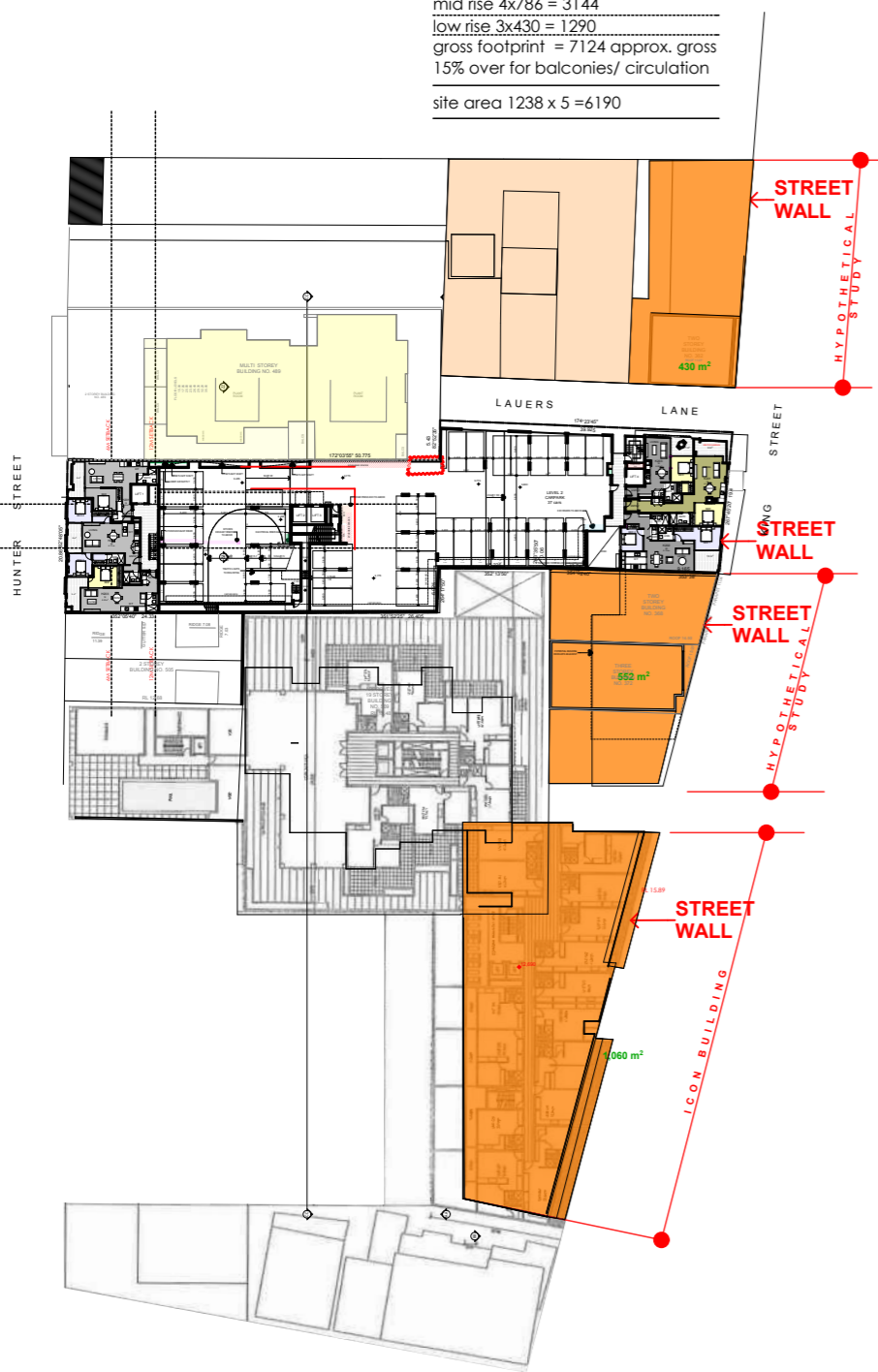
REVISION: A NORTH POINT:

SCALE: 1:200 @ A2 PLOT DATE: 27/03/2019

FILE PATH:
BIM Server: BIMSRV01 - BIM Server 20/21706_495 Hunter
St Newcastle DA 50517

SITE STUDY

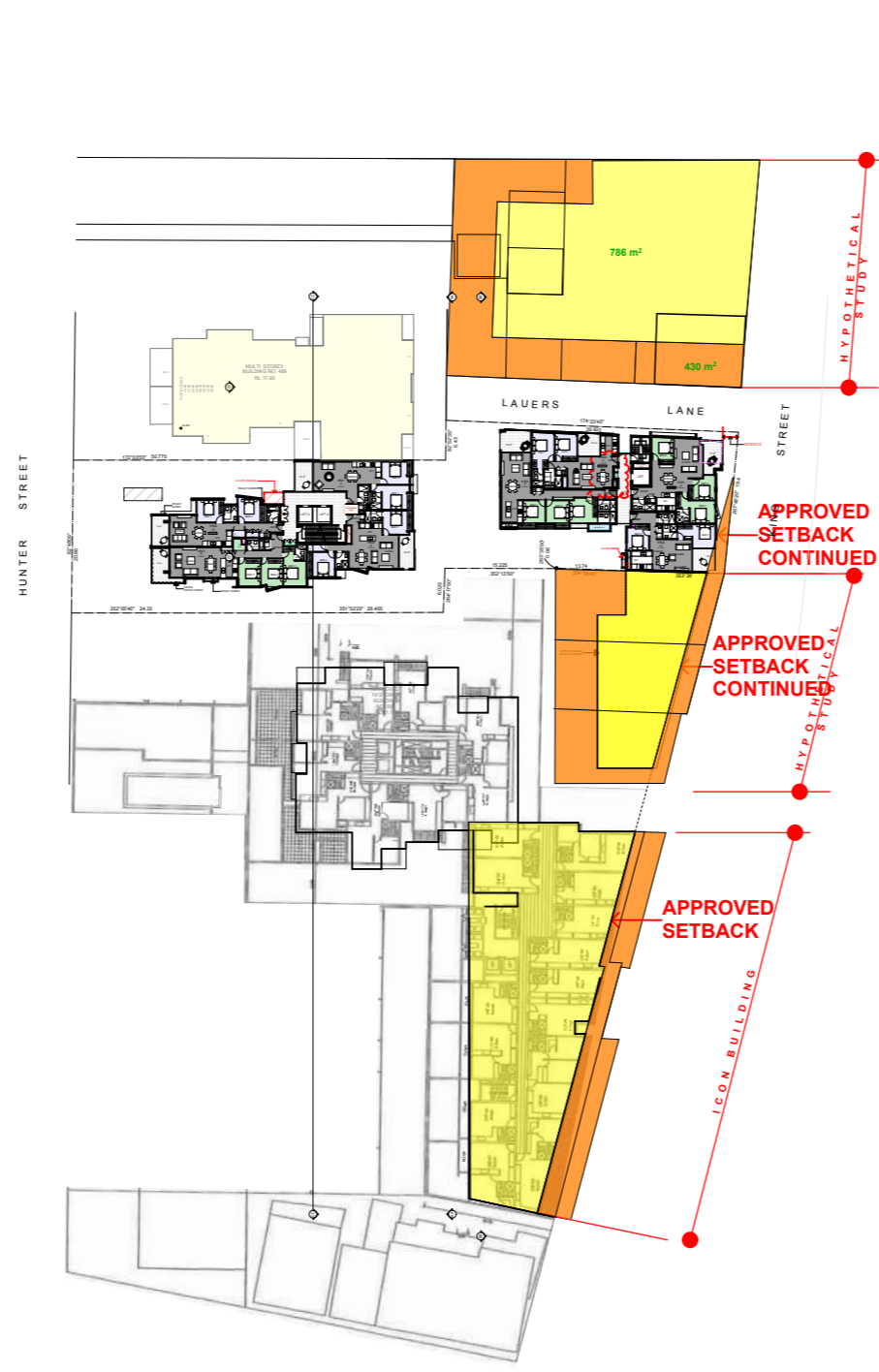
high rise 5x538 = 2690
 mid rise 4x786 = 3144
 low rise 3x430 = 1290
 gross footprint = 7124 approx. gross
 15% over for balconies/ circulation
 site area 1238 x 5 = 6190



LOW RISE

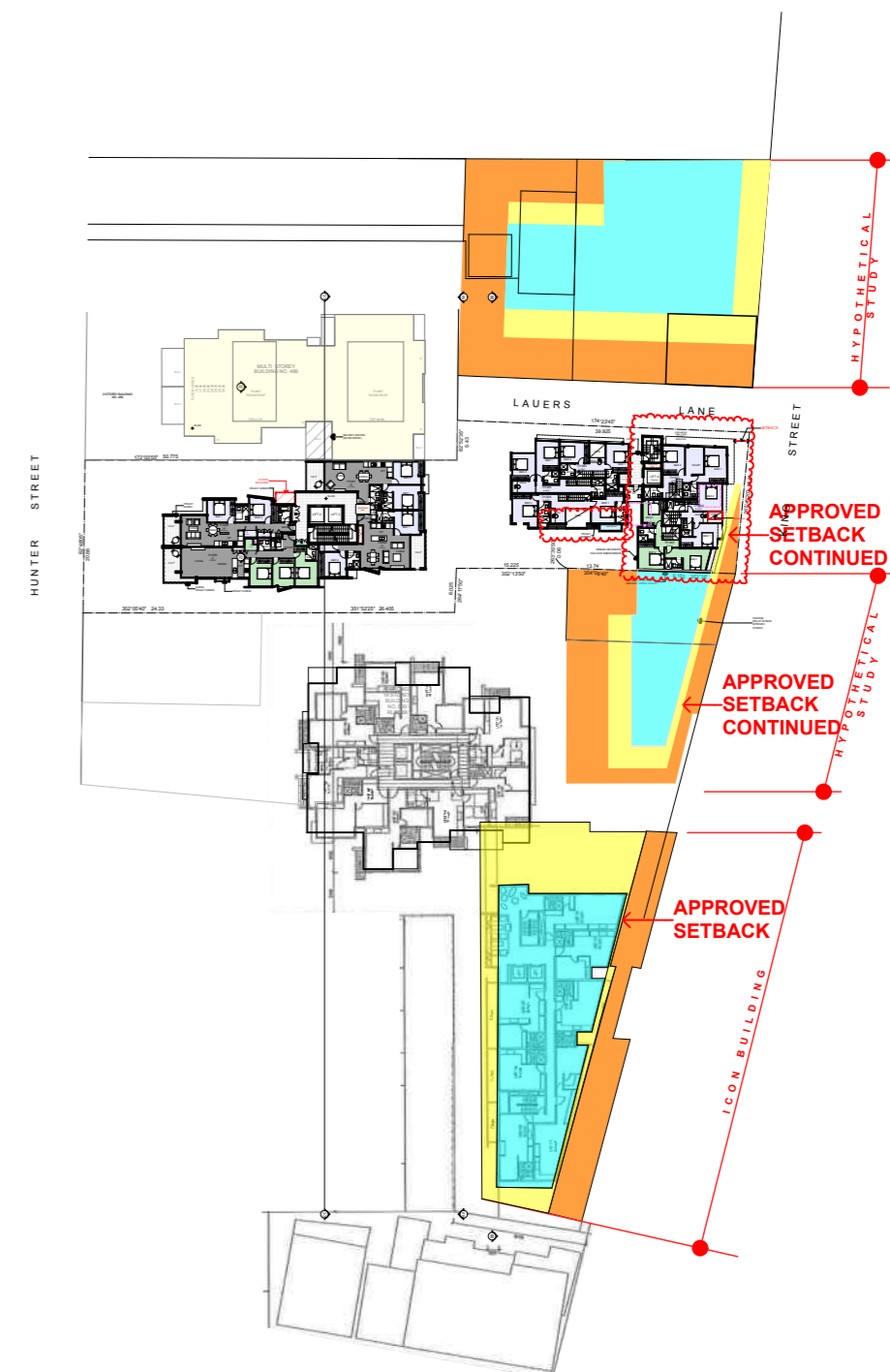
SCALE

1 : 1000



MID RISE

1 : 1000



HIGH RISE

1 : 1000

**REVISED DEVELOPMENT APPLICATION
 MARCH 2019**

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
 THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
 THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION
270618		Refer to attached Addendum Urban Design Statement						
061118	A	Adjoining Site Study added						

ARCHITECT:

WOLSKI . COPPIN
 ARCHITECTURE
 LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
 T: 9953 8477 E: info@wolskicoppin.com.au
 DAVID WOLSKI NSW ARB No. 5297

PROJECT TITLE:
MIXED USE DEVELOPMENT
 PROJECT ADDRESS:
**495 - 501 HUNTER STREET
 NEWCASTLE**

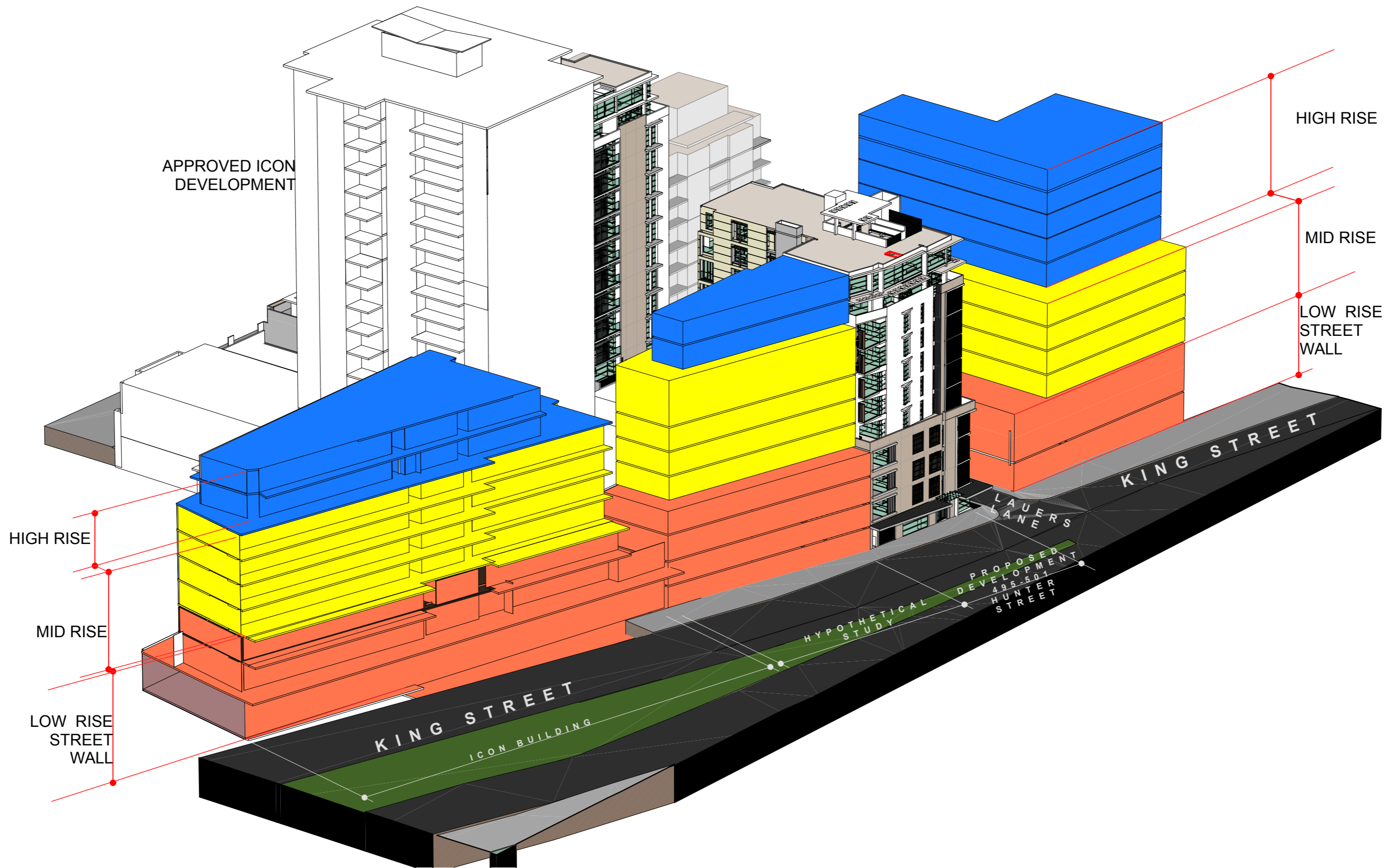
CLIENT: **INTERRELATE & DOWLING COMMERCIAL**
 DRAWING TITLE:
Adjoining Site Study 01

PROJECT No:
21706
 SCALE:
 1:1000@A3

DRAWING No:
S01

REVISION:
A
 PLOT DATE:
 27/03/2019





VIEW LOOKING KING STREET

1 : 500

**REVISED DEVELOPMENT APPLICATION
MARCH 2019**

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION
270618		Refer to attached Addendum Urban Design Statement						
061118	A	Adjoining Site Study added						
291118	B	New 3d Site Study						

ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW ARB No. 5297

PROJECT TITLE:
MIXED USE DEVELOPMENT

PROJECT ADDRESS:
**495 - 501 HUNTER STREET
NEWCASTLE**

CLIENT: **INTERRELATE & DOWLING COMMERCIAL**

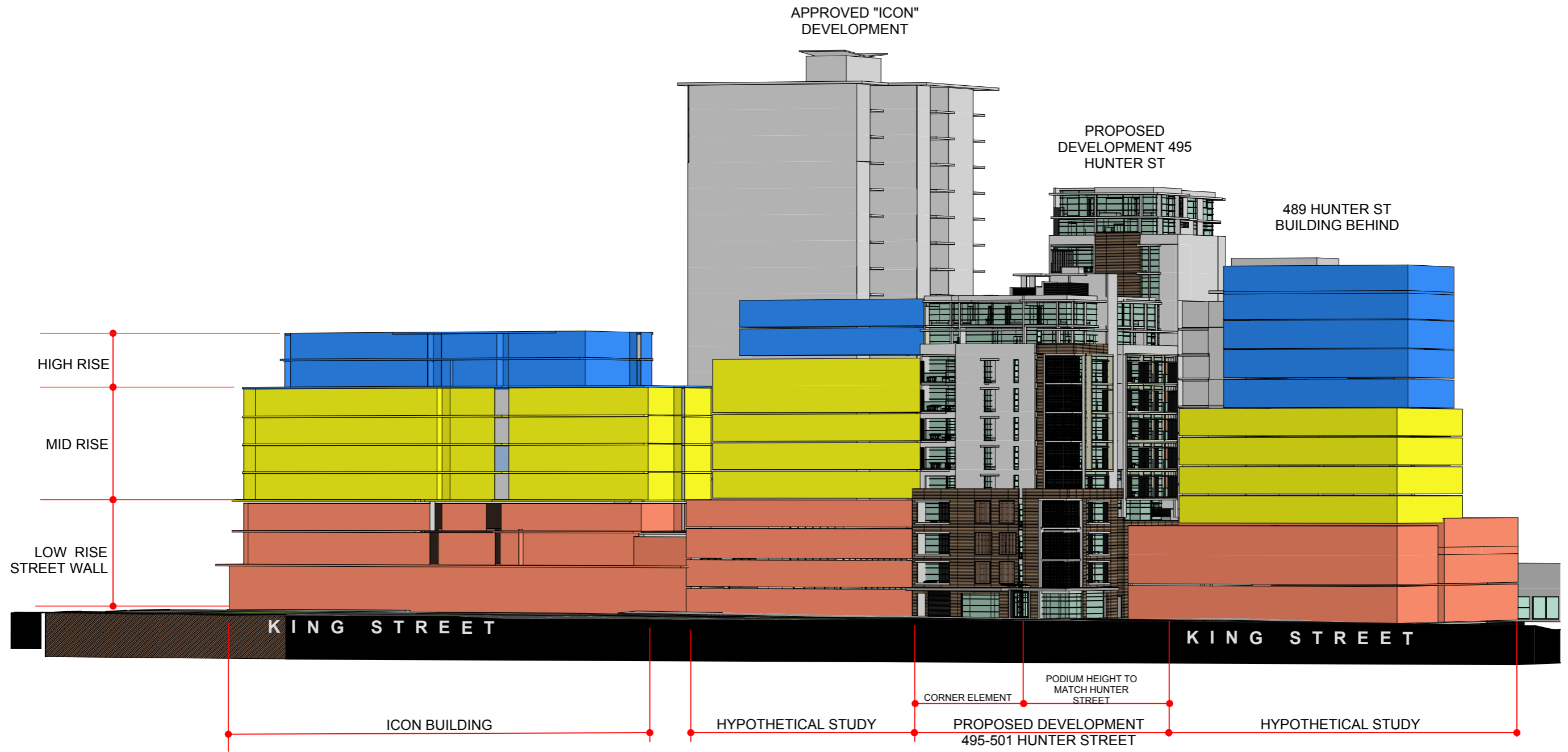
DRAWING TITLE:
Adjoining Site Study 02 (3D)

PROJECT No:
21706
SCALE:
1:500@A3

DRAWING No:
S02

REVISION:
B
PLOT DATE:
27/03/2019





KING STREET VIEW
SCALE

1 : 500

**REVISED DEVELOPMENT APPLICATION
MARCH 2019**

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION
270618		Refer to attached Addendum Urban Design Statement						
061118	A	Adjoining Site Study added						
291118	B	3D Remodelled						

ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW ARB No. 5297

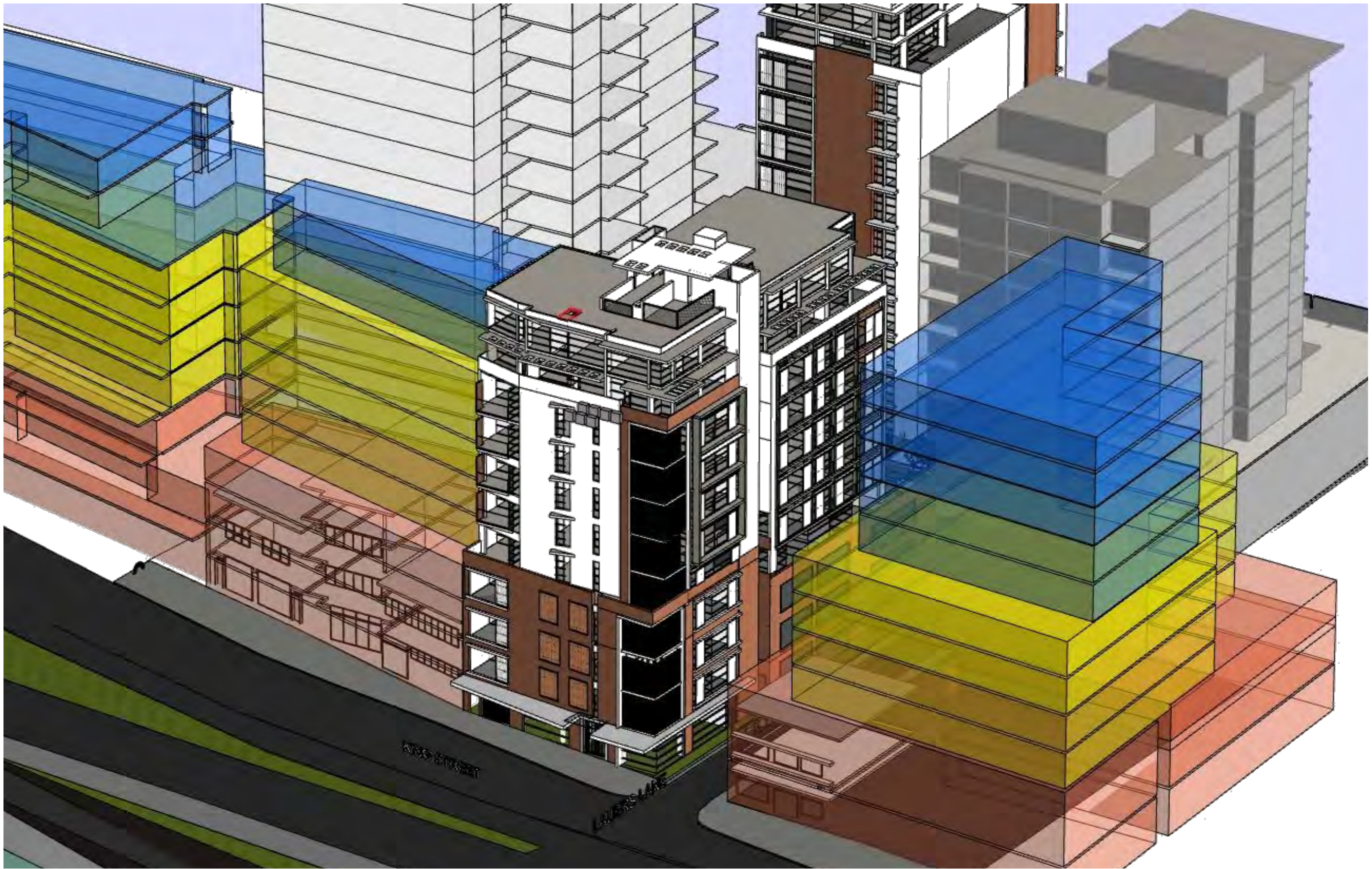
PROJECT TITLE: MIXED USE DEVELOPMENT
PROJECT ADDRESS: 495 - 501 HUNTER STREET NEWCASTLE

CLIENT: INTERRELATE & DOWLING COMMERCIAL
DRAWING TITLE: Adjoining Site Study 03 (King St. elevation)

PROJECT No: 21706
SCALE: 1:500@A3

DRAWING No: S03
REVISION: B
PLOT DATE: 27/03/2019





**REVISED DEVELOPMENT APPLICATION
MARCH 2019**

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION
29/11/18	B	3D Remodelled						

ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD
T: 9953 8477
DAVID WOLSKI

PROJECT TITLE:
MIXED USE DEVELOPMENT
PROJECT ADDRESS:
**495 - 501 HUNTER STREET
NEWCASTLE**

CLIENT:
**INTERRELATE &
DOWLING
COMMERCIAL**

DRAWING TITLE:
View from King Street 04 (3D)

PROJECT No:
21706

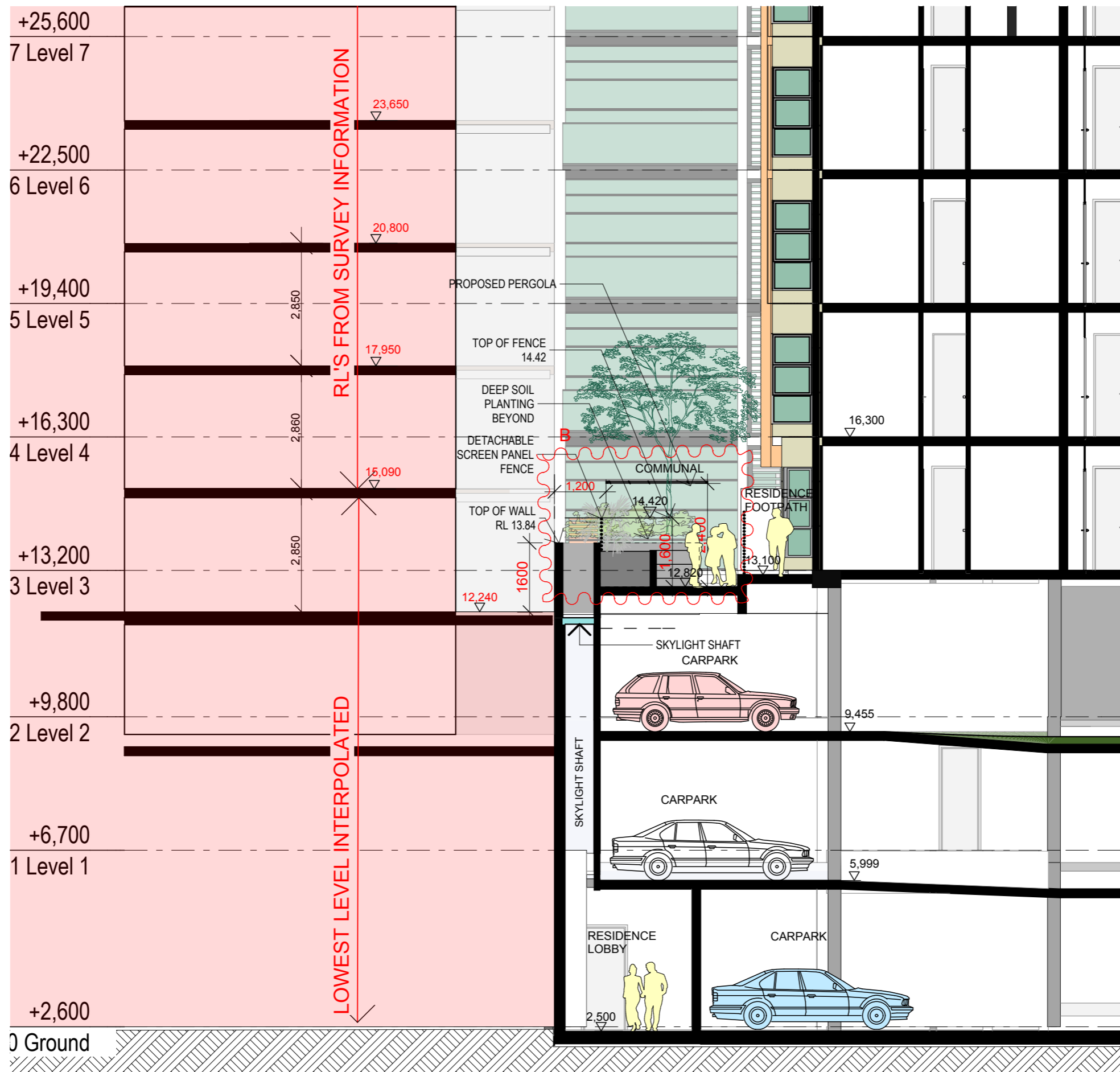
SCALE:
1:125@A3

DRAWING No:
S04

REVISION:
B

FLOT DATE:
27/03/2019





SECTION ZZ

**REVISED
DEVELOPMENT
APPLICATION
MARCH 2019**

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION
15/01/19	A	Wall relocated & height amended						
19/03/19	B	Pergola added						

ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD
T: 9953 8477 DAVID WOLSKI
MOSMAN NSW 2088
E: info@wolskicoppin.com.au
NSW A/RB No. 5297

PROJECT TITLE:

MIXED USE DEVELOPMENT
PROJECT ADDRESS:
495 - 501 HUNTER STREET
NEWCASTLE

CLIENT:

INTERRELATE & DOWLING COMMERCIAL
DRAWING TITLE:
Podium Cross Section

PROJECT No:

21706
SCALE:
1:100@A3

DRAWING No:

S05

REVISION:

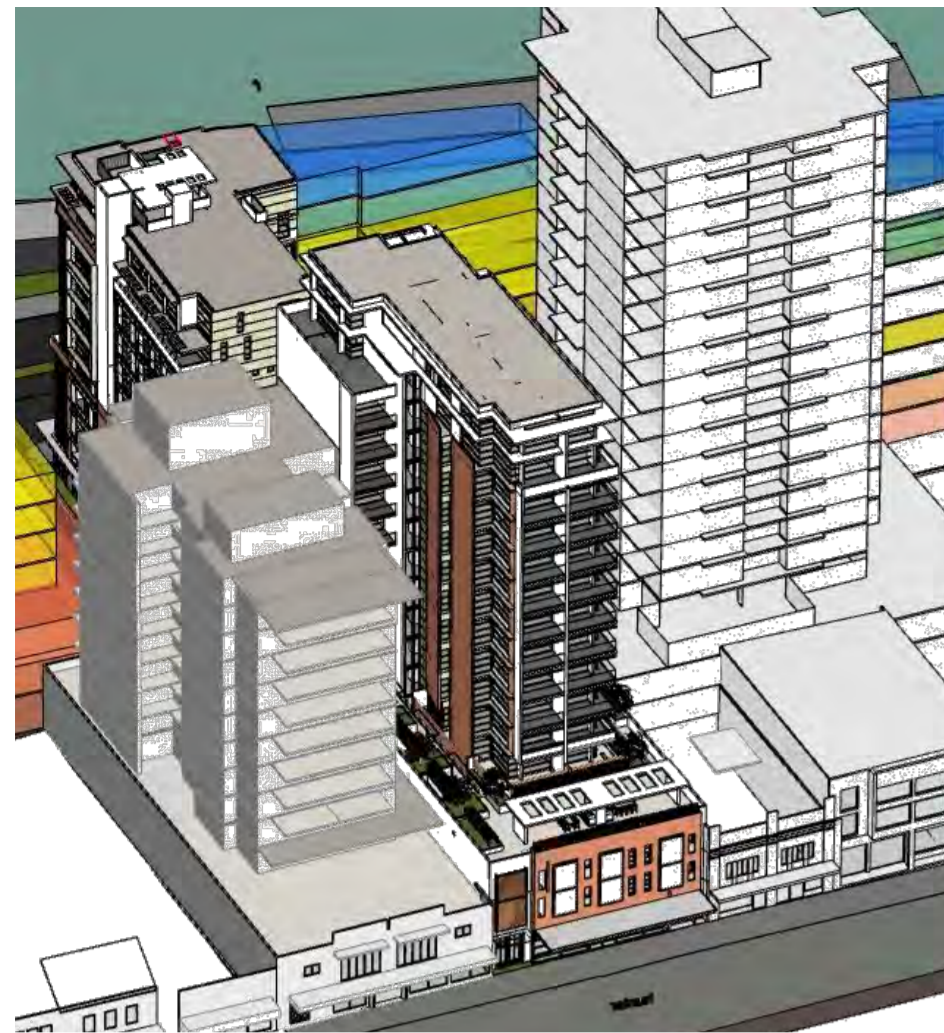
B

FLOT DATE:

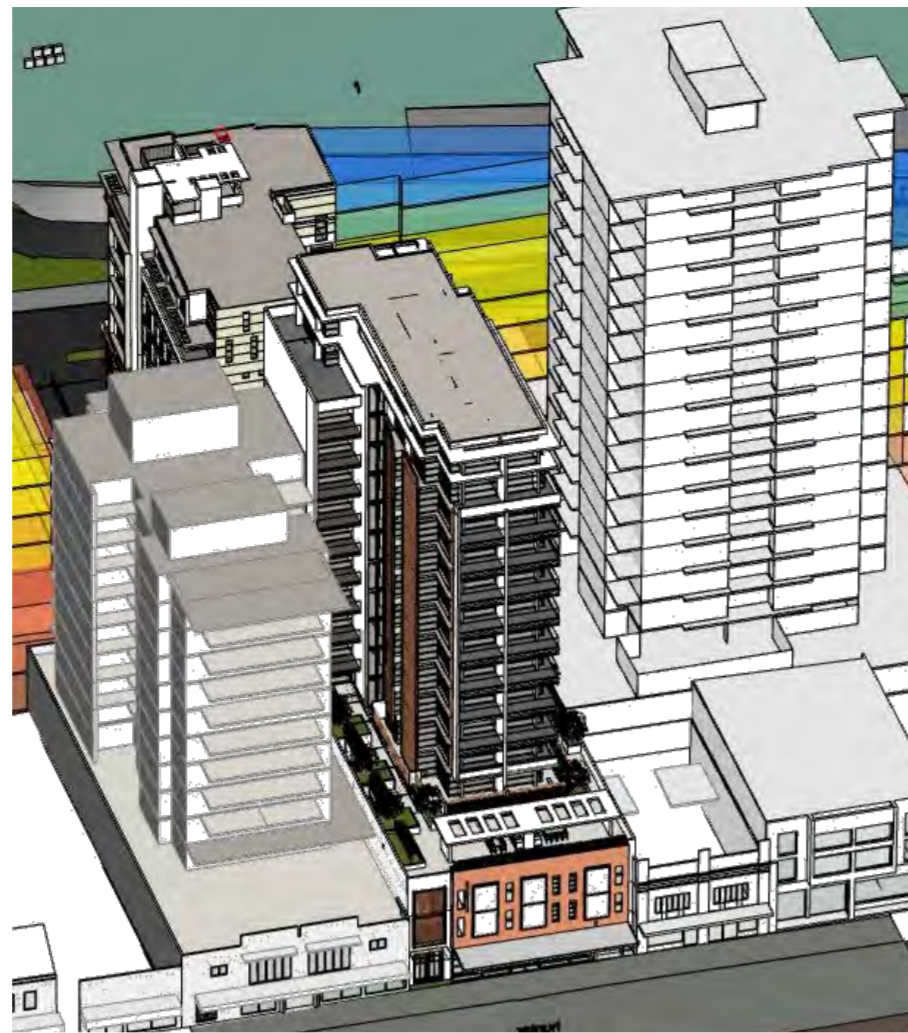
27/03/2019

NORTH POINT:





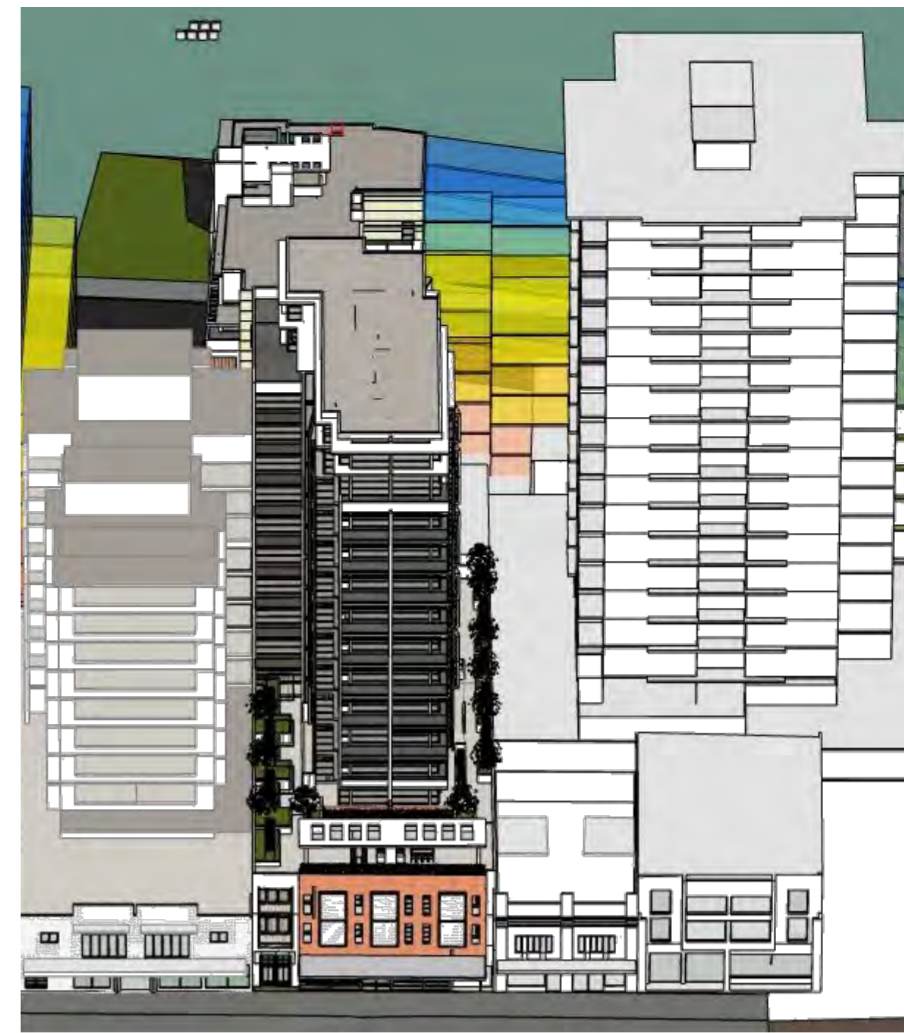
11:30am



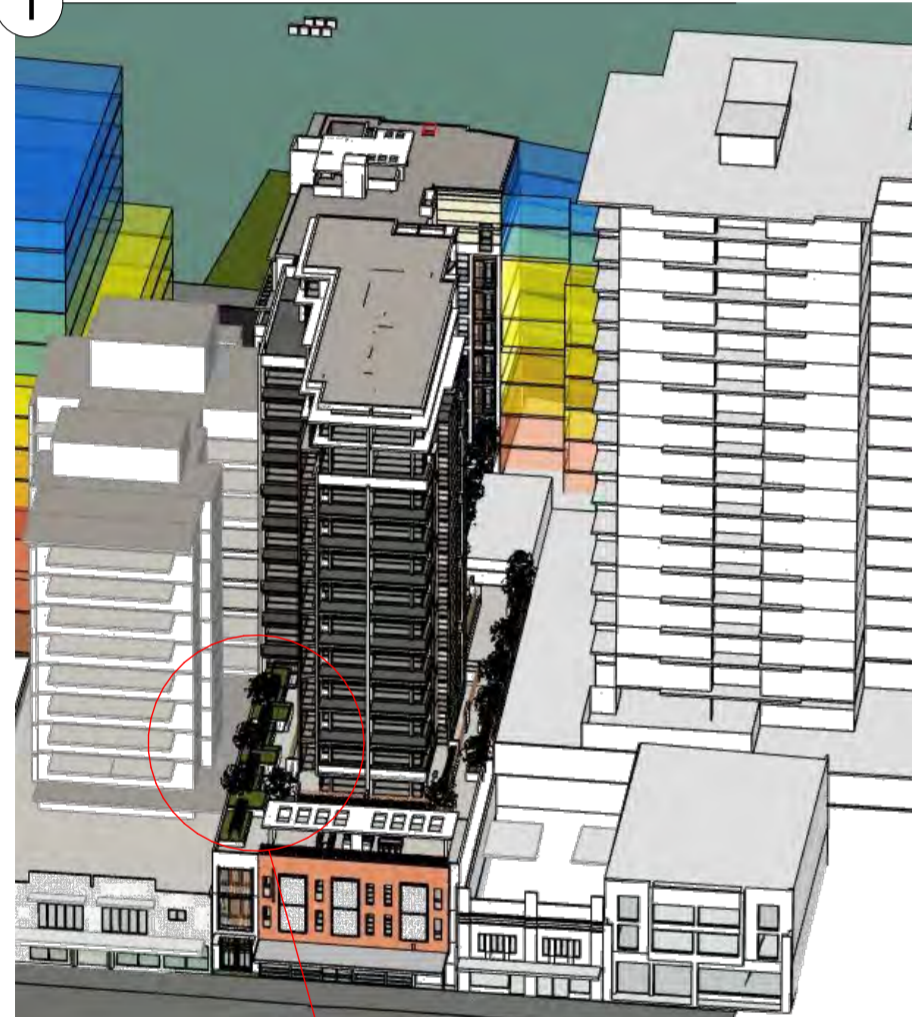
12:00 noon



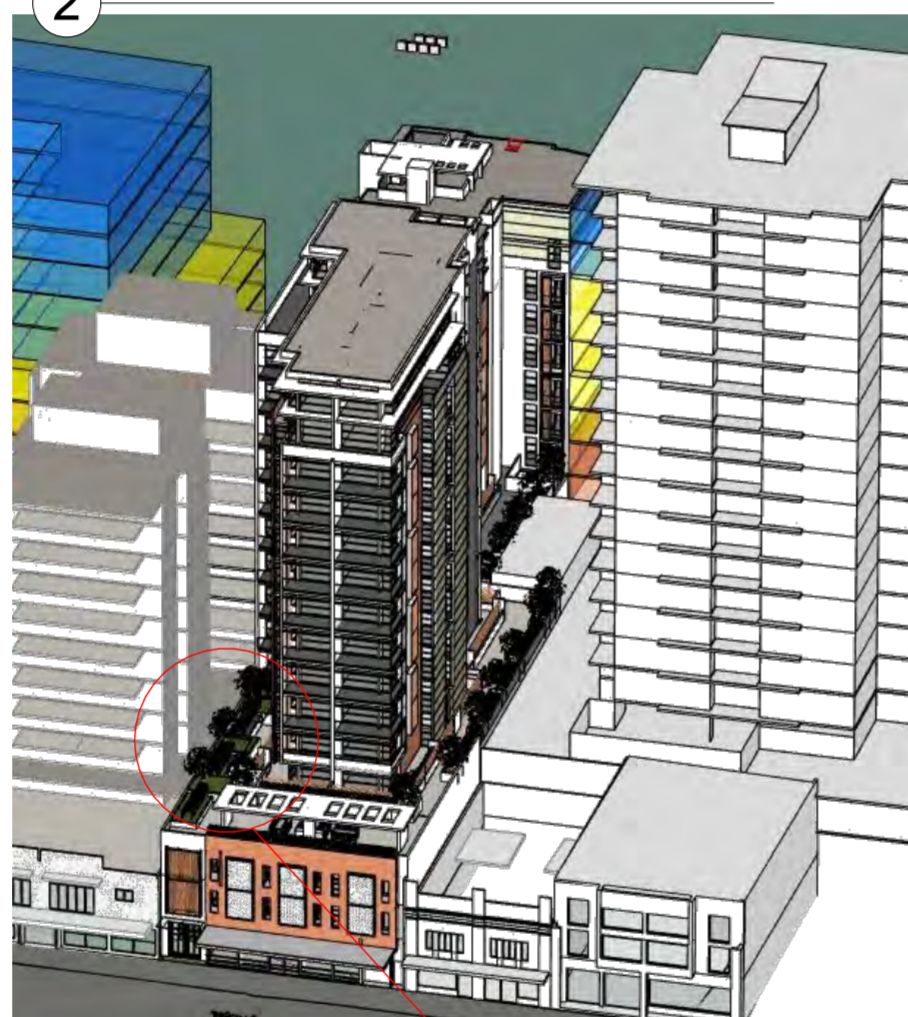
12:30pm



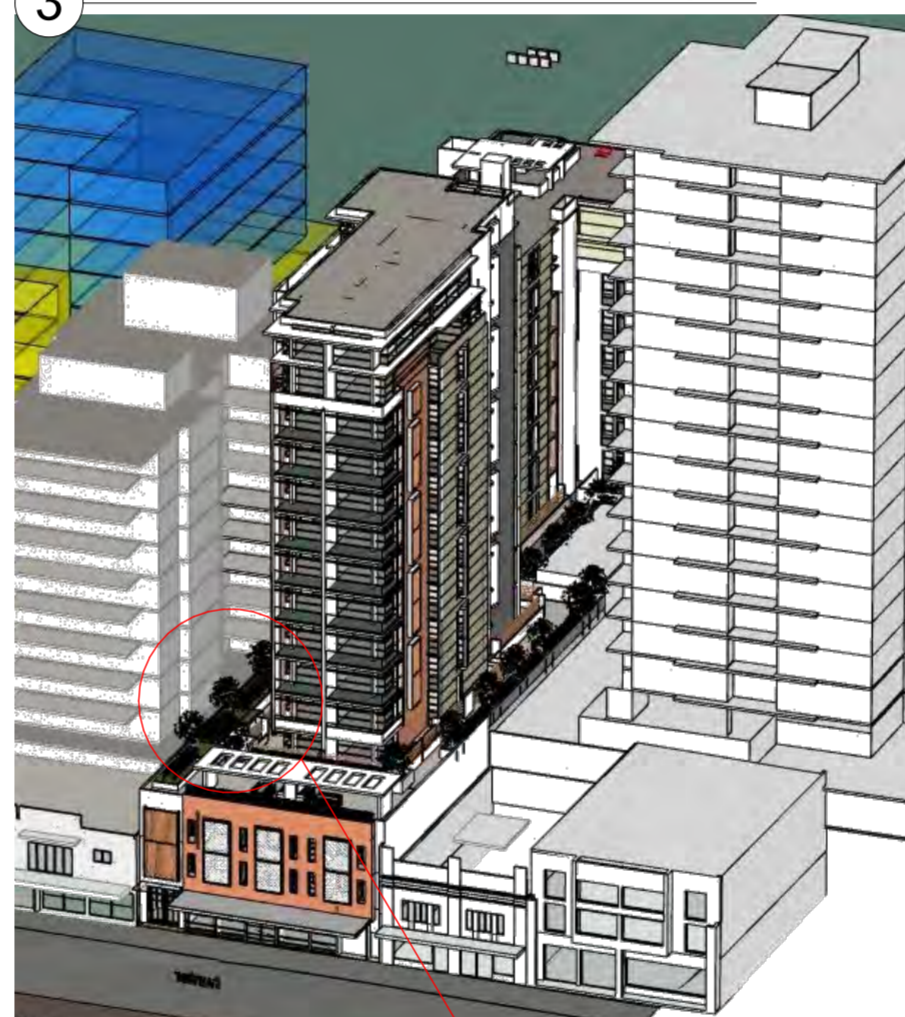
1:00pm



1:30pm



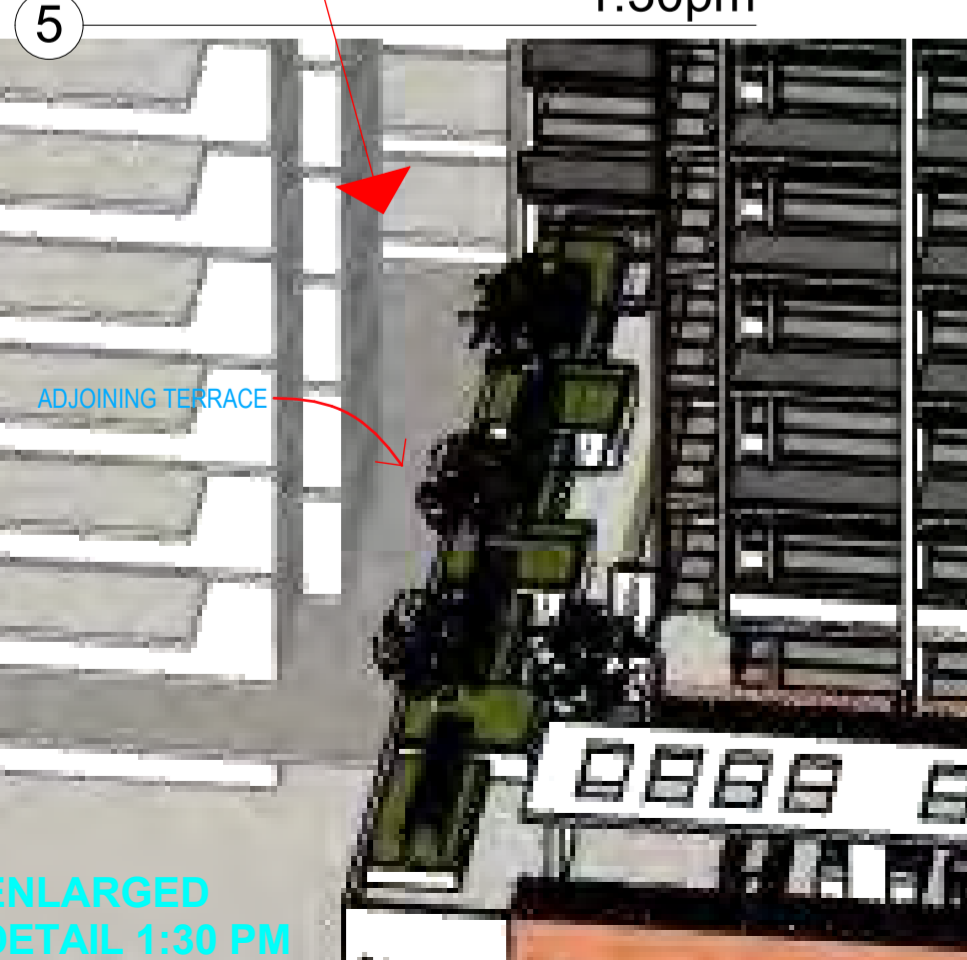
2:00pm



2:30pm



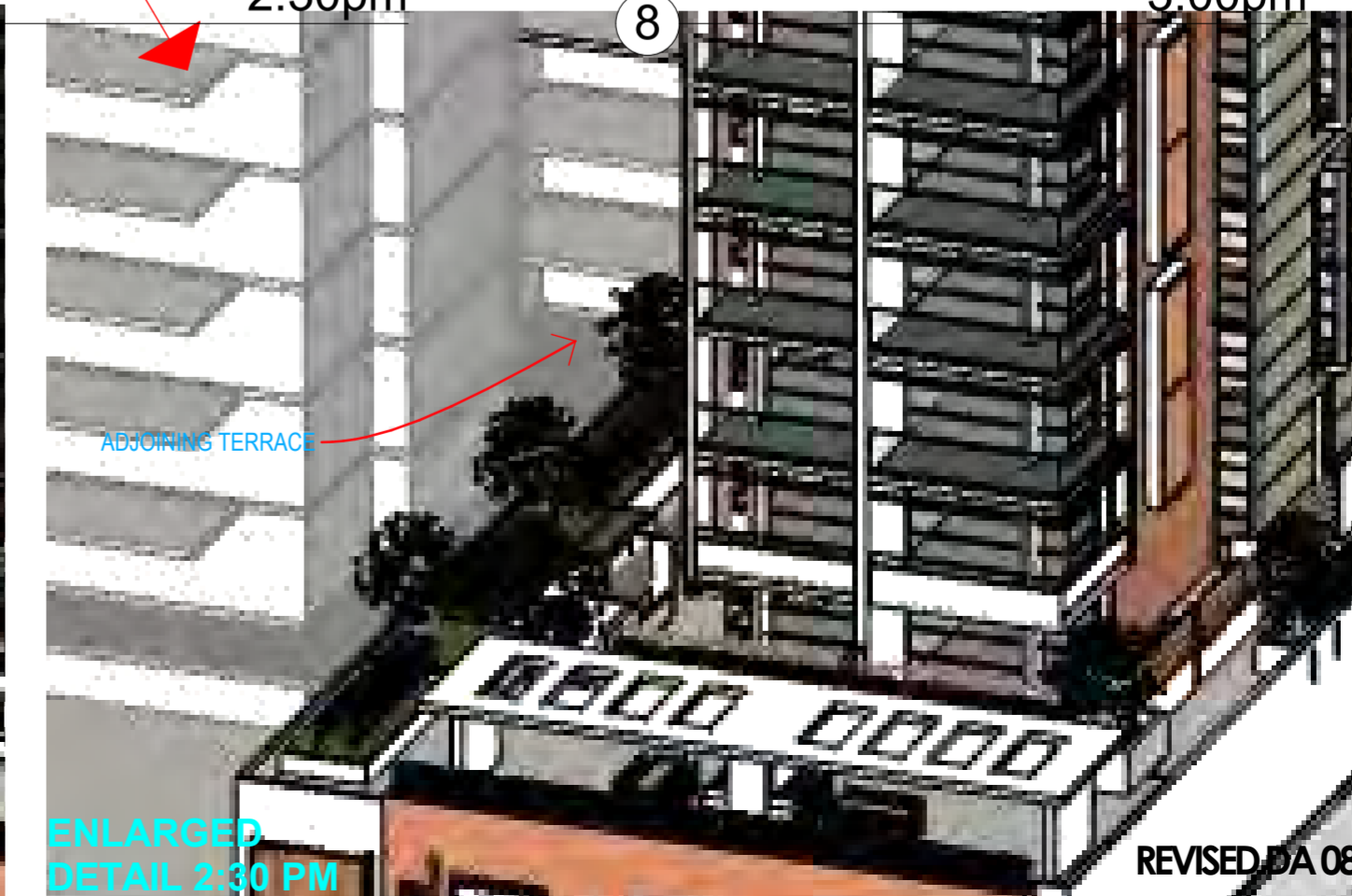
3:00pm



ENLARGED DETAIL 1:30 PM



ENLARGED DETAIL 2:00PM



ENLARGED DETAIL 2:30 PM

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS.

THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.

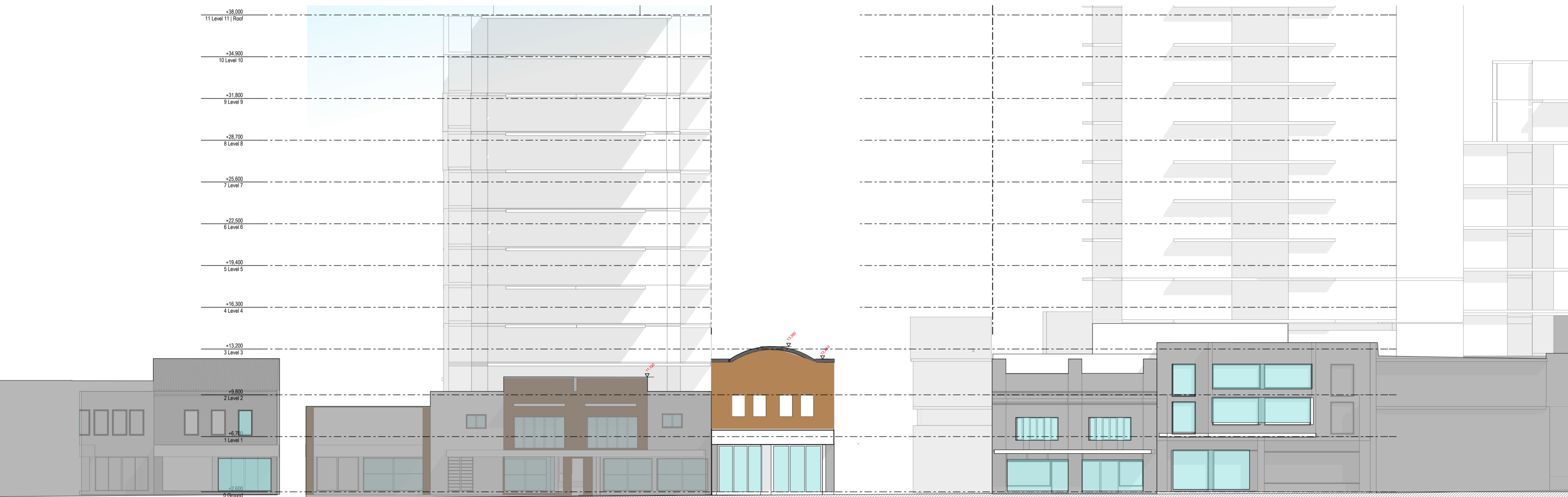
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION



1 NORTH ELEVATION
(HUNTER STREET ELEV.)



1 NORTH ELEVATION (EXIST)
(EXISTING HUNTER STREET ELEV.)

NOTES:

FIGURED DIMENSIONS ARE TO BE TAKEN IN REFERENCE TO SCALED DIMENSIONS.
THE CONTRACTOR IS TO CHECK AND VERIFY FIGURED DIMENSIONS PRIOR TO ANY COMMENCEMENT OF WORK ON SITE.
THIS DRAWING IS COPYRIGHT AND SHALL REMAIN THE PROPERTY OF WOLSKI COPPIN ARCHITECTURE.

REVISIONS:

DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE	REV	DESCRIPTION

ARCHITECT:

WOLSKI . COPPIN
ARCHITECTURE
LEVEL 1, 507 MILITARY ROAD MOSMAN NSW 2088
T: 9953 8477 E: info@wolskicoppin.com.au
DAVID WOLSKI NSW ARB No. 5297

PROJECT TITLE:

Mixed Use Development

PROJECT ADDRESS:

**495-501 Hunter Street
NEWCASTLE**

CLIENT:

**Interrelate Limited
and David Rogers**

DRAWING TITLE:

**HUNTER ST ELEVATION
(New & Existing)**

PROJECT No.:

21706

SCALE:

1:200@A2

DRAWING No.:

Ad 01

REVISION:

NORTH POINT:

PLOT DATE:

27/03/2019

